

**To:** Brad Sedgewick  
**From:** Jeff Walton, Associate Planner; 910-341-3260  
**CC:** File; Protrak  
**Date:** 12/5/2012  
**Re:** Fiat of Wilmington Planning Comments

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Please contact me for any further questions.

Site Plan Comments:

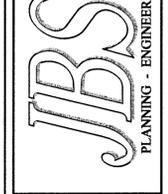
- At the ends of parking rows, show SF of each landscape island on site plan. Single rows require 216 SF and double rows require a min of 432 SF.
  - I have circled islands missing the label.

Landscape Plan not included with 2<sup>nd</sup> revision:

- When a parking facility is within fifty (50) feet of a right-of-way, if the buffer yard provisions of this ordinance do not call for a planted buffer, a low buffer shall be incorporated into the street yard to provide protection from vehicle headlights within the parking lot. The buffer shall consist of shrubbery, a grade change or planted berm or any combination thereof that serves to shield traffic on the right-of-way from headlights within the parking lot. The buffer shall be a minimum of three (3) feet in height and five (5) feet in width and may be incorporated in a street yard, provided the street yard is fifteen (15) feet or more in width.
  - I confirmed with John Fullerton that a display of vehicles is not exempt from this code section.
- **Sec. 18-490. Foundation Plantings** For all portions of buildings which are adjacent to parking facilities or internal drive isles, foundation plantings shall be required and located between the building's facades and the parking or drive isle curb.
  - (1) The area of the building face adjacent to the parking area or internal drive isle shall be computed and multiplied by a minimum of twelve (12) percent. The resultant total square footage shall be planted as landscaped areas of sufficient variety, height, and size, with plantings listed in the "Approved Plantings List" of the City of Wilmington Technical Standards and Specifications Manual.
    - The area in front of the building facing Market Street is required to have foundation plantings.
  - (2) Exemptions from this requirements may be granted when the following circumstances exist or when any of the following conditions are proposed on the site:
    - b. On the rear side of a building when less than ten (10) percent of the total required parking is located in the rear of the building and the rear is not adjacent to any public right-of-way.

DESIGN BY: BDS  
 DRAWN BY: BDS  
 CHECKED BY: BDS  
 DATE: NOV. 2012

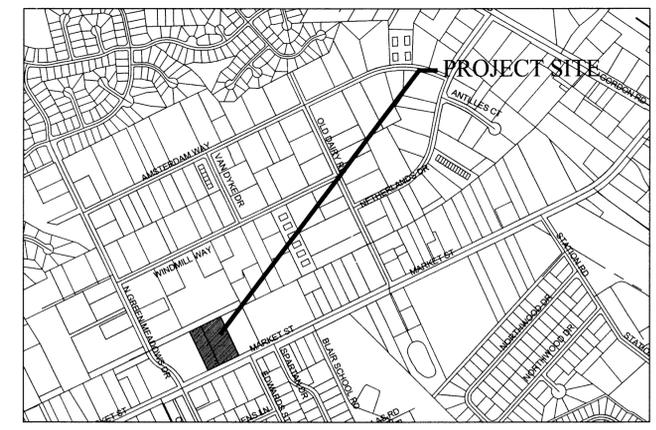
CONSULTING, PA  
 7332 Colesworth Drive  
 Wilmington, NC 28045  
 (910) 619-9990  
 LICENSE NUMBER C-2525  
 PLANNING - ENGINEERING - PROJECT MANAGEMENT



**SITE PLAN**  
**FIAT OF WILMINGTON**  
 6421 MARKET STREET  
 WILMINGTON, NORTH CAROLINA

**G AND G PROPERTIES 2, LLC**  
**JOHN S. GILLILAN, AGENT**  
 219 COLLEGE ROAD  
 WILMINGTON, NC 28406

SHEET  
**C2**  
 JOB NO. 032-011



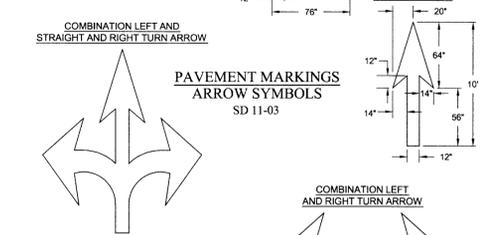
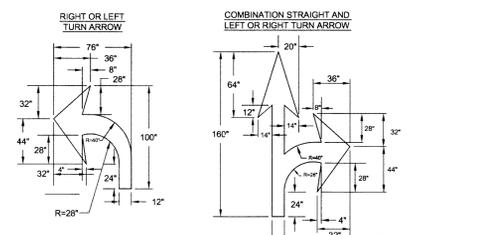
**VICINITY MAP**  
 NTS

**NOTES**

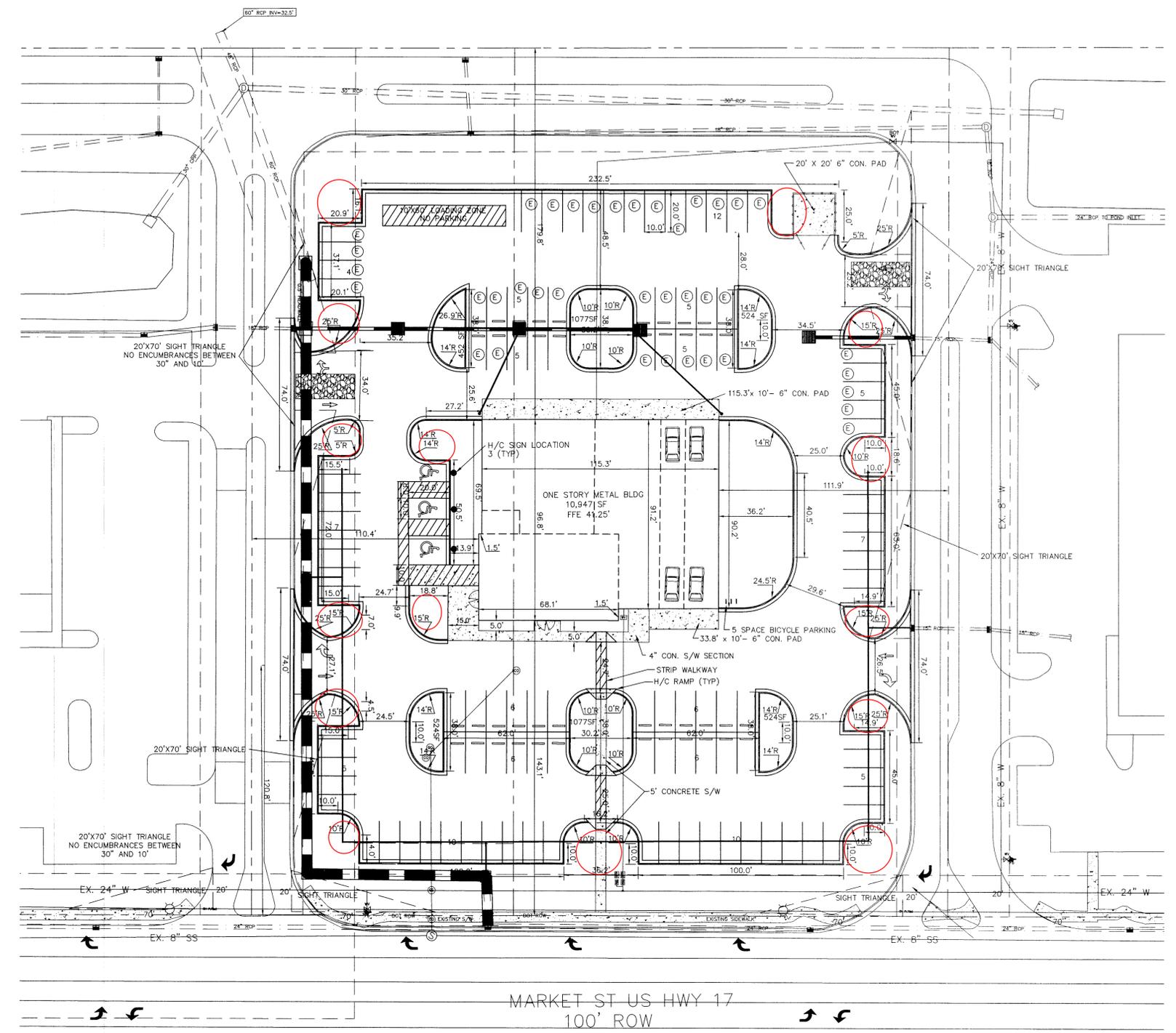
1. AN ALL WEATHER DRIVING SURFACE FOR EMERGENCY VEHICLES MUST BE MAINTAINED DURING CONSTRUCTION.
2. THERE SHALL BE NO ENCUMBRANCES WITHIN THE NCDOT RIGHT OF WAY.
3. ALL MATERIALS UTILIZED IN THE CONSTRUCTION OF THE UTILITIES WITHIN THE PUBLIC RIGHT OF WAY SHALL BE NCDOT APPROVED MATERIALS.
4. CONTRACTOR IS TO PROVIDE ALL NECESSARY TRAFFIC AND SAFETY CONTROL DEVICES IN WORK AREAS.
5. FIELD VERIFY EXISTING UTILITIES FOR CONFLICTS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER AT 910-619-9990 BEFORE PROCEEDING WITH CONSTRUCTION.
6. CONTRACTOR IS TO NOTIFY (AT A MINIMUM) THE FOLLOWING COMPANIES FOR LOCATION SERVICES:  
 ULOCO .....1-800-632-4949, 48 HOURS IN ADVANCE  
 BELL SOUTH.....1-800-392-8712 (STEVE DAYVAULT)
7. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING (IF REQUIRED) WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION.
8. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAY ARE TO BE THERMO PLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
9. It shall be the responsibility of the subdivider to erect official street name signs at all intersections associated with the subdivision in accordance with the Technical Standards and Specifications Manual. The subdivider may acquire and erect official street name signs or may choose to contract with the city to install the street signs and the subdivider shall pay the cost of such installation. Contact Traffic Engineering at 341-7888 to discuss installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.
10. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS AND BE MAINTAINED BY THE OWNER.
11. TRAFFIC ENGINEERING TO BE NOTIFIED AT 341-788 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
12. Any broken or missing sidewalk panels and curbing will be replaced.
13. CONTACT KAREN DIXON AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
14. PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
15. IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY MIN ADVANCE FOR THIS SERVICE AND MUST SUPPLY A RPZ BACKFLOW PREVENTION DEVICE ON THE DEVELOPERS SIDE OF THE WATER METER BOX.
16. ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA SHALL COMPLY WITH THE CFPWA CROSS CONNECTION REGULATIONS.

**ADDITIONAL NOTES**

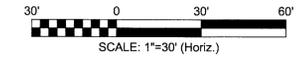
- A. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- B. All parking stall markings and lane arrows within the parking areas shall be white.
- C. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
- D. Install reflectors per City and NCDOT standards. Traffic Engineering must approve of pavement marking layout prior to actual striping.
- E. A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plat. [SD 15-14 Corw Tech Stds]



**GENERAL NOTES**  
 ALL PAVEMENT MARKING SYMBOLS SHALL BE WHITE IN COLOR OR PAVEMENT MARKING SYMBOLS SHALL NOT BE LOCATED AS TO ENCROACH INTO INTERSECTION AREAS.  
 ON PORTLAND CEMENT CONCRETE PAVEMENTS, PAVEMENT MARKING SYMBOLS SHALL NOT BE PLACED ACROSS TRANSVERSE EXPANSION JOINTS UNLESS APPROVED BY THE ENGINEER.



**SITE PLAN**  
 SCALE 1" = 30'



**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

**Approved Construction Plan**

Name	Date
Planning	_____
Traffic	_____
Fire	_____
CFPUA	_____

REVISION	DATE	DESCRIPTION
R2	12/5/12	SUBMITTED WITH TRC COMMENTS ADDRESSED
R1	11/1/12	SUBMITTED FOR TRC REVIEW