

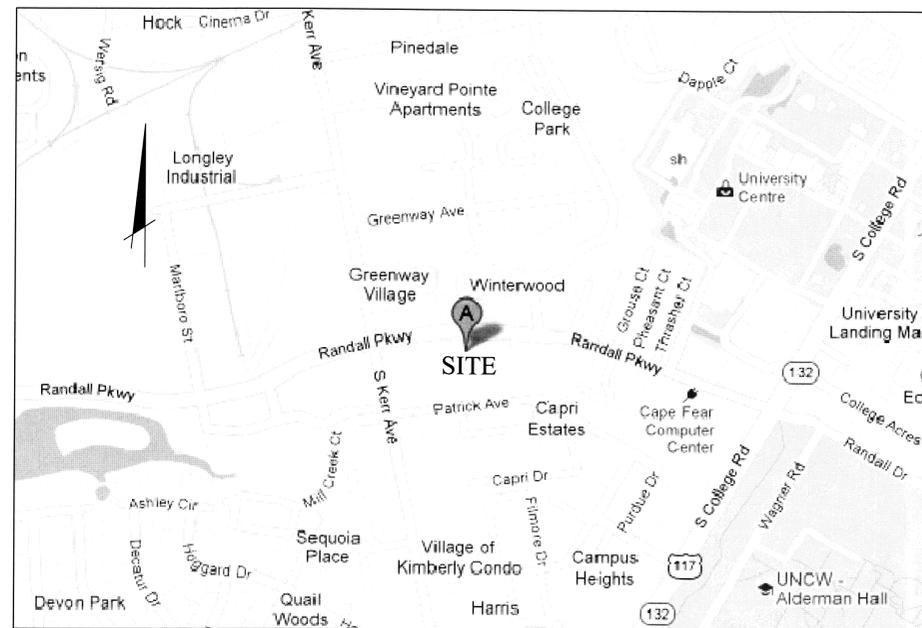
The Lofts at Randall

4810 Randall Parkway

City of Wilmington, New Hanover County, North Carolina
Site Plan Submittal

DEVELOPMENT DATA

PROJECT:	THE LOFTS AT RANDALL
PLAN TYPE:	MAJOR SITE PLAN
ENGINEER:	CHANDLER ENGINEERING, PA JIM CHANDLER, PE 309 S. FUQUAY AVENUE FUQUAY-VARINA, NC 27526 PHONE: 919-552-4845 FAX: 919-552-6962 EMAIL: jim@chandlerengineeringpa.com
OWNER/DEVELOPER:	THE LOFTS AT RANDALL LLC CATHERINE CONNORS - MANAGER 106 MUIR WOODS DRIVE CARY, NC 27513 PHONE: 919-380-0446 EMAIL: cathy.connors@solsticepartners.net
ARCHITECT:	ANEGRAM STUDIOS, PA TAMMY KAHM, AIA PO BOX 10488 RALEIGH, NC 27605 PHONE: 919-377-2366 EMAIL: tammy@anegramstudio.com
PROPERTY ADDRESS:	4810 RANDALL PARKWAY
PARCEL NUMBER:	313711-67-9382.000 313711-77-1253.000
REFERENCE:	DB 4073, PG 784 DB 5503, PG 1266
ZONING:	MF-L (CD)
PROPOSED USE:	MULTI-FAMILY
EXISTING TRACT AREA:	1.750 ACRES



VICINITY MAP - 1"=1000'

SHEET INDEX

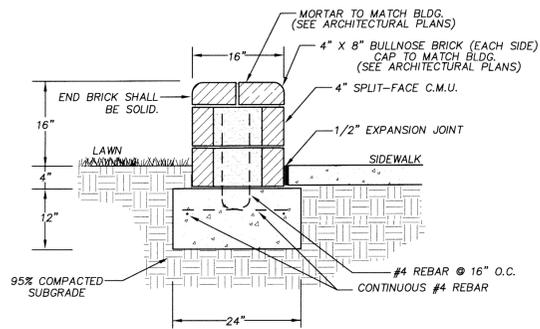
C1.01 -	SITE INVENTORY/TREE PRESERVATION/DEMOLITION PLAN
C2.01 -	SITE LAYOUT PLAN
C3.01 -	SITE GRADING PLAN
C4.01 -	SITE SEDIMENTATION AND EROSION CONTROL PLAN
C5.01 -	SITE UTILITY PLAN
C6.01 -	SITE PLANTING PLAN
C6.02 -	PLANTING DETAILS
C7.01 -	SITE DETAILS
C7.02 -	SITE DETAILS
C7.03 -	SITE DETAILS
C7.04 -	SITE DETAILS
AA201 -	BUILDING ELEVATIONS
AA202 -	BUILDING ELEVATIONS

chandler engineering pa
309 S. Fuquay Avenue, Fuquay-Varina, NC 27526
Phone: 919-552-4845 Fax: 919-552-6962

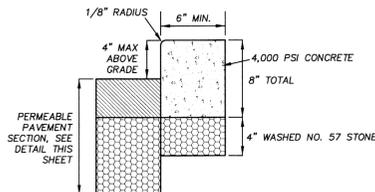


CALL 48 HOURS BEFORE YOU DIG
1-800-632-4949
NORTH CAROLINA ONE-CALL CENTER

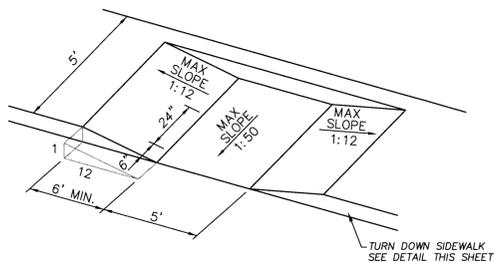
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TYPICAL SEAT WALL
NOT TO SCALE



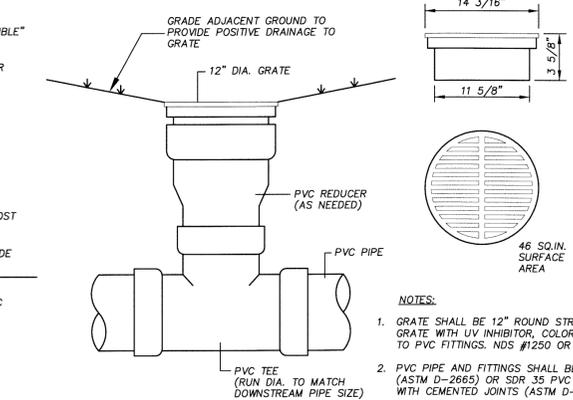
HEADER CURB DETAIL
NOT TO SCALE



HANDICAP RAMP DETAIL
NOT TO SCALE

- NOTES:**
1. PREPARING, GRADING, SHAPING, AND COMPACTION OF SUBGRADE SOILS SHOULD BE PERFORMED IN ACCORDANCE WITH DIVISION 5, SECTION 501 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (2006). PREPARING, GRADING, SHAPING, AND COMPACTION OF AGGREGATE BASE COURSE (ABC) STONE SHOULD BE PERFORMED IN ACCORDANCE WITH DIVISION 5, SECTION 520 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (2006).
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PAVEMENT DURING ALL PHASES OF WORK. THE FINAL SURFACE OF PAVEMENT SHALL BE FREE OF ALL DEFECTS OR DAMAGE.

GRAVEL DRIVE SECTION
NOT TO SCALE



STANDARD AREA DRAIN
NOT TO SCALE

- NOTES:**
1. GRATE SHALL BE 12" ROUND STRUCTURAL FOAM POLYETHYLENE GRATE WITH UV INHIBITOR, COLOR: GREEN, WITH DIRECT CONNECTION TO PVC FITTINGS. NDS #1250 OR EQUAL (1-800-726-1994).
 2. PVC PIPE AND FITTINGS SHALL BE SCH. 40 PVC DWV (ASTM D-2865) OR SDR 35 PVC (ASTM D-3034) WITH CEMENTED JOINTS (ASTM D-2564).
 3. REFER TO SHEET C3.01 FOR SLOPES AND INVERTS.

STANDARD AREA DRAIN
NOT TO SCALE

NOT TO SCALE

