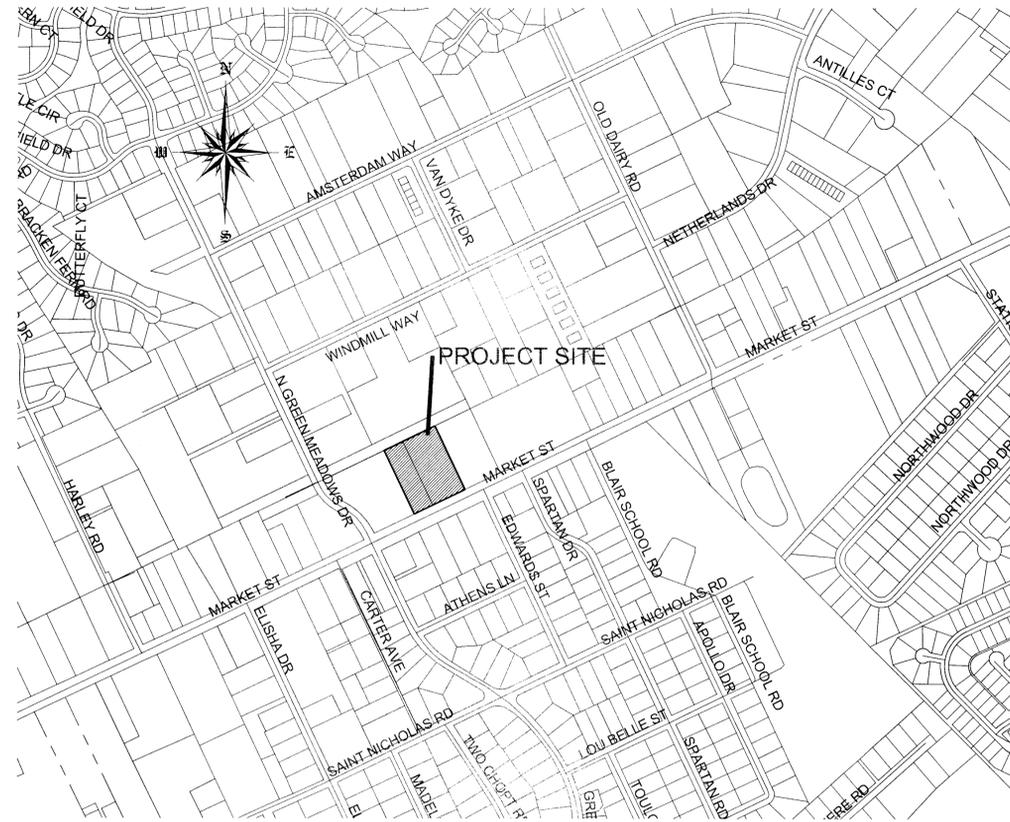


CONSTRUCTION PLANS FOR FIAT OF WILMINGTON 6421 MARKET STREET

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

| | Name | Date |
|----------|-------|-------|
| Planning | _____ | _____ |
| Traffic | _____ | _____ |
| Fire | _____ | _____ |
| CFPUA | _____ | _____ |



VICINITY MAP
NOVEMBER, 2012

NOTES

1. AN ALL WEATHER DRIVING SURFACE FOR EMERGENCY VEHICLES MUST BE MAINTAINED DURING CONSTRUCTION.
2. THERE SHALL BE NO ENCUMBRANCES WITHIN THE NCDOT RIGHT OF WAY.
3. ALL MATERIALS UTILIZED IN THE CONSTRUCTION OF THE UTILITIES WITHIN THE PUBLIC RIGHT OF WAY SHALL BE NCDOT APPROVED MATERIALS.
4. CONTRACTOR IS TO PROVIDE ALL NECESSARY TRAFFIC AND SAFETY CONTROL DEVICES IN WORK AREAS.
5. FIELD VERIFY EXISTING UTILITIES FOR CONFLICTS PRIOR TO CONSTRUCTION, NOTIFY ENGINEER AT 910-619-9990 BEFORE PROCEEDING WITH CONSTRUCTION.
6. CONTRACTOR IS TO NOTIFY (AT A MINIMUM) THE FOLLOWING COMPANIES FOR LOCATION SERVICES:
ULCOO1-800-632-4949, 48 HOURS IN ADVANCE
BELL SOUTH.....1-800-392-8712 (STIEVE DAYVAULT)
7. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING (IF REQUIRED) WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION.
8. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAY ARE TO BE THERMO PLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
9. It shall be the responsibility of the subdivider to erect official street name signs at all intersections associated with the subdivision in accordance with the Technical Standards and Specifications Manual. The subdivider may acquire and erect official street name signs or may choose to contract with the city to install the street signs and the subdivider shall pay the cost of such installation. Contact Traffic Engineering at 341-7888 to discuss installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.
10. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS AND BE MAINTAINED BY THE OWNER.
11. TRAFFIC ENGINEERING TO BE NOTIFIED AT 341-788 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
12. Any broken or missing sidewalk panels and curbing will be replaced.
13. CONTACT KAREN DIXON AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
14. PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
15. IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION HE SHALL APPLY MIN ADVANCE FOR THIS SERVICE AND MUST SUPPLY A RPZ BACKFLOW PREVENTION DEVICE ON THE DEVELOPERS SIDE OF THE WATER METER BOX.
16. ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA SHALL COMPLY WITH THE CFPUA CROSS CONNECTION REGULATIONS.

ADDITIONAL NOTES

- A. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- B. All parking stall markings and lane arrows within the parking areas shall be white.
- C. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
- D. Install reflectors per City and NCDOT standards. Traffic Engineering must approve of pavement marking layout prior to actual striping.
- E. A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plat. [SD 15-14 CoTW Tech Stds]

OWNER/DEVELOPER
G & G PARTNERS 2, LLC
MR. JOHN GILLILAN
219 COLLEGE ROAD
WILMINGTON, NC 28406
1-910-799-1815

CIVIL ENGINEER
JBS CONSULTING, PA
BRAD SEDGWICK, PE
7332 COTESWORTH DRIVE
WILMINGTON, NC 28405
1-910-619-9990

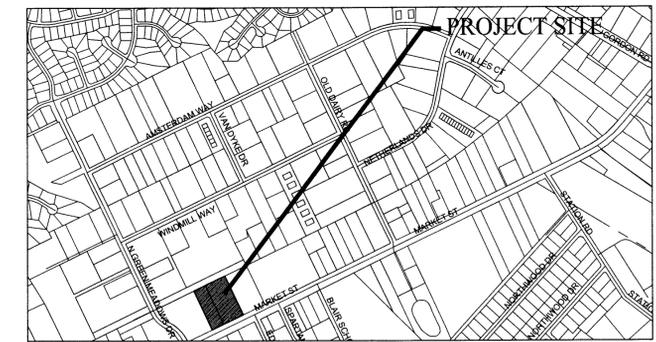
SURVEYOR
GEOINNOVATION, PC
MR. DEAN EXLINE, PLS
311 JUDGES ROAD
SUITE 3D
WILMINGTON, NC 28405
1-910-367-2110

GENERAL CONTRACTOR
TMC TAYLOR
MR. GREG TAYLOR
1406 CASTLE HAYNE ROAD
WILMINGTON, NC 28401
1-910-251-1181

LIST OF DRAWINGS

| | |
|----|----------------------------------|
| XX | COVER SHEET |
| C1 | EXISTING SITE |
| C2 | SITE PLAN |
| C3 | GRADING |
| C4 | UTILITIES |
| C5 | INFILTRATION SYSTEM |
| C6 | DETAILS |
| L1 | LANDSCAPE PLAN |
| XX | RECOMBINATION PLAT (PRELIMINARY) |
| XX | TREE LOCATION SURVEY |





DESIGN BY: BDS
 DRAWN BY: BDS
 CHECKED BY: BDS
 DATE: NOV. 2012

JBS CONSULTING, PA
 7332 Colesworth Drive
 Wilmington, NC 28045
 (910) 619-8980
 LICENSE NUMBER C-2825
 PLANNING - ENGINEERING - PROJECT MANAGEMENT



EXISTING SITE
 FIAT OF WILMINGTON
 6421 MARKET STREET
 WILMINGTON, NORTH CAROLINA

G AND G PROPERTIES 2, LLC
 JOHN S. GILLILAN, AGENT
 219 COLLEGE ROAD
 WILMINGTON, NC 28406

SHEET
C1
 JOB NO. 032-011

SITE DATA

ADDRESS 6421 MARKET STREET
 WILMINGTON, NC 28403
 PARCEL ID NUMBERS R04300-007-037-000
 DEED BOOK & PAGE D.B. 5527 PG. 1251
 MAP BOOK & PAGE MB 43 PG. 227
 MB 47 PG. 241
 ZONING RB-REGIONAL BUSINESS
 CITY OF WILMINGTON
 TOTAL LOT AREA 1.20 ACRES (6415)
 2.08 ACRES (6421)
 3.26 ACRES
 CAMA LAND USE CLASSIFICATION .. URBAN
 PROPOSED USE CAR DEALERSHIP
 NUMBER OF BUILDINGS 1 PROPOSED
 BUILDING SQUARE FOOTAGE 10,947 SF
 BUILDING COVERAGE 10,947 SF / (3.26 AC X 43560) = 7.7%
PAVEMENT/BUA CALCULATIONS
 EXISTING ON SITE 22,356 SF (TO REMAIN)
 PROPOSED
 ASPHALT 44,493 SF
 BUILDING 10,947 SF
 CONCRETE 2,827 SF
 PERMEABLE CONCRETE 18,695 SF
 TOTAL PROPOSED 99,318 SF
 ZONING RB - REGIONAL BUSINESS

| | REQUIRED | PROPOSED |
|------------------------|----------|------------|
| MIN. LOT AREA | 1 ACRE | 3.26 ACRES |
| MIN. LOT WIDTH | 100' | 339.01' |
| MAX. LOT COVERAGE | 40% | 7.9% |
| FRONT BUILDING SETBACK | 50' | 143.1' |
| REAR BUILDING SETBACK | 15' | 179.8' |
| SIDE BUILDING SETBACK | 0' | |
| RIGHT SIDE | | 111.9' |
| LEFT SIDE | | 110.4' |
| MAX. BUILDING HEIGHT | 35' | 18.0' |

PARKING REQUIREMENTS

| | REQUIRED |
|------------------|--|
| NUMBER OF SPACES | 1 PER 300 MIN (37 SPACES) 1 PER 200 MAX (55 SPACES) |

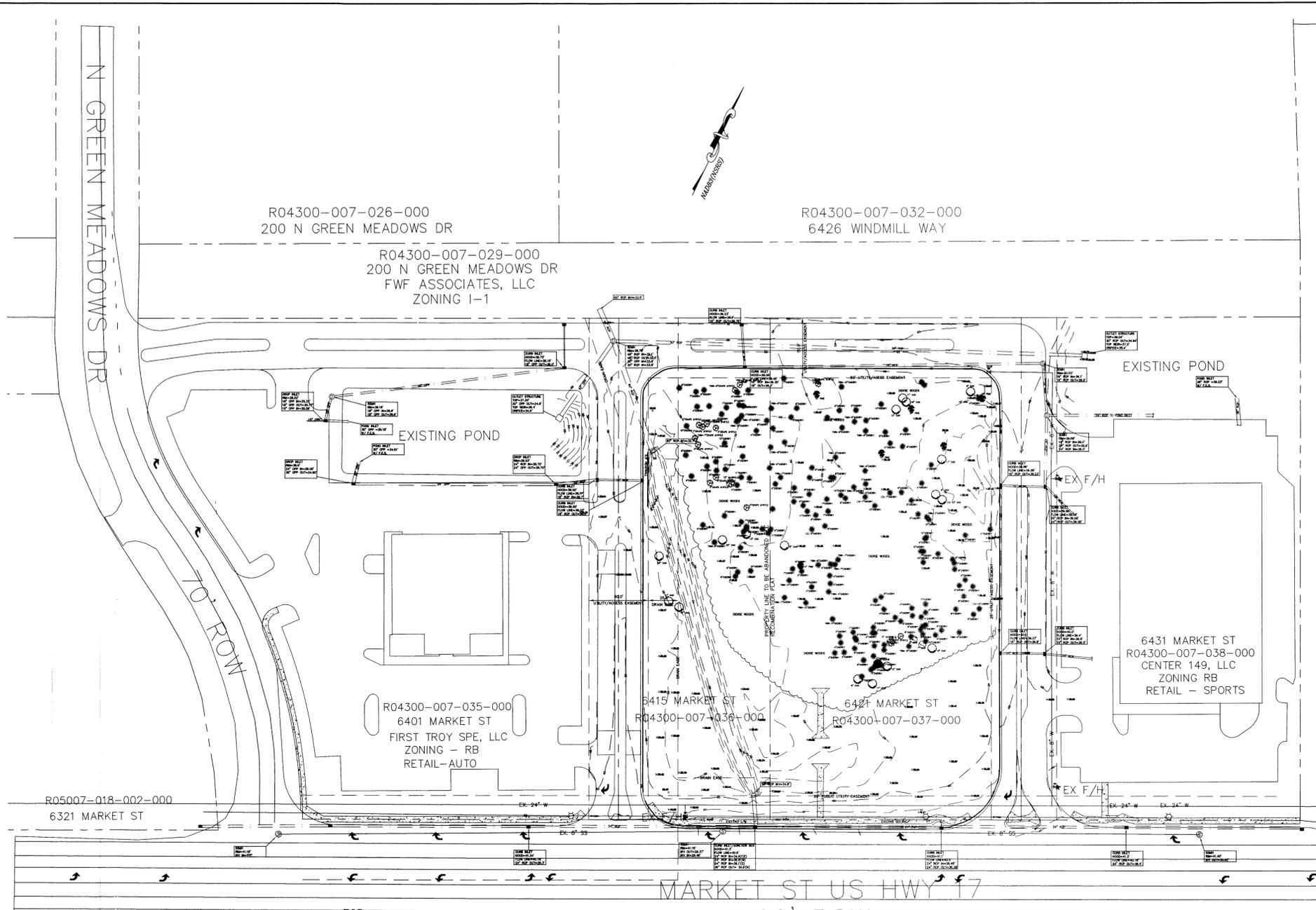
 PROPOSED EMPLOYEE/CUSTOMER PARKING 37 SPACES
 (PROVIDE AT REAR OF BUILDING)
 PROPOSED "INVENTORY" SPACES 74 SPACES
 HANDICAP SPACES W/ VAN ACCESS 3 SPACES
 TOTAL PROVIDED 116 SPACES
 BICYCLE PARKING
 LESS THAN 125 SPACES 5 BICYCLE SPOTS REQUIRED. 5 PROVIDED.
 SOLID WASTE - SOLID WASTE DISPOSAL WILL BE BY DUMPSTER. DUMPSTER PAD IS LOCATED IN THE REAR RIGHT HAND SIDE OF THE PARKING LOT. THE DUMPSTER PAD WILL BE SCREENED WITH A CHAIN LINK FENCE WITH BUILDER SLIDES ON ALL SIDES.
 UTILITY INFORMATION
 WATER: 000 GPD (CURRENT USE)
 WATER: 1600 GPD (PROPOSED USE) + IRRIGATION (SEPARATE TAP)
 SEWER: 000 GPD (CURRENT USE)
 SEWER: 1375 GPD (PROPOSED USE)
 ALL PROPOSED UTILITIES TO BE UNDERGROUND TO SERVE THIS SITE
 RECEIVING STREAM SMITH CREEK
 RIVER BASIN CAPE FEAR
 STREAM INDEX NUMBER CFF 17 18-74-63
 WATER CLASSIFICATION "C, 5W"
LANDSCAPE REQUIREMENTS
STREET YARD BUFFER
 ZONING RB (MULTIPLIER = 25)
 297' FRONTAGE * 25 = 7425 SF REQUIRED (7528 SF PROVIDED)
 75% = 12.5
 13 CANOPY OR 38 UNDERSTORY TREES AND 75 - 12' SHRUBS
PARKING LOT LANDSCAPING
 ALL INTERIOR ISLANDS GREATER THAN 216 SF
 1 - SHADE TREE PER SMALL ISLAND (4 ISLANDS TOTAL)
 2 - SHADE TREES PER LARGE ISLAND (92 ISLANDS TOTAL)
PERIMETER LANDSCAPING
 92'3" - 96' (DRIVEWAYS) = 827'
 10' MIN WIDTH (12 AVERAGE PROVIDED)
 1 - TREE PER 18' (MAX) OR 27' (MIN)
 46- TREES (MAX)
 31 - TREES (MIN)
FOUNDATION PLANTINGS
 FRONT (18' EAVE HEIGHT) X 115' = 2070 SF X 12% = 250 SF MIN REQUIRED
 339 SF PROVIDED
 EAST SIDE (18' EAVE HEIGHT) X 92' = 1656 SF X 12% = 200 SF MIN REQUIRED
 3003 SF PROVIDED
 WEST SIDE (18' EAVE HEIGHT) X 96' = 1728 SF X 12% = 207 SF MIN REQUIRED
 1388 SF PROVIDED
BUFFER YARD
 NOT REQUIRED ON THIS PARCEL



LEGEND

| | | |
|------------------------|--|-------|
| EXIST. SPOT ELEVATION | | |
| PRO. SPOT ELEVATION | | 20.0 |
| SILT FENCE | | |
| DRAINAGE RUNOFF FLOW | | |
| LIMITS OF CONSTRUCTION | | |
| ASPHALT | | |
| CONC. PAVEMENT | | |
| GRAVEL | | |
| EDGE OF WOODS | | EOWDS |
| TOP OF BANK | | TOB |
| EDGE OF WATER | | EOW |
| EDGE OF GRAVEL | | EOG |

NO WETLAND WITHIN PROJECT AREA



EXISTING SITE
 SCALE 1" = 50'

NOTES

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 BELL SOUTH 1-800-392-8712 (STEVE DAYVAULT)
7. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING (IF REQUIRED) WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION.
8. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAYS ARE TO BE THERMO PLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
9. IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
10. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS AND BE MAINTAINED BY THE OWNER.
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ADDITIONAL NOTES

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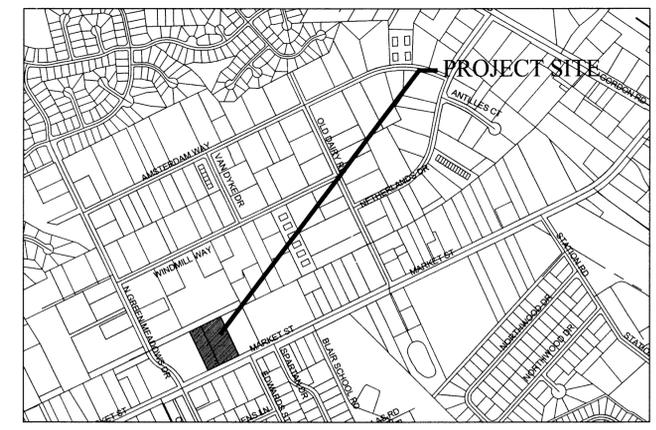
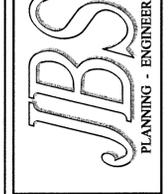
CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan

| Name | Date |
|----------|-------|
| Planning | _____ |
| Traffic | _____ |
| Fire | _____ |
| CFPUA | _____ |

SCALE: 1"=50' (Horiz.)

| REVISION | DATE | DESCRIPTION |
|----------|----------|---------------------------------------|
| R2 | 12/5/12 | SUBMITTED WITH TRC COMMENTS ADDRESSED |
| R1 | 11/17/12 | SUBMITTED FOR TRC REVIEW |



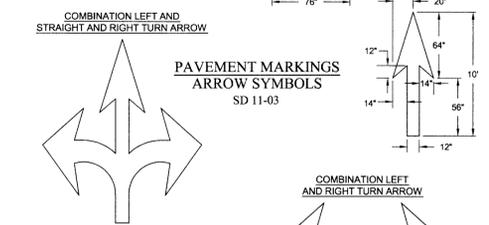
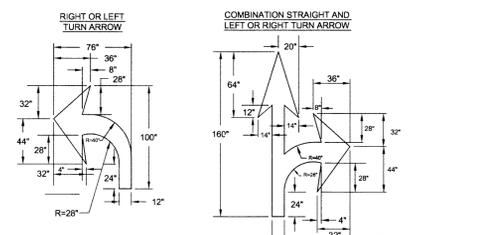
VICINITY MAP
 NTS

NOTES

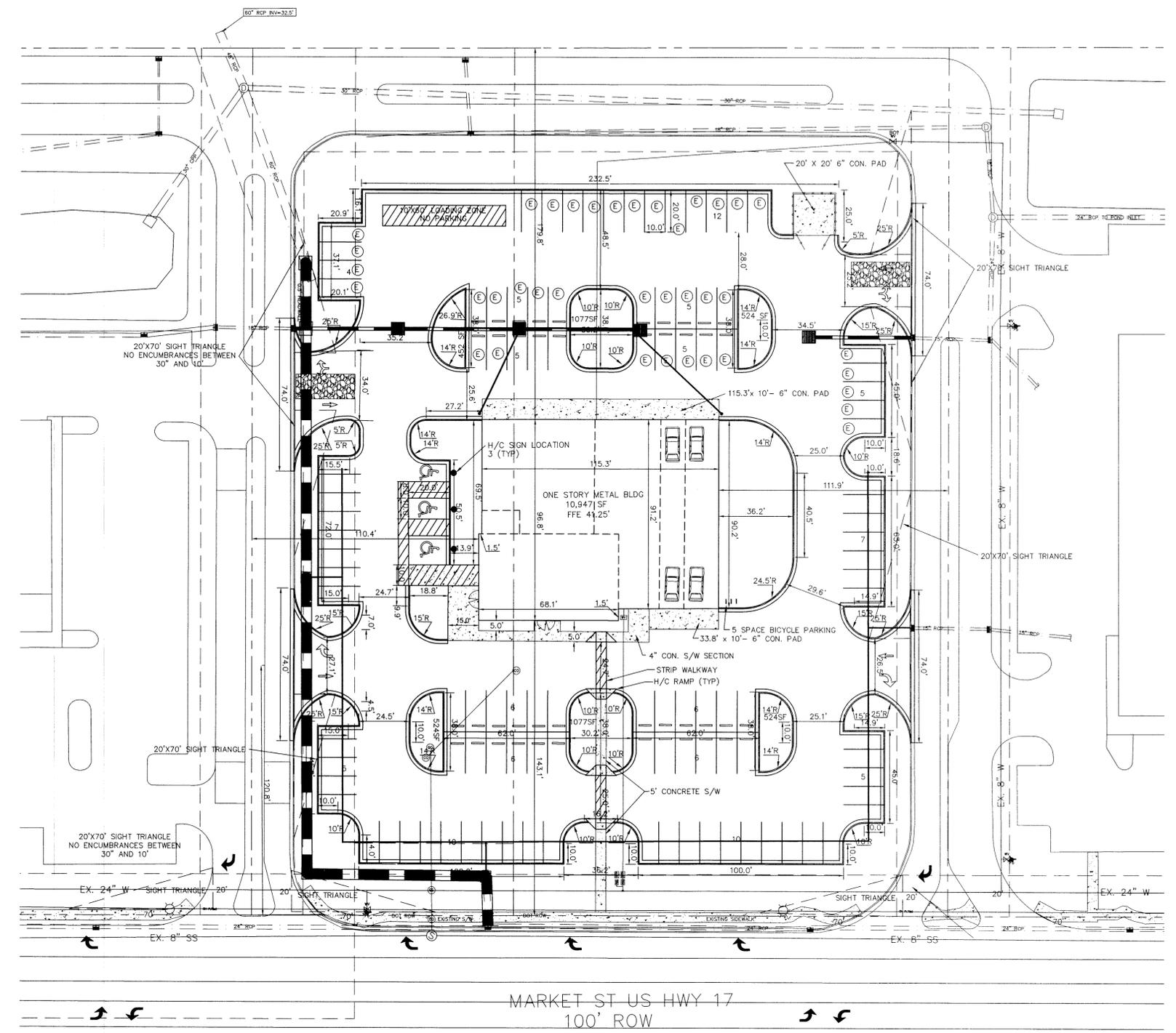
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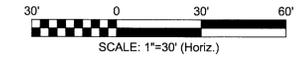
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GENERAL NOTES
 ALL PAVEMENT MARKING SYMBOLS SHALL BE WHITE IN COLOR OR PAVEMENT MARKING SYMBOLS SHALL NOT BE LOCATED AS TO ENCRUSCH INTO INTERSECTION AREAS.
 ON PORTLAND CEMENT CONCRETE PAVEMENTS, PAVEMENT MARKING SYMBOLS SHALL NOT BE PLACED ACROSS TRANSVERSE EXPANSION JOINTS UNLESS APPROVED BY THE ENGINEER.



SITE PLAN
 SCALE 1" = 30'

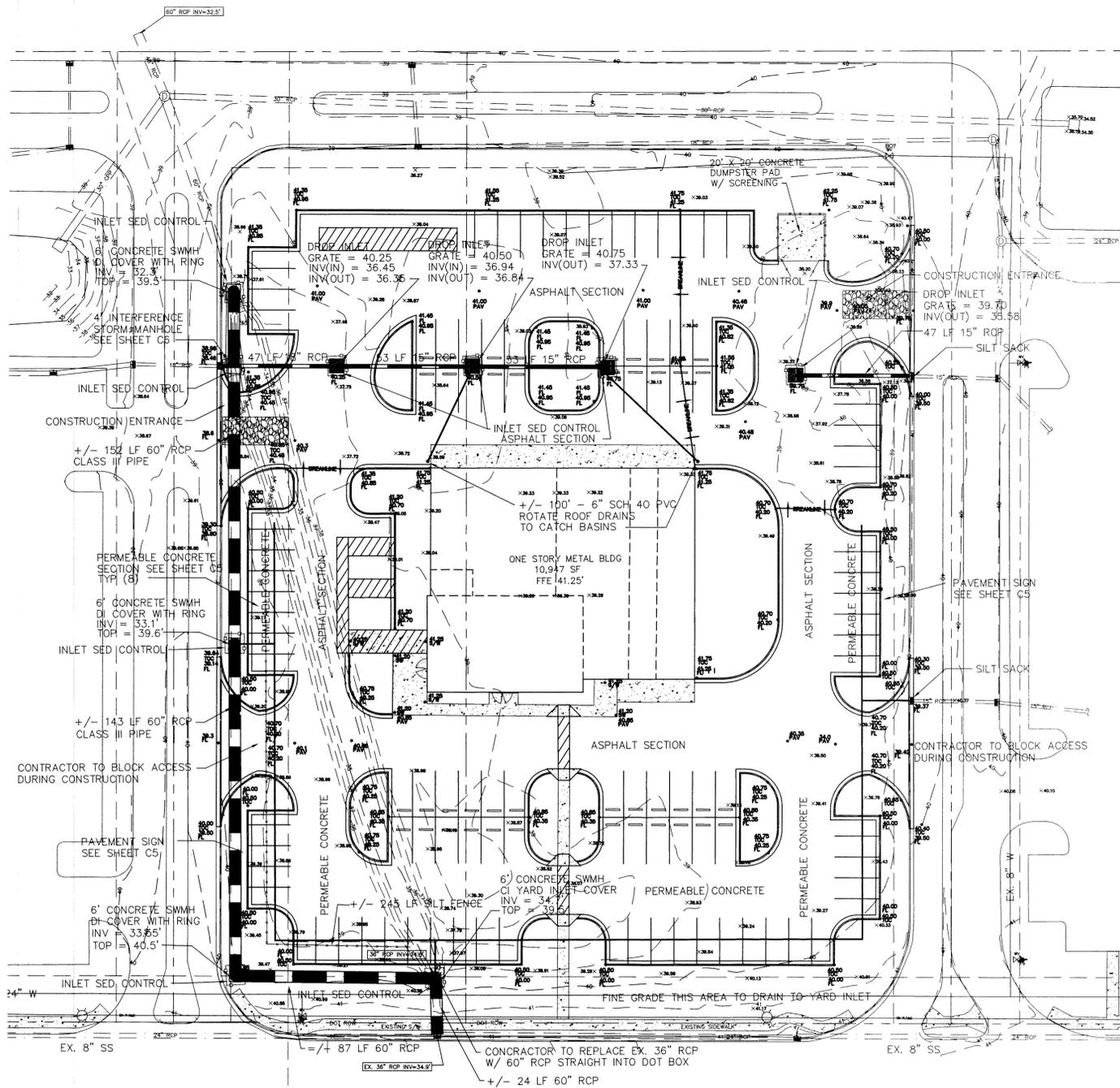


City of WILMINGTON NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

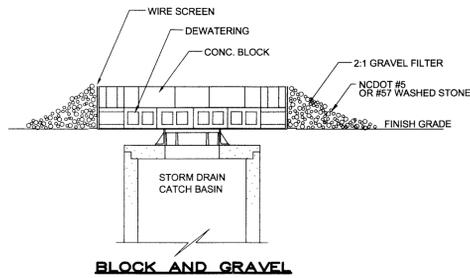
Approved Construction Plan

| | |
|----------|------|
| Name | Date |
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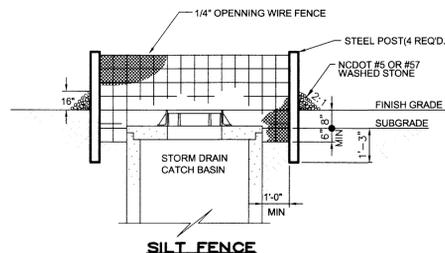
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| REVISION | DATE | DESCRIPTION |
| R2 | 12/5/12 | SUBMITTED WITH TRC COMMENTS ADDRESSED |
| R1 | 11/11/12 | SUBMITTED FOR TRC REVIEW |



GRADING PLAN
SCALE 1" = 30'

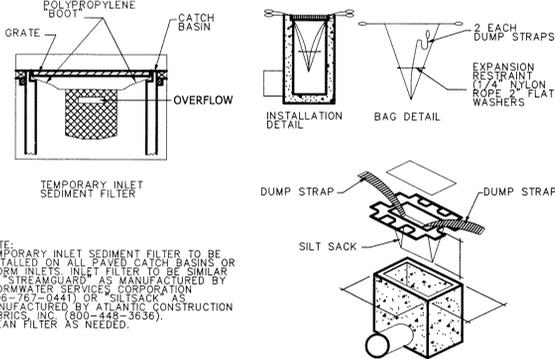


BLOCK AND GRAVEL

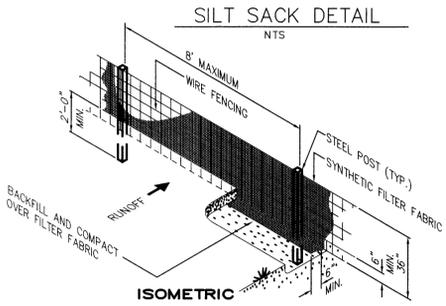


SILT FENCE

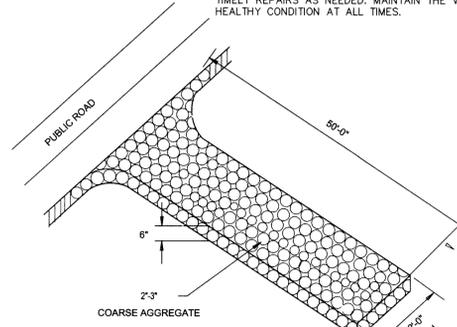
NOTE: USE BLOCK AND GRAVEL INLET PROTECTION IN AREAS WHERE SILT FENCE INLET PROTECTION CAN NOT BE INSTALLED.
INLET SEDIMENTATION CONTROL
NOT TO SCALE



NOTE: TEMPORARY INLET SEDIMENT FILTER TO BE INSTALLED ON ALL PAVED CATCH BASINS OR 3\"/>



SILT FENCE DETAIL
NOT TO SCALE



CONSTRUCTION ENTRANCE/EXIT
NOT TO SCALE

GRADING NOTES

1. INITIATE EROSION CONTROL SEQUENCE BEFORE BEGINNING CLEARING AND GRADING OPERATIONS.
2. CLEAR AREAS TO BE GRADED OF ALL VEGETATION. PROTECT VEGETATION BEYOND GRADING LIMITS.
3. STRIP TOPSOIL TO FULL DEPTH IN AREAS TO BE GRADED AND STOCKPILE.
4. COMPACT ALL FILL AREAS TO 95% OF MAXIMUM DENSITY.
5. ALL BANKS AND SWALE SIDE SLOPES SHALL BE GRADED WITH NO GREATER THAN 3:1 SLOPES.
6. ALL AREAS ARE TO BE GRADED SO THAT NO AREAS OF STANDING WATER OCCUR.
7. PROPOSED SPOT ELEVATIONS ARE SHOWN AT FINISHED GRADE.
8. OPERATOR SHALL FIELD VERIFY EXISTING TOPOGRAPHY IN RELATION TO THE PROPOSED GRADES TO ENSURE DRAINAGE IN THE DIRECTIONS INDICATED ON THE PLAN.

CONSTRUCTION SEQUENCE

1. OBTAIN ALL NECESSARY PERMIT APPROVALS PRIOR TO ANY LAND DISTURBING ACTIVITY.
2. HOLD A PRE-CONSTRUCTION MEETING WITH THE EROSION CONTROL INSPECTOR.
3. INSTALL THE FAIRCLOTH SKIMMER ON THE "AUTO PALACE" POND. INSTALL GRAVEL CONSTRUCTION ENTRANCE AND SILT FENCE. THE 60" RCP IS TO BE INSTALLED FIRST. SILT FENCE IS TO BE INSTALLED AT THE EDGE OF THE DITCH AS SHOWN. ONCE THIS PIPE IS INSTALLED, THE AREAS THAT CONTAIN THE PERMEABLE CONCRETE ARE TO BE BLOCKED OFF AND THE CONTRACTOR IS TO PROHIBIT ANY KIND OF TRAFFIC OR EQUIPMENT STORAGE WITHIN THESE AREAS. THE DRAINAGE PIPE TO THE "AUTO PALACE" IS TO BE INSTALLED NEXT. ONCE THIS PIPE IS INSTALLED IMMEDIATELY INSTALL THE INLET PROTECTION. COMMENCE CLEARING AND ROUGH GRADING OPERATIONS TO ESTABLISH DIVERSION SWALES TOWARD THE "AUTO PALACE" DRAIN SYSTEM. THE PIPE TO THE "BRITT POND" IS NOT TO BE INSTALLED UNTIL THE SITE IS STABILIZED WITH SUBGRADE MATERIAL.
4. ROUGH GRADE SITE AND INSTALL UNDERGROUND UTILITIES.
5. PROVIDE TEMPORARY PROTECTION MEASURES AND DEVICES AS REQUIRED UNTIL UNDERGROUND UTILITIES AND PAVEMENT SECTION IS COMPLETE AND FINAL GRADES ARE STABILIZED WITH TEMPORARY VEGETATIVE COVER.
6. STABILIZE (FERTILIZE, SEED, AND MULCH) ALL DISTURBED AREAS AS SOON AS FINAL GRADES ARE ESTABLISHED.
7. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS ARE STABILIZED, REMOVE TEMPORARY EROSION CONTROL MEASURES, REMOVE SEDIMENT FROM SEDIMENT BASIN AND CONSTRUCT BIORETENTION.

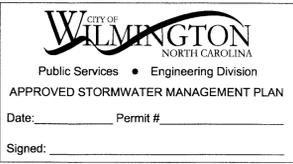
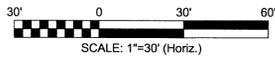
EROSION CONTROL MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF - PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. INSPECT SEDIMENT TRAPS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT, AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN DESIGNATED DISPOSAL AREA, AND REPLACE THE PART OF THE GRAVEL FACING THAT IS IMPAIRED BY SEDIMENT.
3. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES ABOUT 0.5 FEET DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
4. ALL AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
5. GRAVEL CONSTRUCTION ENTRANCE TO BE CLEANED WHEN SEDIMENT ACCUMULATIONS ARE VISIBLE OR SEDIMENT IS DEPOSITED ON THE ASPHALT AND STONE WILL BE PERIODICALLY TOP DRESSED WITH 2 INCHES OF #4 STONE TO MAINTAIN 6 INCH DEPTH.
6. INSPECT SWALES (PERMANENT DIVERSIONS) AFTER EVERY RAINFALL DURING THE CONSTRUCTION OPERATION. IMMEDIATELY REMOVE ANY OBSTRUCTIONS FROM THE FLOW AREA AND REPAIR THE SWALE. CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. MAINTAIN THE VEGETATION IN A VIGOROUS, HEALTHY CONDITION AT ALL TIMES.

LEGEND

| | |
|------------------------|--------------|
| EXIST. SPOT ELEVATION | |
| PRO. SPOT ELEVATION | |
| SILT FENCE | |
| DRAINAGE RUNOFF FLOW | |
| LIMITS OF CONSTRUCTION | |
| ASPHALT | |
| CONC. PAVEMENT | |
| GRAVEL | |
| EDGE OF WOODS | <i>EOWDS</i> |
| TOP OF BANK | <i>TOB</i> |
| EDGE OF WATER | <i>EOW</i> |
| EDGE OF GRAVEL | <i>EOG</i> |

| REVISION | DATE | NUMBER |
|----------|----------|--------|
| R2 | 12/5/12 | 1 |
| R1 | 11/17/12 | 1 |



Approved Construction Plan

Name: _____ Date: _____

Planning: _____

Traffic: _____

Fire: _____

CFPUA: _____

Date: _____ Permit # _____

Signed: _____

DESIGN BY: BDS
DRAWN BY: BDS
CHECKED BY: BDS
DATE: NOV. 2012

JBS CONSULTING, PA
7332 Cotesworth Drive
Wilmington, NC 28045
(910) 619-9890
LICENSE NUMBER C-2525

PLANNING - ENGINEERING - PROJECT MANAGEMENT

G AND G PROPERTIES 2, LLC
JOHN S. GILLILAN, AGENT
219 COLLEGE ROAD
WILMINGTON, NC 28406

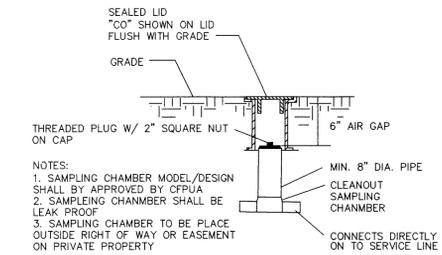
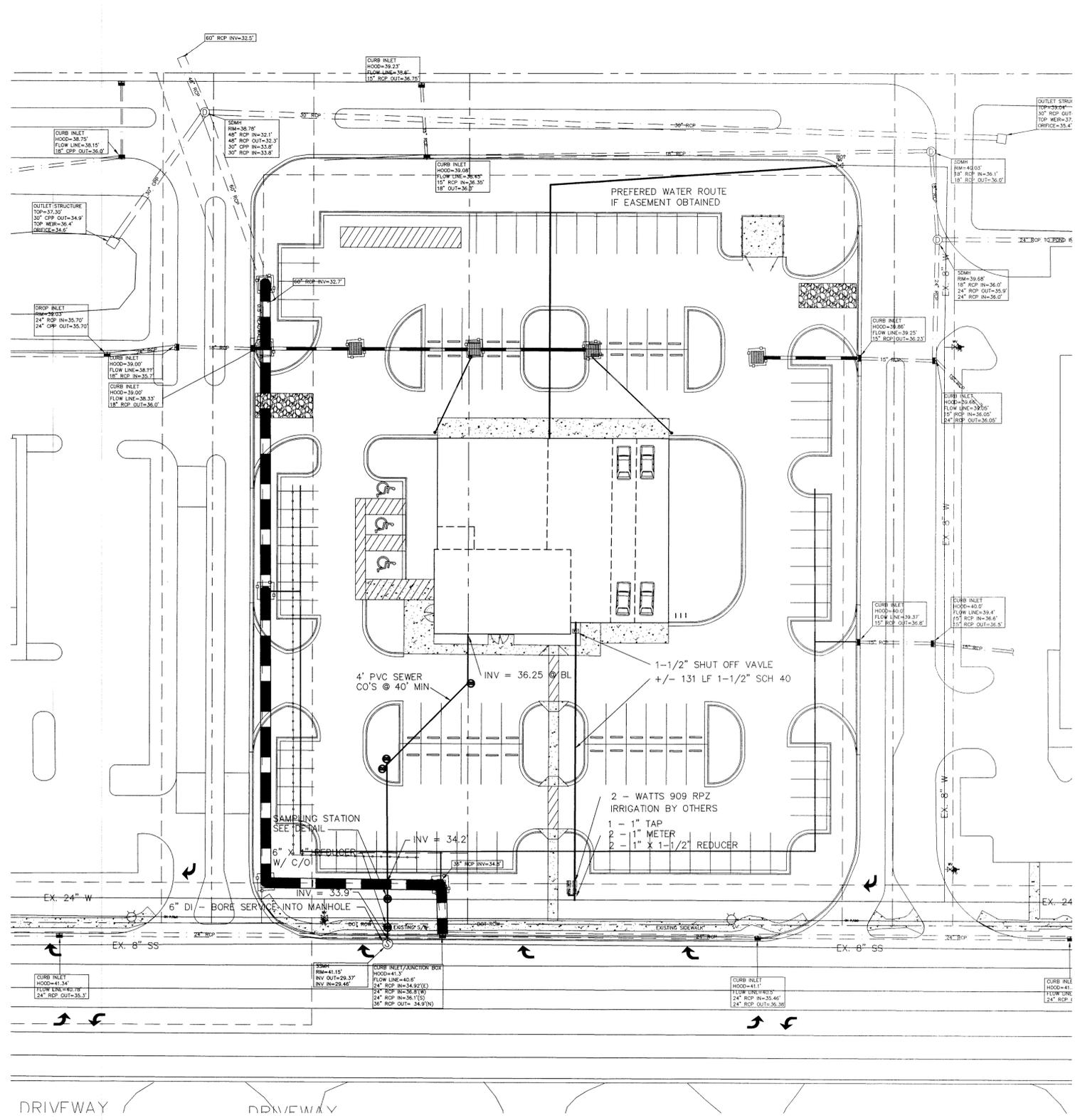
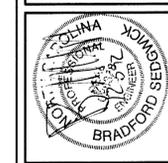
6421 MARKET STREET
WILMINGTON, NORTH CAROLINA

GRADING, DRAINAGE & EROSION CONTROL

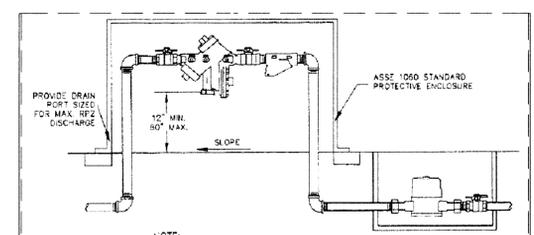
FIAT OF WILMINGTON

SHEET **C3**

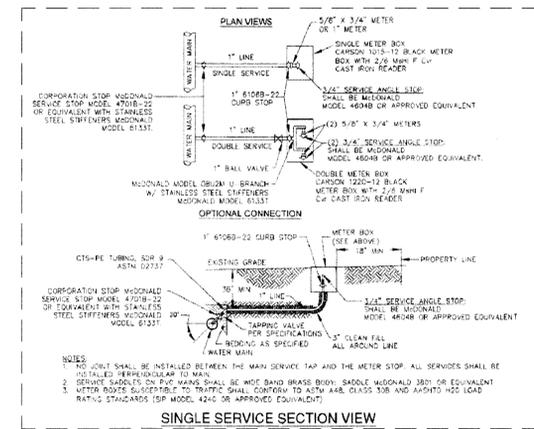
JOB NO. 032-011



SAMPLING CHAMBER
 NOT TO SCALE



OUTDOOR HORIZONTAL INSTALLATION
REDUCED PRESSURE PRINCIPLE ASSEMBLY
 NOT TO SCALE



SINGLE SERVICE SECTION VIEW

NOTES

- THERE SHALL BE NO ENCUMBRANCES WITHIN THE NCDOT RIGHT OF WAY.
- ALL MATERIALS UTILIZED IN THE CONSTRUCTION OF THE UTILITIES WITHIN THE PUBLIC RIGHT OF WAY SHALL BE NCDOT APPROVED MATERIALS.
- CONTRACTOR IS TO PROVIDE ALL NECESSARY TRAFFIC AND SAFETY CONTROL DEVICES IN WORK AREAS.
- FIELD VERIFY EXISTING UTILITIES FOR CONFLICTS PRIOR TO CONSTRUCTION, NOTIFY ENGINEER AT 910-619-9990 BEFORE PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR IS TO NOTIFY (AT A MINIMUM) THE FOLLOWING COMPANIES FOR LOCATION SERVICES:
 ULOCO1-800-632-4949, 48 HOURS IN ADVANCE
 BELL SOUTH.....1-800-392-8712 (STEVE DAYVAULT)
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING (IF REQUIRED) WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAY ARE TO BE THERMO PLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING (RICHE BROWN) TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET'S NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- TRAFFIC ENGINEERING TO BE NOTIFIED AT 341-788 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
- ANY BROKEN OR MISSING SIDEWALKS PANELS WILL BE REPLACED.
- CONTACT KAREN DIXON AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
- IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY MIN ADVANCE FOR THIS SERVICE AND MUST SUPPLY A RPZ BACKFLOW PREVENTION DEVICE ON THE DEVELOPERS' SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA SHALL COMPLY WITH THE CFPWA CROSS CONNECTION REGULATIONS.

UTILITY PLAN
 SCALE 1" = 30'

| Approved Construction Plan | |
|----------------------------|------|
| Name | Date |
| Planning | |
| Traffic | |
| Fire | |
| CFPWA | |

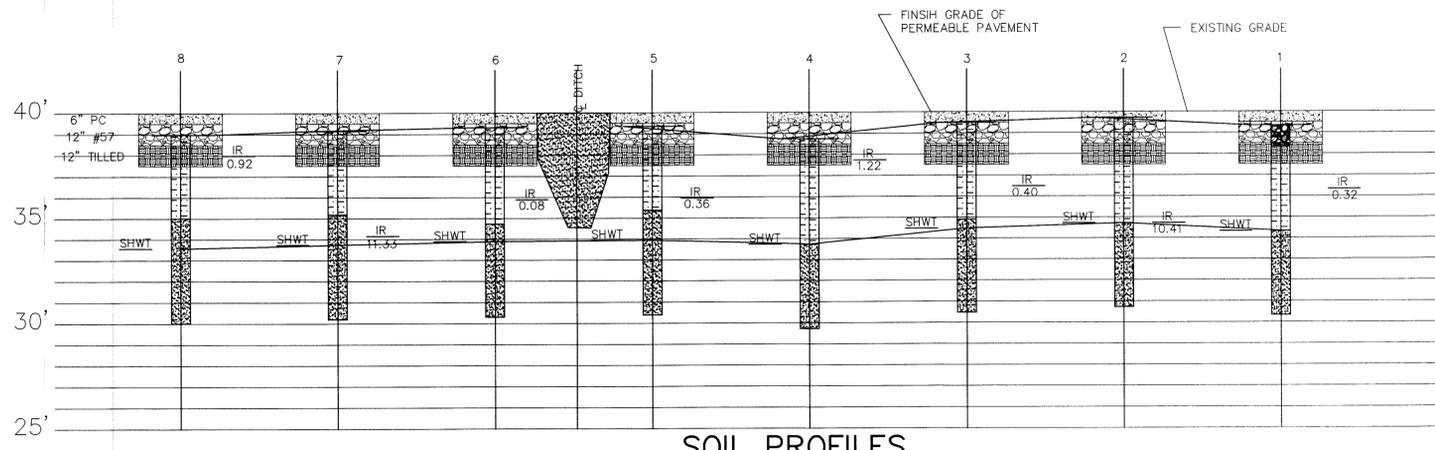
CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

| NO. | DATE | REVISION |
|-----|---------|---------------------------------------|
| R2 | 12/5/12 | SUBMITTED WITH TRC COMMENTS ADDRESSED |
| R1 | 11/1/12 | SUBMITTED FOR TRC REVIEW |
| | | REVISION |



PONDING CALCULATIONS

T = PONDING TIME (DAYS)

P = DEPTH OF DESIGN STORM (INCHES)

R = A(A)/A(P) - RATIO OF IMPERVIOUS BUA TO PERMEABLE PAVEMENT

SF = SAFETY FACTOR (0.2)

I = MEASURED IN-SITU SOIL INFILTRATION RATE (IN/HR)

$$T = \frac{P(1+R)}{24 \cdot SF \cdot I}$$

| P | A (TOTAL) | A(A) | A(P) | R | SF | I | PONDING TIME |
|-----|-----------|-------|-------|------|-----|-----|--------------|
| 8.2 | 36742 | 18047 | 18695 | 0.97 | 0.2 | 1.1 | 3.1 |

AGGREGATE DEPTH TO INFILTRATE THE 25YR/24HR STORM EVENT

D(25) = AGGREGATE DEPTH TO INFILTRATE THE 25YR/24 HR STORM

P(25) = rainfall depth for 25yr/24hr storm (inches)

R = A(A)/A(P) - RATIO OF IMPERVIOUS BUA TO PERMEABLE PAVEMENT

d = Storm Duration (hrs)

i = MEASURED IN-SITU SOIL INFILTRATION RATE (IN/HR)

SF = SAFETY FACTOR (0.2)

N = PERCENT VOIDS IN GRAVEL AGGREGATE (40%)

$$D(25) = \frac{P(25)(1+R) \cdot d \cdot SF}{i \cdot N}$$

| P | A(A) | A(P) | R | d | i | SF | N | D(25) |
|-----|-------|-------|------|----|-----|-----|-----|-------|
| 8.2 | 18047 | 18695 | 0.97 | 24 | 1.1 | 0.2 | 0.4 | 27 |

AGGREGATE DEPTH FOR WATER QUALITY STORM D(WQ)

D(WQ) = DEPTH OF AGGREGATE REQUIRED

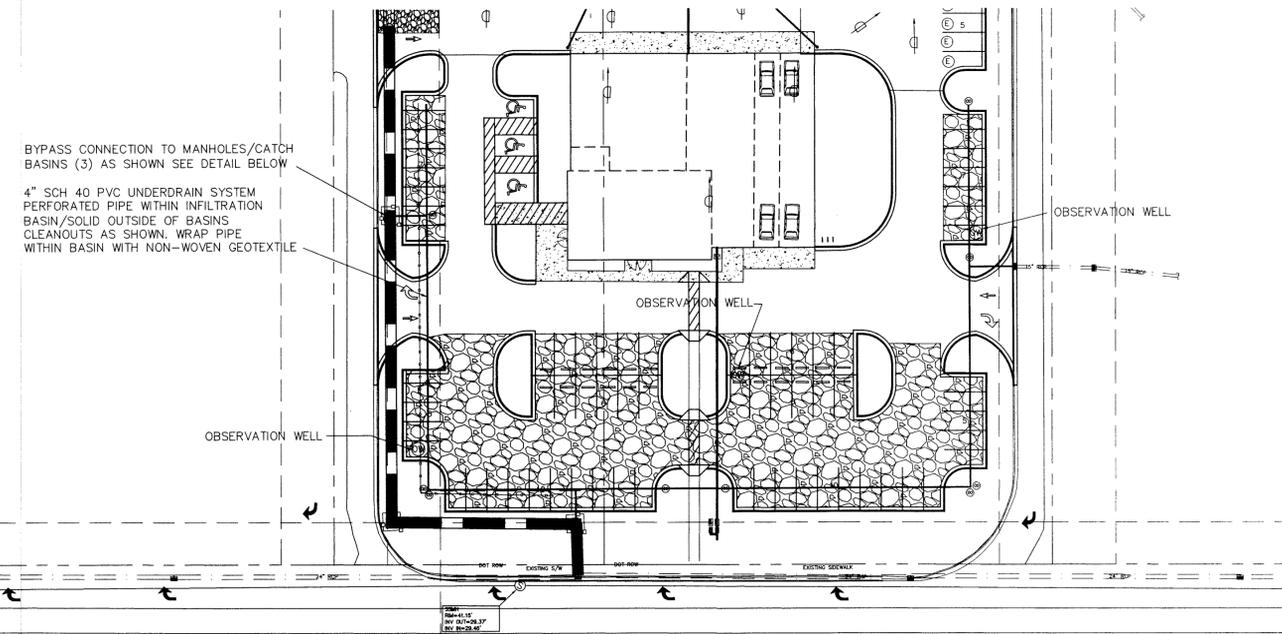
P = DEPTH OF DESIGN STORM (INCHES)

R = A(A)/A(P) - RATIO OF IMPERVIOUS BUA TO PERMEABLE PAVEMENT

N = PERCENT VOIDS IN GRAVEL AGGREGATE (40%)

$$D(WQ) = \frac{P(1+R)}{N}$$

| P | A(A) | A(P) | R | N | D(WQ) |
|-----|-------|-------|------|-----|-------|
| 1.5 | 18047 | 18695 | 0.97 | 0.4 | 7 |



PERMEABLE PAVEMENT

ACTIVITIES PROHIBITED:

- SANDING
- RE-SEALING
- RE-SURFACING
- POWER WASHING
- STORAGE OF MULCH OR SOIL
- STORAGE OF SNOW PILES
- STORAGE OF HEAVY LOADS
- APPLICATION OF SALT OR DE-ICERS

NOTE: EXAMPLE OF SIGN TO BE PLACED WHERE SHOWN ON THE PLANS. SIGN 18" X 24" ON STANDARD METAL BACKING AND MOUNTED WITH STANDARD STREET SIGN MATERIALS AND METHODS.

EXAMPLE PERMEABLE PAVEMENT SIGN
NOT TO SCALE

CITY OF WILMINGTON
NORTH CAROLINA

Public Services • Engineering Division

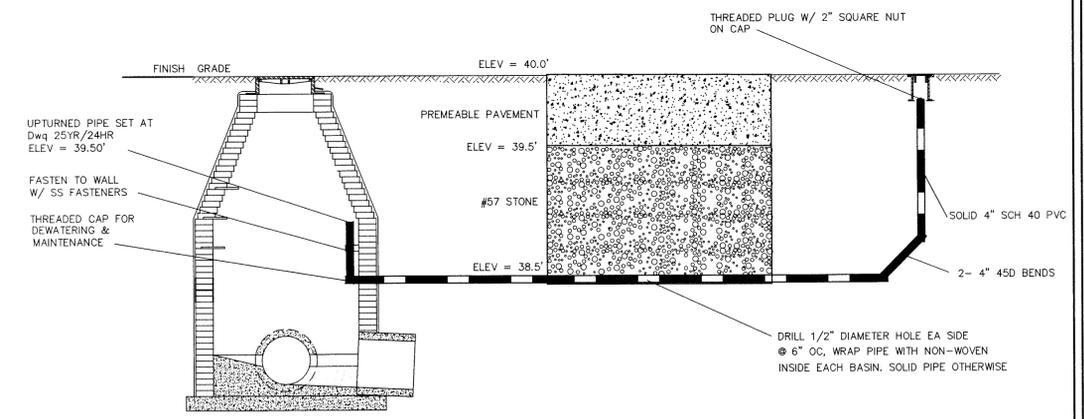
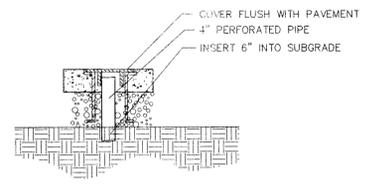
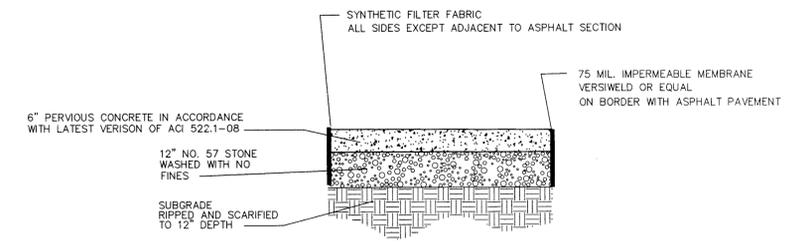
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan

| Name | Date |
|----------|-------|
| Planning | _____ |
| Traffic | _____ |
| Fire | _____ |
| CFPUA | _____ |



| REVISION | DATE | DESCRIPTION |
|----------|----------|---------------------------------------|
| R2 | 12/8/12 | SUBMITTED WITH TRC COMMENTS ADDRESSED |
| R1 | 11/17/12 | SUBMITTED FOR TRC REVIEW |
| | | |
| | | |

DESIGN BY: BDS
DRAWN BY: BDS
CHECKED BY: BDS
DATE: NOV, 2012

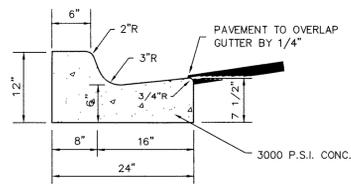
JBS CONSULTING, PA
7332 Cotesworth Drive
Wilmington, NC 28404
(910) 619-9990
LICENSE NUMBER C-2525
PLANNING • ENGINEERING • PROJECT MANAGEMENT

INfiltration SYSTEM
FIAT OF WILMINGTON
6421 MARKET STREET
WILMINGTON, NORTH CAROLINA

G AND G PROPERTIES 2, LLC
JOHN S. GILLILAN, AGENT
219 COLLEGE ROAD
WILMINGTON, NC 28406

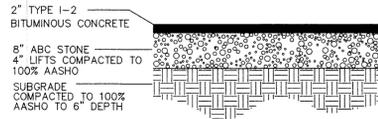
SHEET
C5

JOB NO. 032-011

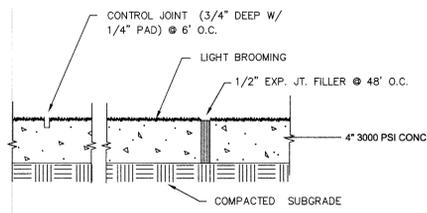


NOTE: WHEN USED ON THE HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6" UNLESS OTHERWISE SHOWN.

2' CURB AND GUTTER DETAIL
NOT TO SCALE

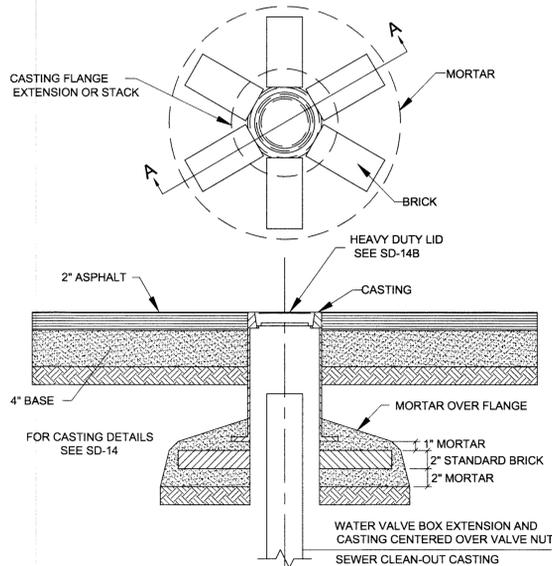


ASPHALT PAVEMENT SECTION
NOT TO SCALE



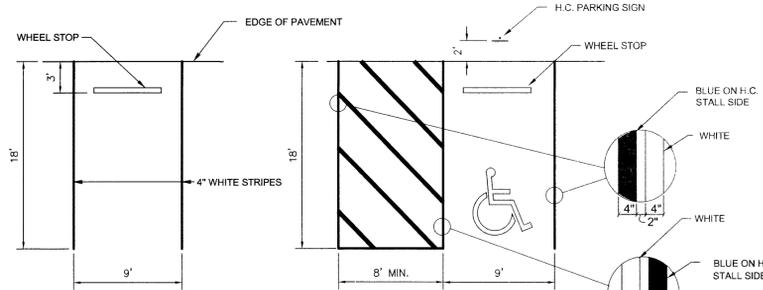
NOTES: ALL EDGES TO BE EDGED W/ 1/4" PAD

CONCRETE WALK SECTION
NOT TO SCALE

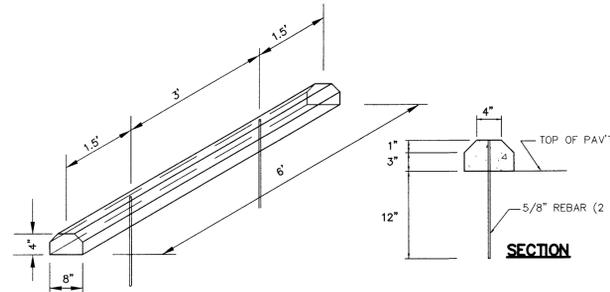


NOTES:
*THIS INSTALLATION REQUIRED WHEN VALVE BOXES AND CLEAN-OUTS ARE LOCATED IN PRESENT OR FUTURE PAVED AREAS.
*PRIOR TO SETTING CASTINGS, NEW INSTALLATIONS WILL REQUIRE 95% COMPACTION OR BACKFILL IN 6" LIFTS.

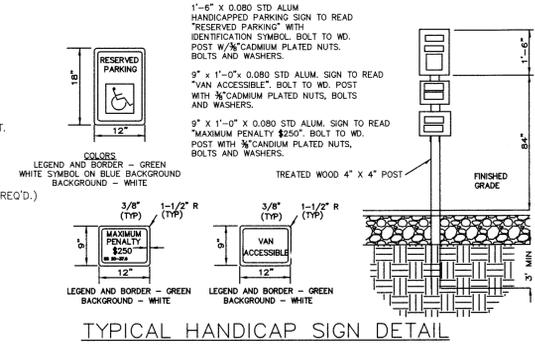
TYPICAL DETAIL VALVE BOX AND CLEAN-OUT CASTING BASES
SD 15-02
NOT TO SCALE



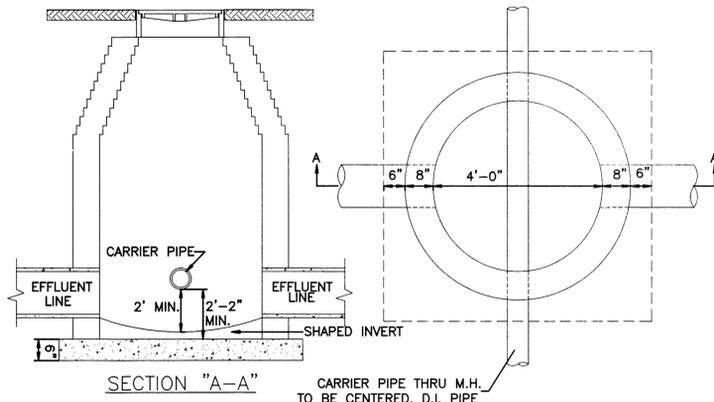
PARKING STALL
PARKING DETAIL
NOT TO SCALE



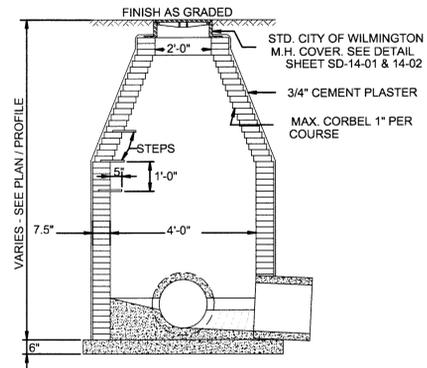
WHEEL STOP DETAIL
NOT TO SCALE



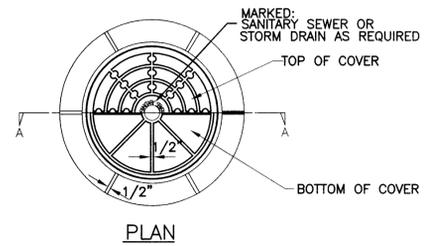
TYPICAL HANDICAP SIGN DETAIL



INTERFERENCE STORM DRAIN MANHOLE
SD 2-05
NOT TO SCALE

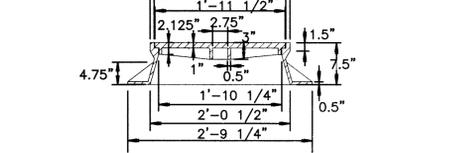


STORM DRAIN MANHOLE
SD 2-03
NOT TO SCALE

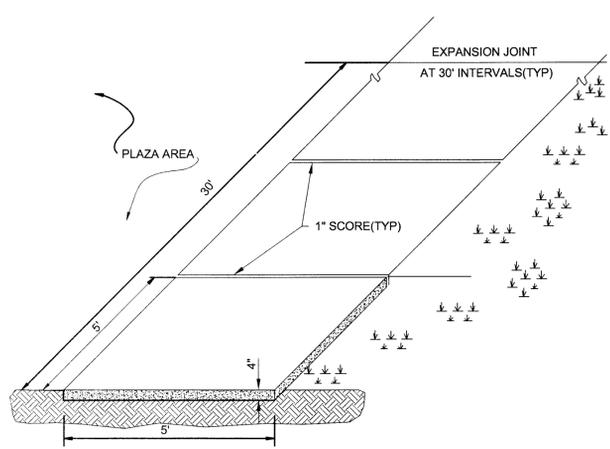


NOTE: RING & COVER CONTACT SURFACES SHALL BE MACHINED SO AS TO INSURE EVEN BEARING OF COVER ON RING

MINIMUM WEIGHTS:
RING 190 LBS.
COVER 120 LBS.



SECTION "A-A"
STANDARD MANHOLE RING AND COVER
SD 14-01
NOT TO SCALE



STANDARD SIDEWALK DETAIL
SD 8-15
NOT TO SCALE

| | | |
|----------|----------|---------------------------------------|
| REVISION | DATE | DESCRIPTION |
| 1 | 11/17/12 | SUBMITTED FOR TRC REVIEW |
| 2 | 12/6/12 | SUBMITTED WITH TRC COMMENTS ADDRESSED |

Approved Construction Plan

Name: _____ Date: _____

Planning: _____

Traffic: _____

Fire: _____

CFPUA: _____

CITY OF WILMINGTON
NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

DESIGN BY: BDS
DRAWN BY: BDS
CHECKED BY: BDS
DATE: NOV. 2012

JBS CONSULTING, PA
7332 Colesworth Drive
Wilmington, NC 28045
(910) 679-8980
LICENSE NUMBER C-2825
PLANNING - ENGINEERING - PROJECT MANAGEMENT



DETAILS
FIAT OF WILMINGTON
6421 MARKET STREET
WILMINGTON, NORTH CAROLINA

G AND G PROPERTIES 2, LLC
JOHN S. GILLILAN, AGENT
219 COLLEGE ROAD
WILMINGTON, NC 28406

SHEET: **C6**

JOB NO. 032-011

December 5, 2012

City of Wilmington
Attention: Jeff Walton
305 Chestnut Street
Wilmington, NC 28402

RE: Fiat of Wilmington
Response to TRC Comments

Dear Jeff:

Attached for your approval are the modified plans and a copy of the annotated comments. All comments have been answered in "red" on the attached sheet.

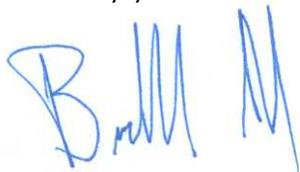
I have included with this submittal:

- 1) This letter with annotated comments attached.
- 2) 1 - paper set of plans
- 3) 1 disc with the above information in electronic format

I trust that the documents are adequate for approval by the COW.

As always should you have any questions please feel free to call or email.

Sincerely yours;



Brad Sedgwick, PE
President

11-15-12 PLANNING COMMENTS

JEFF WALTON

Site Plan Comments:

- Sec. 18-60 (c) (4): Show the address of the project.
 - I confirmed the exact address for the recombined parcel. Please fix all sheets to just one address, 6421 Market St.
All sheets and data have been changed to 6421Market Street

- Sec. 18-60 (c) (5): Additional information is the site data table as follows:
 - Tax Parcel Identification Number
 - Fix when the parcel is recombined with the assigned parcel number from the county.
Parcel Number has been changed

- Sec. 18-60 (c) (10):
 - Label sidewalk as existing.
Existing sidewalk has been labeled

 - Show pedestrian connection with sidewalk and crosswalk areas from market Street to the building. This may be accomplished by going through the large landscape islands in the center of the site.
Access sidewalk has been added to the sidewalk

- Show bicycle parking compliance. Each new commercial or office development requiring 25 or more auto parking spaces shall make provisions for parking a minimum of 5 bicycles. Each additional 100 auto parking spaces above the minimum 25 spaces shall require provisions for parking of 5 additional bicycles up to a maximum of 25 bicycles. Bicycle parking facilities shall be provided within 20 feet of the primary entrance to the facility.
5 bicycle parking spots have been added to the front right corner of the building.

- Sec. 18-504: Show compliance with screening of dumpsters with living and non-living material.
 - Screening shall be a minimum of 6 feet in height along the front or corner side of any lot and 8 feet in height along any side or rear property line.
 - Show on all three sides of the pad including on the end of the parking row.
Enhanced landscaping has been shown around the dumpster pad. Curbing has been redesigned to facilitate enhanced landscaping.

- At the ends of parking rows, show SF of each landscape island on site plan. Single rows require 216 SF and double rows require a min of 432 SF.
Area of islands are shown on plans. All island exceed minimum requirements.

- A tree preservation/removal permit is required
So noted

- All federal, state and local permits are required prior to full construction release. This includes, but is not limited to: state storm water (**working thru COW**), state utility extension permits (**no**

utility extension included in this project, only taps), wetland disturbance permits (no wetlands on site, see information attached), city storm water, tree protection permits, etc.
So noted

Landscape Plan to Include:

- When a parking facility is within fifty (50) feet of a right-of-way, if the buffer yard provisions of this ordinance do not call for a planted buffer, a low buffer shall be incorporated into the street yard to provide protection from vehicle headlights within the parking lot. The buffer shall consist of shrubbery, a grade change or planted berm or any combination thereof that serves to shield traffic on the right-of-way from headlights within the parking lot. The buffer shall be a minimum of three (3) feet in height and five (5) feet in width and may be incorporated in a street yard, provided the street yard is fifteen (15) feet or more in width.

So noted. Landscape plan shows the required buffer.

- o I confirmed with John Fullerton that a display of vehicles is not exempt from this code section.

So noted

- **Sec. 18-490. Foundation Plantings** For all portions of buildings which are adjacent to parking facilities or internal drive isles, foundation plantings shall be required and located between the building's facades and the parking or drive isle curb.

Foundation planting are shown on the revised landscape plan.

- o (1) The area of the building face adjacent to the parking area or internal drive isle shall be computed and multiplied by a minimum of twelve (12) percent. The resultant total square footage shall be planted as landscaped areas of sufficient variety, height, and size, with plantings listed in the "Approved Plantings List" of the City of Wilmington Technical Standards and Specifications Manual.

· The area in front of the building facing Market Street is required to have foundation plantings.

Foundation plans meet this requirement

(2) Exemptions from this requirements may be granted when the following circumstances exist or when any of the following conditions are proposed on the site:

So noted. No exemptions are requested.

§ b. On the rear side of a building when less than ten (10) percent of the total required parking is located in the rear of the building and the rear is not adjacent to any public right-of-way.

Rear of building does not front a public right of way. No foundation planting are proposed for the rear of the building.

Revised landscape plan will be submitted shortly

11-9-12 FIRE COMMENTS

CAPT CHRIS ELROD

The building is not going to have a sprinkler system. There are three hydrants existing on the site and no need for additional hydrant placement or movement. The only thing that needs to be added in the notes at this time is that an all weather driving surface for emergency vehicles must be maintained during construction.

So noted. See note #1 on title sheet, C1 & C2.

11-14-12 URBAN FORESTRY COMMENTS

BRION CAPO

Urban forestry review includes:

The requirement for 15 trees per acre and the mitigation requirement for the 12" magnolia removal appear to be satisfied in the landscape plan because 57 trees are proposed which is the exact minimum number.

Thanks!

No, thank you. So noted

11-16-12 ENVIRONMENTAL PLANNING

ANGELA FAISON

Environmental Planning Comments:

1. Please verify the presence/absence of wetlands on the site. Our records indicate the presence of isolated wetlands extending across a portion of the site. Please delineate any conservation resources and any resource setbacks on the site, in accordance with Article 6, Division III, Conservation Resource Regulations, 18-341.

Owner has contracted with Progress Environmental. Delineation was done and submitted to COE on November 11/27/12. Copy of the delineation report is attached to these notes/comments. The report contained findings of no wetlands. As soon as COE provides verification I will forward copy to COW.

2. Please consider transplanting and relocating healthy trees (2 1\2 inch caliper) targeted to be removed on site.

This information was passed along to the landscaper and the owner.

Hope that helps!

11-20-12 TRAFFIC COMMENTS

TARA MURPHY

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications

Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail.

So noted

BASE INFORMATION:

· Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.

All lane markings and turn arrows are shown in as is condition. There are no traffic signals in the area of the project. There are no traffic signal control boxes on the property.

TRAFFIC IMPACT:

v Per the Institute of Transportation Engineers (ite) Trip Generation 8th Edition, 2008, Microtrans trip Generation Software; the estimated Trip Generation for the proposed **10,947 sf new car sales** (ite land use code 841) is 46 total driveway volume in the PM peak hours. There is no data available for the total driveway volume in the AM peak hours and the average weekday 2-way driveway volume.

v A Traffic Impact Analysis (TIA) will not be required for this development if the above information is consistent with the proposed use. Contact Transportation Planning prior to resubmitting plans if the intended use of the site is different than what is outlined above.

So noted - thank you

NCDOT:

1. It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions are required. Contact David Leonard at 910. 251.2655. Please note additional comments may be forthcoming once coordination occurs.

Contact with David Leonard was made via telephone and email. Copies of email was copied to Tara. Review in progress.

TECHNICAL STANDARDS:

2. Show proposed driveway centerline elevations at both the front and the back of each concrete driveway apron, at the curb line, property line & points at 26' and 52' behind the property line. (Chapter VII, C(1)(a)(2)12 CofWTSSM)

See Sheet C3. Spot elevations shown at curb line (which is +/- 23' from pl), and 52'. We are not proposing the standard concrete driveway apron on any of the four private drives off a private drive. This was discussed by phone on 12/4/12

3. Provide thermoplastic pavement markings at all driveways.

See note 8 - Proposed turn arrows are shown on Sheet C2.

4. Please indicate the visitor/customer spaces.

All 37 proposed employee parking spots are indicated on Sheet C2 and delineated with an "e" with a circle around it.

5. Is the sidewalk at the building flush with the asphalt pavement of the adjacent access drives? If so, please indicate proposed method of separating vehicles from pedestrians.

No there is a 6" separation between walk and paving. See sheet C3 Grading Plan. Pad in front of vehicle entrance to shop area is flush with finish floor, slope away from building. The same goes for concrete apron along back of dealership.

6. Provide a sidewalk connection between the site and the public sidewalk.

Sidewalk has been added to plans complete with h/c access.

7. Distinguish between proposed and existing sidewalk(s) and provide dimensions

Sidewalk along Market Street frontage has been labeled existing.

Proposed S/W connection has been annotated.

8. Provide sidewalk detail SD 8-15 on the plan.

Detail added to plans. See Sheet C6

9. Show all adjacent traffic signs and pavement markings on the plan. (Sec. 18-529(b)(2) CofW LDC)

All adjacent traffic signs have been shown. If I am missing one please be specific.

10. Show any traffic signal facilities and equipment in front of the development. Contact Traffic Engineering at 341-7888 for help in identifying these.

No traffic signal facilities or equipment are present in front of this development.

11. Show and apply the City's 20'x70' sight distance triangle at each driveway (4 locations off the Private Roads) on the site plan and landscaping plan. (Sec.18-529(c)(3)CofW LDC)

Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. (Sec.18-566 CofW LDC)

This was discussed by phone on 12/4/12. Sight triangles are shown where you indicated on email to me.

12. Dimension parking stalls, radii and parking aisles. (Sec. 18-529(b)(2) CofW LDC)

I have reviewed site plan, grading plan and landscape plan. I believe all info required in the section have been labeled and shown.

13. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. This request must be made in writing (an email message is acceptable).

(Chapter VII, Detail SD 15-13 CofWTSSM)

Radius were modified per email dated 12/4/12.

14. Provide bicycle parking in accordance with Section 18-528 of the City of Wilmington Land development Code. Add the number required and proposed to the site development data.

(Sec.18-528 CofW LDC)

bicycle parking shown and data added to site info on sheet C1.

15. Please show location of handicap signs on the site plan.

LOCATION OF H/C SIGNS SHOWN ON SHEET C2.

16. Note/label the plan with spot elevations that clearly indicate the accessible route from the HC space(s) to the building. (Sec. 18-529(b)(2) CofW LDC) Consider providing the accessible route in front of the HC spaces so as to reduce conflict of traveling within the drive aisle.

I HAVE SHOWN THE H/C ROUTING FROM THE PARKING SPOTS WITH PAVEMENT STRIPING, I HAVE ALSO SHOWN THE H/C ROUTING OF THE ACCESS SIDEWALK.

17. Note the required number of handicapped spaces in the site data on sheet C1. (Sec. 18-529(b)(2) CofW LDC)

THE PAPERKING LOT CONTAINS 37 "EMPLOYEE/PERMENANT" PARKING SPOTS. THE REMAINDER ARE "INVENTORY" SPOTS. PER 2010 ADDITION OF THE ADA CODE PARKING AREAS WITH 1 TO 25 SPOTS ARE TO HAVE 1 H/C, PARKING WITH 26 TO 50 NEED 2 H/C SPACES, PARKING WITH 51 TO 75 SPOTS NEED 3 H/C SPACES. I HAVE TAKEN THE HIGH ROAD AND PROVIDED 3 H/C SPOTS.

18. Wheelstops are to be a maximum height of 4". Please revise the detail on sheet C6.

DETAIL MODIFIED

REVISIONS TO NOTES ON THE PLAN:

19. Please revise notes #9 and 12 on sheet C2 to reflect the following verbiage:

#9: It shall be the responsibility of the subdivider to erect official street name signs at all intersections associated with the subdivision in accordance with the Technical Standards and Specifications Manual. The subdivider may acquire and erect official street name signs or may choose to contract with the city to install the street signs and the subdivider shall pay the cost of such installation. Contact Traffic Engineering at 341-7888 to discuss installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.

Note #9 changed

#12. Any broken or missing sidewalk panels **and curbing** will be replaced.

Note #12 changed

GENERAL NOTES TO ADD TO THE PLAN:

A. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.

See note 10 on cover sheet, C1, C2

B. All parking stall markings and lane arrows within the parking areas shall be white.

C. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.

D. Install reflectors per City and NCDOT standards. Traffic Engineering must approve of pavement marking layout prior to actual striping.

E. A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plat. (SD 15-14 CofW Tech Stds)

NOTES B THRU E. WERE ADDED TO PLANS AS "ADDITIONAL NOTES" SEE COVER SHEET, C1 & C2

MISCELLANEOUS:

v Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.

So noted.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.

11-20-12 STORMWATER COMMENTS

ROB GORDON

Engineering has reviewed the TRC plans for the proposed Fiat Dealership on market St and offer the following comments:

1. The project will require Stormwater Permit approval. We can split the permit up however you need to. We will, however need all of the most current, complete DWQ SSWP's that will be rolled into the City permit(s).

Copy of permit is included in the stormwater report

2. There may be additional easements necessary on both the Auto Palace property and the Britt property depending on how you choose to split up the permits.

So noted and yes I agree

3. There is some concern that the ditch is a jurisdictional stream. Stormwater Services had an issue with this when performing maintenance. Please supply an approved wetland determination and coordinate all activities with the USACE.

Owner has contracted with Progress Environmental. Delineation was done and submitted to COE on November 11/27/12. Copy of the delineation report is attached to these notes/comments. The report contained findings of no wetlands. As soon as COE provides verification I will forward copy to COW.

4. The pipe at the outfall of the ditch should be a 60" pipe, not a 48".

Survey mistake. I have measured all existing pipes and reflected on the plans. I have also purchased a tape measure for the surveyor.

5. Both the calcs submitted for the Auto Palace (in 2003) and and analysis by DOT (this year) indicate that the pipe coming off of Market St should be a 60" pipe, not a 36" pipe. Per Sec. 18-761 (b), calcs will have to be provided that support the pipe system proposed.

I agree. Based on information that you have provided from your files (NCDOT report) and other calculations I have gone back and rerun my initial calculations. Calculations are included in the stormwater submittal. I had initially under estimated the drainage basin but based on the input from NCDOT I concur.

6. Both the DOT report and the Auto Palace calcs are attached. Because the City did not stamp approved calcs, there is no way to know for sure the attached Auto Palace calcs are the final "approved" calcs; but they are the most recent in the file. Please note that any calcs submitted will have to include HGL analysis. There is no drainage area map included with either report, but there does appear to be a discrepancy with the DA's that will have to be resolved. You may be able to contact DOT to obtain additional

details from their report. If the calcs show a larger pipe size is necessary, the Fiat project will be responsible for upsizing the 36" pipe that extends from Market St to the ditch, but nothing upstream of that CB (in Market St).

So noted and agreed upon.

7. Please show an appropriately sized public drainage easement covering the offsite pipe through the property. The downstream portion is a 30' easement.

Easement is shown on the recombination survey that was submitted with the original submittal of drawings.

8. The approach to the permeable pavement design looks good. Calcs will need to be submitted with the Eng review.

So noted. Calculations are included with the stormwater report

9. Please make sure the transition between the permeable and asphalt pavement meets the requirements of Section 18.3.12 of the State BMP Manual.

See PC section detail on Sheet C5

11-20-12 UTILITIES (CFPUA) COMMENTS

BERNICE JOHNSON

Technical Review Committee November 21, 2012

**Fiat of Wilmington
(6421 Market Street.)**

TYPE REVIEW: First Review

ASSIGNED PLANNER: Jeff Walton

**PROJECT ENGINEER: Brad Sedgwick
(bradsedgwick@hotmail.com)**

Cape Fear Public Utility Authority COMMENTS:

For CFPUA Review Comments: A CFPUA "Commercial Plan Review/Utility Extension Review" application and two sets of the utility plans and details are to be submitted to 235 Government Center Drive, Wilmington, NC 28403 to the attention of Lorraine Furr for any project with a new commercial service or main extension. A commercial application form is attached and available on line at www.cfpu.org along with the CFPUA construction details and specifications. When your application is submitted it will be assigned to someone on the Development Services staff to review and provide comments.

TRC Comments are preliminary comments only. Final comments will be given during CFPUA Commercial Plan Review process.

Preliminary Comments:

CFPUA does not allow cut and paste of details, please provide complete detail sheet.

So noted. Submittal to CFPUA will include your details sheets. Serious consideration should be given by CFPUA to "streamline" "improve" this process. Have ya'll considered individual 8 1/2" x 11" details?

Domestic and Irrigation Taps: Can one tap be installed and split per CFPUA detail?

Yes, this is a good idea.

What size meters will be used for irrigation and domestic services?

1" meters are proposed as shown on the plans

Cleanout 18" inside of ROW.

Cleanout shown 18

Sampling Station must be on private side.

It is shown on the private side

Is there a fire line or sprinkler requirement?

No the building will not be sprinkles.

Fwd: Request for Preliminary Jurisdictional Determination (UNCLASSIFIED)

From: **Adrienne Rogers** (arogers@progressenvironmental.com)
Sent: Mon 12/03/12 2:37 PM
To: Brad Sedgwick (bradsedgwick@hotmail.com)
Cc: Jodie Gray (jgray@tmctaylor.com); John Gillilan (johng@neuwirthmotors.com)

Please see below. Brad we have a huge light at the end of our tunnel!!

Call with any questions :)

----- Forwarded message -----

From: **Hughes, Emily B SAW** <Emily.B.Hughes@usace.army.mil>
Date: Mon, Dec 3, 2012 at 2:26 PM
Subject: RE: Request for Preliminary Jurisdictional Determination (UNCLASSIFIED)
To: Adrienne Rogers <arogers@progressenvironmental.com>

Classification: UNCLASSIFIED
Caveats: NONE

Great, thanks Adrienne. I concur with your findings that no jurisdictional wetland or waters are present on the property, no site visit is necessary. May be a couple weeks before I can get a tearsheet to you though.

Thanks,
Emily

-----Original Message-----

From: Adrienne Rogers [mailto:arogers@progressenvironmental.com]
Sent: Monday, December 03, 2012 1:52 PM
To: Hughes, Emily B SAW
Subject: Re: Request for Preliminary Jurisdictional Determination (UNCLASSIFIED)

Emily ~

A hard copy is already in the mail to you. The Property Tax database hasn't been updated with the newly recorded deed. The parcels for 6415 & 6421 Market Street were recently purchased from First Troy Spec LLC and John Gillian, the new owner signed the agent authorizations.

No real evidence of an OHWM on the ditch bank. The ditch itself is filled with rooted plants, organic debris/leaf litter and sand. The ditch varies between approximately 3-5' deep from end to end. Some areas of the ditch are built up due to deposition of sediments. I've attached some site photos for your review.

Thank you,
Adrienne

On Mon, Dec 3, 2012 at 1:04 PM, Hughes, Emily B SAW <Emily.B.Hughes@usace.army.mil> wrote:

Classification: UNCLASSIFIED
Caveats: NONE

Hi Adrienne,

Please provide a hard copy of your preliminary JD request. Is the name on the Agent Authorization affiliated with Troy Spec LLC (the listed owner)?

Did you notice any evidence of an ordinary high water mark on the ditch bank? About how deep is it?

Thanks,

Emily

-----Original Message-----

From: Adrienne Rogers [mailto:arogers@progressenvironmental.com]

Sent: Tuesday, November 27, 2012 3:51 PM

To: Hughes, Emily B SAW

Cc: smtp-Sedgwick, Brad

Subject: Request for Preliminary Jurisdictional Determination

Emily,

Please find attached Progress Environmental's request for a regulatory review of an approximate 3.2 acre located at 6415 & 6421 Market Street, Wilmington, NC 28403. The site contains hydrophytic vegetation, but lacked in soils and hydrology. As you will see from the site figures no wetlands are on the site or in the vicinity. Please contact me when you would like to schedule a site visit.

Feel free to contact me with any questions.

Sincerely,

--

Adrienne Rogers

Project Scientist

Progress Environmental, Inc.

767 South Kerr Avenue

Wilmington, NC 28403

office/fax: 910.399.4437

cell: 336.391.4037

www.progressenvironmental.com <<http://www.progressenvironmental.com>>

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Classification: UNCLASSIFIED
Caveats: NONE

--

Adrienne Rogers

Project Scientist

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Classification: UNCLASSIFIED

Caveats: NONE

--

Adrienne Rogers

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