

PARAMOUNTE

ENGINEERING, INC.

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 WILMINGTON, NC 28403
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LETTER OF TRANSMITTAL

To:	City of Wilmington	Date	8/28/15
	305 Chestnut Street		
	Wilmington, NC 28401	Re:	The Pointe at Barclay
			TRC Revisions Submittal
Attn:	Jiim Diepenbrock	Project No.	14222.PE

We are sending: Originals Prints Shop Drawings Calculations

The following items: Correspondence Plans Specifications Other as listed below

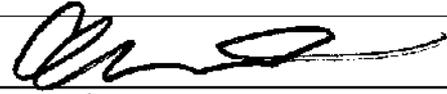
Quantity	Date	Dwg. No.	Description
1	8/28/15	Sct	24" x 36" Sheets
1	8/28/15		CD with digital submittal
1	8/28/15		Response Letter

Issue Status: For Approval As Requested Construction Bid
 For Your Use For Review and Comment Approved as Noted See Remarks

Action Taken: No Exceptions Taken Make Corrections Noted Amend & Resubmit
 Rejected - See Remarks Approved as Submitted Other

Remarks:

Cc: _____

Signed:  _____
 Clay Matthews

PARAMOUNTE

ENGINEERING, INC.

August 28, 2015

Mr. Jim Diepenbrock
City of Wilmington
Planning, Development, & Transportation Department
102 North Third Street
Wilmington, NC 28402

**RE: Response Submittal
The Pointe at Barclay
Site Plan Documents**

Mr. Diepenbrock,

On behalf of Collett-Cameron Properties, we are submitting a response to the Technical Review Committee comments available on City of Wilmington Protrak June 24, 2015-August 27, 2015. Please find the City's comments below with our response provided in **bold**.

Aaron Reese

- Need to see site plan overlaid on tree survey. An emailed copy of this will do for preliminary review. **Plans with the overlay were provided on June 25, 2015.**

Sammy Flowers

- Parking and Landscaping cannot block Fire Hydrants. **Noted**
- Show all FDC's on plans. **Buildings are in the design process. Plans will be updated as FDC locations are available.**
- Show all new and existing fire hydrants within 600' of project. **Shown**
- All weather access road must be maintained around construction site at all times. **Noted**
- New Hydrants must be brought into service prior to combustible materials being delivered to the job site, unless there are sufficient hydrants within 500' of the property. **Noted**
- Type of Construction of Building according to the International Building Code must be present on the plans. **When materials are known, they will be shown**
- Hydrants shall be of sufficient numbers to accommodate base fire flow requirements of structure. **Noted**
- In addition to the standard comments, additional fire protection and accessibility requirements may be required due to any special circumstances concerning the project. **Noted**

- Any deviation from these comments shall need the approval of the fire code official. **Noted**
- Additional comments may be warranted based on any future changes. **Noted**

Jim Sahlie

Project Address

- Overall Project Site address is approved as 3401 Independence Blv. **Noted, Revised on Plans**

Development Name

- A formal development name should be submitted for review and approval. **The name of the project has been changed from Gallery Park to 'The Pointe at Barclay' and approval of the development name is pending.**
- The development name Gallery Park at Barclay is approved for use for this development. **See above note. Project and road names will be reserved.**

Street Names

- Any public street or private drive which is more than 200 feet and serves more than 4 dwellings will be required to have a street name. The development has 2 public streets or private drives/roads which require an approved street name. Please submit names for review as soon as possible. It appears that Chippenham Drive will be extended from George Anderson Drive through the proposed future development of Barclay West into the western roundabout of Gallery Park Blv nearest Independence Blv. If that is the case, the drive between "Phase 2 Future Development" and "Phase 3 Future Development" should be labeled Chippenham Drive. The main entrance into the proposed development off of Independence Blv should be named per City naming standards. **Chippenham Drive will not be extended into the proposed development.**
- All street names must be approved by the City of Wilmington. Proposed street names should be submitted to one of the following City employees for approval: Frances Downs (910) 342-2723, Frances.Downs@wilmingtonnc.gov or Jim Sahlie, (910) 341-5826, Jim.Sahlie@wilmingtonnc.gov **Street names will be submitted.**
- Once the names are approved, they will be placed on a reserve list to be used for Gallery Park at Barclay. **Noted.**
- Approved street names must be properly labeled on all final construction plans and final plats submitted to the City. Failure to properly label the names may result in the re-submittal or re-recording of a construction plan or plat. **Noted.**
- Street name signs for public and private streets must be erected before a Certificate of Occupancy is issued. Contact Traffic Engineering at 910.341.7888 for information about street signs for this project. **Noted. Sign plans will be coordinated as needed with the City.**

- Street names may not duplicate, sound-alike, or be similar to any other street name or development name in New Hanover County (Addressing Standards and Procedures, Section 2.2.5). **Noted.**
- Street names must be a minimum of three (3) characters and a maximum of twenty-four (24) characters in length (Addressing Standards and Procedures, Section 2.2.1 and 2.2.2). **Noted.**
- Street names should avoid the use of special characters, such as hyphens, apostrophes, or periods (Addressing Standards and Procedures, Section 2.2.3). **Noted.**
- Street names should avoid the use of words or syllables that may be confused with directional or street type designations (i.e. Northglen Dr or Circle Dr) (Addressing Standards and Procedures, Section 2.2.4). **Noted.**
- Continuous streets passing from one existing subdivision to a new one should continue the same name (Addressing Standards and Procedures, Section 2.3.4). **Noted.**
- The Addressing Standards and Procedures Manual for the City of Wilmington and New Hanover County can be found online by clicking [here](#). Please reference this document for additional information about street suffix usage (Section 2.4.1) and other details or rules regarding street naming and addressing. **Noted.**

Final dwelling/unit addresses

- Individual dwelling and/or unit addresses will be assigned upon final site plan approval and will be based on approved street names. **Noted.**
- Lot numbers shown on site plan should not be used as unit/dwelling address. **Noted.**

Jim Diepenbrock

- Please ensure that Rob Gordon has complete stormwater submission package. Issuance of city Stormwater discharge permit required (e.g. if a regional pond serves this portion of Barclay, please specify how much impervious is contained in this portion. Ph II and III would do the same) and the permit calculation for your project will correspond to this plan. **Stormwater information is provided with this re-submittal for reference and general review; however a full submittal package to Rob Gordon will be submitted separately.**
- Also please address preparer/reviewer checklist (Swales, drainage basin and StormPipes/Catch Basins). **Noted.**
- Ok for landscape plan to follow this submission; It's understood that elements of this plan are likely to be modified. Sight distance triangles to be included. **Noted.**
- From the plan submitted for review, proposed parking in excess of the max spaces for a cinema needs to be identified; please provide parking schedules as follows:
 - Cinema (#s.f./seats) Pk Spaces Minimum Pk Spaces

Maximum Restaurant 1	Pk Spaces Minimum	Pk Spaces
Maximum Restaurant 2	Pk Spaces Minimum	Pk Spaces

- o Notes: 1) It is TBD at what time submission of shared parking study needed.

2) TIA Info and dialogue needed e.g. updated scope, revised TIA report

Parking data is shown on sheet C-2.0. The shared parking study and TIA are being coordinated with project traffic engineer.

- Please provide the required number of bicycle spaces.
Bicycle parking site data is listed on sheets C-2.0 and locations are shown on site plan sheets.
- Please provide the required number of loading spaces. **The cinema has a dedicated loading/service area shown. The majority of loading will occur during early morning or late evening hours; therefore, it is intended to use parking and roadways closest to the building since customer conflicts are anticipated to be minimal.**
- Clarification needed regarding streetyards: discuss at TRC so plan can denote streetyards and appropriate areas. **50' project buffer will contain streetyard along S. 17th St. Streetyards will be calculated and shown on the Landscape Plan to be submitted at a later date.**
- Please refer to LDC Section 18-282:
 - o This section specifies the following and these guidelines apply to: any building or tenant over 40,000 sq. ft.
 - Increased streetyard requirements ii. **Variance request will include this required streetyard area since this faces all internal project roadways. Specific landscape enhancements Landscape plan will be provided**
 - Provision of public sidewalks and enhanced internal pedestrian circulation **Provided private sidewalks**
 - All lot sides that abut a public street shall have 5-ft sidewalk installed with continuous internal walkways **Provided – see site plans**
 - Please address other requirements – see 18-282(6)(b-c) **noted**
 - Vehicular circulation requirements v. Berms and landscaping **Landscape plan to be determined when final building design provided**
 - Segmentation of parking in clusters of 250 or fewer spaces **Provided with landscape islands and medians – see site plans**
 - Use of pervious material for parking that is being provided in excess of the minimum parking requirements **All parking proposed shall be asphalt unless otherwise required by negotiated shared parking plan.**
- Please explain Tree Save efforts and code requirements. We need tree preservation areas identified; please provide the layer alongside the site plan. The site plan will need to identify tree protection areas and show the tree protection fencing detail. Please include all other tree retention submission requirements (p.21). **Tree protection will be addressed along with the Landscape Plan to be submitted at a later date.**

- Storm drainage and EDC. **To be addressed with engineering submittal.**
- Draining to parking lot islands should be pursued. **To be addressed with engineering submittal.**
- City does not maintain any irrigation systems that are proposed in public rights of way and maintenance agreement needed for landscaping in publicly owned areas. **All right of ways within project area will be private; owner will maintain all irrigation systems.**
- Please show transit stops. External and internal. WAVE input needed applicant please consult with WAVE staff. **A meeting with WAVE on July 14, 2015 revealed that a bus stop, if needed in the future, would only need to be provided along S 17th Street or Independence Blvd. Currently no bus service is available or planned for this area.**
- Seek WFD input on hydrants, location and spacing. **Noted.**
- Discuss NHC review of building plans and inquire construction type with Fire Marshall. **Noted.**
- Discuss adequacy of width of 20' fire access road. **Noted**
- Determine need for emergency vehicle/fire equipment turnaround.
- Please prepare utility layer and add as a separate sheet in the plan set:
 - Diameter, type of pipe and designate public CFPUA vs. private
 - Same for storm drainage (include inlets, boxes, swales, infiltration, etc)
To be addressed with engineering submittal.
- Name assignments and addresses needed from the city GIS coordinator. **Noted**
- Street and parking lot design to follow city technical standards. **Noted.**
- Identify locations of driveway aprons and provide standard detail in plan. **Detail provided. Reference plans for locations**
- Show dumpster locations and required screening. **Locations shown on site plan sheets C-2.0 – C-2.5. Future building pads will be designed at a later date and dumpster locations will be added in appropriate locations at that time, if needed.**
- Street lights required on public rights of way. **To be shown on future lighting plan by Duke Energy Progress.**
- SRB Review for new parcel; utility main extensions, rights of way. **We will submit plans specifically for SRB with this information.**
- Other: Identify watershed, CAMA designation, Except. Design standards. **Watershed and Cama Designation shown on sheet C-2.0. No exceptional design standards will be used**

- Please consult with staff regarding platting bonding and dedication requirements. **Noted.**

Bill McDow

BASE INFORMATION:

- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel, including Independence Blvd and S. 17th St intersections that connect to this subdivision. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements. **A full sign plan will be provided when road and parking layout finalized with City staff**
- Please show infrastructure on Gallery Park Blvd, such as sidewalks, crosswalks, fire hydrants, pavement markings, signage, etc. **Gallery Park Blvd. design by HDS and was City approvals on those plans prevail. Any information shown on our plans is for general reference only and may not reflect any changes provided by HDS to the City or during construction.**
- Provide tree preservation and removal plans for this site, in addition to the tree inventory. A tree inventory was provided to City Arborist as noted above. **A tree removal and preservation plan will be a future submittal.**

TRAFFIC IMPACT:

- A Traffic Impact Analysis (TIA) for Phase 1 of this development is underway. Please contact Amy Kirnes, PE at (910) 473-5130 to discuss the TIA review process and begin the scoping discussion. **Noted.**

NCDOT:

- It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact Allen Hancock, PE at 910.251.2655. Please note additional comments may be forthcoming once coordination occurs. **Noted.**

TECHNICAL STANDARDS – NEW ROADS:

- The site plan does not designate streets from driveways. Designate and label the proposed streets and show which streets are proposed to public and private. **All streets are private streets and shown as such on plans.**
- The street stubs off Gallery Park Blvd into Phase 2 and Phase 3 terminate without continuing into these phases or connecting to other streets or driveways in the subdivision. **All stubs now shown on plans.**
- The landscape circle appears to have 15' circular lanes and no truck apron. Revise the Landscape Circle to have large driving lanes and a mountable truck apron. **Edge of pavement has been revised to show 16' width. That provides 21' drivable width for emergency vehicles. Reference dimensions provided on site plans.**

- Provide pavement markings, arrows, crosswalks, stop bars and other markings for the proposed internal road network. **Crosswalks and stop bars have been provided. All other pavement striping will be provided following final approval of road layout.**
- Provide Autoturns for the traffic feature to ensure WB-40, Fire Engines, and Trash Trucks can use the Landscape Circle. **Per meeting on 8/19/15 radii are shown in lieu of Autoturn.**
- The site has numerous intersections that are closer than the 200'/400' minimum distance per the City's technical standards. A waiver with the SRB may be required. [7-5 CofW Tech Stds] **Noted.**
- Show a vertical profile for each of the proposed streets. **Provided; reference sheets C-4.0 – C4.4**
- Show centerline geometry of new streets. **Centerlines have been shown on sheets C-2.0 – C-2.5.**
- Install wheelchair ramp at corner of the proposed streets per NCDOT and/or City standards. Connect sidewalk with ramp. **Handicapped ramps have been provided and are compliant with current ADA/ City standards.**
- The minimum horizontal centerline radius is 100' for local roads and 200' for collector streets. **Centerline geometry has been revised. See site plan.**
- The plan does not show dimensions near the angled on street parking areas. Please label these areas. **All dimensions have been updated. See site plan.**
- The minimum street corner radii is 35'. [7-5 CofW Tech Stds] **All street corner radii have been updated. See site plan.**
- All on street parking shall be at least 15' from fire hydrants. **Noted.**
- The entrances into Phase 2 do not have a standard driveway. If the entrances are to have 2 way traffic show them as full access driveways if there is no median and right in right out driveways if a median is present. **Driveways will be revised prior to development of Phase 2.**
- The proposed road network for the site does not allow smooth access from one phase of development to another phase of development. Also two of the access points off Gallery Park Blvd and one off the Unnamed Access from Independence Blvd are shown as stubs. **All stubs have been shown. See site plan for access to future development.**
- The Cinema shown on the site is greater than 40,000 SF, therefore, it revise the design to comply with Section 18-282 of the LDC, such as required benches, landscape hedges, wider sidewalk, and sidewalk along all public accesses, etc. [Sec. 18-282(b)(2) CofW LDC] **Noted.**

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

- Driveways shall be City-standard ramp-type driveways. Show appropriate City standard detail(s) on plan. [Chapter VII ,Detail SD 8-02 (curb) CofWTSSM] **See sheet C-7.0, Details.**
- The minimum two-lane driveway width is 23'. [7-9 CofW Tech Stds] **All driveways comply with 7-9 of Tech Standards.**
- Driveways are to intersect the street at a 90 degree angle. [7-11 #3 CofW Tech Stds] **Noted.**
- Provide a sidewalk connections between the proposed buildings, green space areas, and Cinema shown on the site and the public sidewalk along the new streets and Gallery Park Blvd. Sidewalks appear to be missing on certain sides of the buildings, Gallery Park Blvd, and within the parking lots. Internal sidewalks are necessary within the parking lots. **Sidewalks have been revised. See site plan.**
- Distinguish between proposed and existing sidewalk(s) and provide dimensions. **All sidewalks are proposed sidewalks. Dimensions have been provided. See site plan.**
- Provide sidewalk detail SD 8-15 on the plan. **Added.**
- Please provide a hard surface access to the proposed Park Node and Greenspace. This access can be turf or another all-weather surface. **Park Node and Greenspace access to be provided with future Landscape Plan.**
- Show all adjacent traffic signs and pavement markings on the plan. [Sec. 18-529(b)(2) CofW LDC] **To be provided with future Signage Plan.**
- Show any traffic signal facilities and equipment in front of the development that within 500' of the site. Contact Traffic Engineering at 341-7888 for help in identifying these.
- Show and apply the City's 20'x70' sight distance triangle at each driveway and the City's 46'x46' sight distance triangle at each street corner intersection on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC] **Sight distance triangles to be provided with future Landscape Plan submittal.**

TECHNICAL STANDARDS – PARKING:

- The site does not appear to provide parking for Buildings #4 thru 8, shown in Phase 1. How will the site prove parking for these buildings? Will a parking garage be built? The propose buildings have over 42,000 SF, therefore, a minimum of 106 additional parking spaces will be needed for this phase 1 project. **An alternative parking plan will be provided that address parking for development.**

- Please show proposed hydrants and FDC locations on the proposed buildings. **See engineering plans.**
- Dimension parking stalls, radii and parking aisles behind the angled parking. [Sec. 18-529(b)(2) CofW LDC] **All dimensions have been updated. See site plan.**
- The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. This request must be made in writing. [Chapter VII, Detail SD 15-13 CofWTSSM] **Noted.**
- Twenty-four feet (24') is the minimum drive aisle width behind perpendicular parking. **All drive aisles are 24' minimum. See site plan for dimensions.**
- The proposed Drop off/pick up areas may use an internal loop, however, the main aisle in front of the Cinema should be two way and at least 20' in width.[Sec.18-553 CofW LDC] **Cinema main aisle has been revised. See site plan.**
- Portions of the proposed development do not appear to be in compliance with the 500'/800' rule pertaining to the maximum length of a private drive/parking lot. [Chapter VII , C (4), pg 7-15 to 7-16 CofWTSSM]
- Provide a turning movement analysis of a WB-40 and Trash Truck vehicle at rear loading dock and dumpster locations for the Cinema. **Radii are provided in lieu of Autoturn. See site plan for dimensions.**
- Provide dumpster locations for buildings # 2- #8 for the proposed phase 1 development. **Dumpster locations have been provided. See site plan.**
- Dumpster locations must be accessible by truck, unless roll away carts are used. If Carts are used, please show the location of the carts storage pads. **All dumpsters are accessible by truck. See site plan for locations.**
- Provide bicycle parking in accordance with Section 18-528 of the City of Wilmington Land development Code. Add the number required and proposed to the site development data and graphically show them on the site plan. [Sec.18-528 CofW LDC] **Bicycle parking has been added to both the data and site plan. See site plan for parking locations.**

TECHNICAL STANDARDS – Barrier Free Design:

- The site does not provide ADA parking at the closest distance to the buildings. The ADA parking for the Cinema appears to be over 200' from the Parking area to the primary entrance for the Cinema. **ADA parking is within 200' of Cinema front door to the greatest extent possible**
- Please show location of handicap ramp(s) and signs and provide details on the plan. Handicap ramps and details have been provided. **See site plan and detail sheet.**

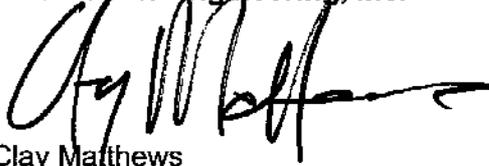
- Note/label the plan with spot elevations that clearly indicate the accessible route from the HC space(s) to the buildings. [Sec. 18-529(b)(2) CofW LDC] **Accessible route is the shortest distance from the parking space/wheelchair ramp to the front door. If additional information is required, a plan will be provided.**

GENERAL NOTES TO ADD TO THE PLAN:

- Install reflectors per City and NCDOT standards. Traffic Engineering must approve of pavement marking layout prior to actual striping. **Noted**
- It shall be the responsibility of the subdivider to erect official street name signs at all intersections associated with the subdivision in accordance with the Technical Standards and Specifications Manual. The subdivider may acquire and erect official street name signs or may choose to contract with the city to install the street signs and the subdivider shall pay the cost of such installation. Contact Traffic Engineering at 341-7888 to discuss installation of traffic. **Noted**

If you have any questions or concerns with this re-submittal package please feel free to contact me directly by phone or email. Thank you for your time and attention to this matter.

Sincerely,
Paramounte Engineering, Inc.

A handwritten signature in black ink, appearing to read "Clay Matthews", with a long horizontal flourish extending to the right.

Clay Matthews
cmatthews@paramounte-eng.com
(910) 791-6707