

LOCATION MAP



GENERAL NOTES:

1. NEW HANOVER COUNTY PARCEL NOS.: 167020-007-002-000
2. TOTAL TRACT AREA: 1,741,964.4 SF (39.99 AC)
3. EXISTING ZONING DISTRICT: R-15
4. LAND CLASSIFICATION: WATERSHED RESOURCE PROTECTION
5. TREE REMOVAL PERMIT TO BE OBTAINED
6. LANDSCAPE PLANS TO BE PROVIDED BY OTHERS
7. THIS TRACT IS LOCATED IN ZONE "C" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 372031 4500 L DATED 4/3/06.
8. SITE ADDRESS IS 1300 HAWAHO TRAIL
9. NODENR/DNO STORMWATER MANAGEMENT PERMIT REQUIRED AND TO BE OBTAINED
10. NEW HANOVER COUNTY/NODENR/LOS SEDIMENTATION & EROSION CONTROL PERMIT REQUIRED AND TO BE OBTAINED
11. BUILDING USE IS FOR SINGLE-FAMILY HOUSING
12. THIS SITE IS PROPOSED TO BE A CLUSTER DEVELOPMENT
13. UNPAVED STREETS TO BE NAMED PENDING APPROVAL FROM GIS ANALYST/CITY ADDRESS COORDINATOR
14. WATER AND SEWER IS PROPOSED TO BE PUBLIC
15. TRASH IS PROPOSED TO BE PICKED UP BY CITY OF WILMINGTON
16. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPERE THE FDC OR FIRE HYDRANTS. A 10' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC
17. HYDRANTS MUST BE LOCATED WITHIN 8' OF CURB
18. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS
19. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION
20. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOW PASSAGE BY VEHICLES

DEVELOPMENT NOTES:

1. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS
2. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOD AT 1-800-632-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB AND GUTTER, SIDEWALK PANELS, PAVEMENT, ETC., THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
3. STORMWATER MANAGEMENT TO MEET CITY OF WILMINGTON REQUIREMENTS FOR THE 10 YEAR STORM AND NODENR/DNO WATER QUALITY REQUIREMENTS FOR LOW DENSITY PROJECTS
4. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES
5. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING
6. NO LAND DISTURBANCE, INCLUDING TREE REMOVAL IS TO OCCUR OUTSIDE THE LIMITS OF DISTURBANCE SHOWN ON THE PLAN
7. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON ZONING ORDINANCE & SUBDIVISION REGULATIONS
8. APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ENGINEERING OR FOR THIS SITE. A SEPARATE SIGN PERMIT MUST BE OBTAINED
9. APPLICABLE STREET FRONTAGES SHALL HAVE NATURAL VEGETATIVE SCREENING MEETING CITY REQUIREMENTS
10. THE DEVELOPMENT SHALL COMPLY WITH ALL CITY TECHNICAL STANDARDS AND DEVELOPMENT REGULATIONS
11. LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION RELEASE PLAN SHALL ADHERE TO SD 15-17
12. AFTER LANDSCAPING PLAN IS SUBMITTED, CONTACT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS
13. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT
14. LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTIONS ON TREE PROTECTION REQUIREMENTS AND METHODS: 16-772(1)
15. ALL OPEN SPACE SHALL BE DEEDED TO ALL LAND OWNERS AS COMMON OWNERSHIP. THIS LAND IS NOT TO BE DEVELOPED OR IMPROVED AND OPEN SPACE WILL BE PERPETUALLY PROTECTED: 16-772(5)(3)
16. TREE SAVE AREAS SHALL BE MARKED PRIOR TO COMMENCEMENT OF ANY SITE CLEARING. THROUGHOUT CONSTRUCTION, MARKINGS FOR TREE SAVE AREAS WILL REMAIN IN PLACE AND VISIBLE

TRAFFIC ENGINEERING NOTES:

1. A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO RECORDING OF THE FINAL PLAT. PLAN SHALL ADHERE TO SD 15-17
 2. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS
 3. ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS
 4. OPEN CUT NOTES:
 - A. CONTRACTOR TO COORDINATE WITH CITY OF WILMINGTON FOR ACCEPTABLE HOURS OF CONSTRUCTION AND TRAFFIC CONTROL DURING INSTALLATION OF UTILITIES IN CITY ROADS
 - B. SUITABLE COMPACTION AND APPROVED STONE & BASE COURSES TO BE INSTALLED IN PLACE OF OPEN CUT
 - C. OPEN CUT TO BE SEALED
 5. TRIP GENERATION NUMBERS:
 - 727 TOTAL 2-WAY VOLUME
 - 57 AM PEAK VOLUME
 - 77 PM PEAK VOLUME
 6. A VARIANCE IS REQUESTED FOR INTERSECTIONS BEING LONGER THAN 400' MAXIMUM DISTANCE PER CITY TECHNICAL STANDARDS
 7. A VARIANCE IS REQUESTED TO ALLOW CUL-DE-SAC ON SOUTH ROCKWOOD COURT AND KELLERTON PLACE TO BE MORE THAN 500 FT MAXIMUM LENGTH
 8. ALL DRIVEWAYS WITHIN SUBDIVISION TO BE LOCATED ON STOP-CONTROLLED STREETS
 9. ALL DRIVEWAYS TO BE CITY STANDARD RAMP-TYPE DRIVEWAYS
 10. A NODOT DRIVEWAY PERMIT IS REQUIRED AND TO BE OBTAINED
 11. A BOND FOR 100% FOR ALL WORK WITHIN THE RIGHT OF WAY SHALL BE SUBMITTED ALONG WITH THE DRIVEWAY PERMIT BEFORE IT CAN BE PROCESSED FOR APPROVAL
 12. ALL EXISTING DRIVEWAYS ON HAWAHO TRAIL MUST BE CLOSED
- *** TRAFFIC ENGINEERING NOTES CONTINUED ON SHEET 11 OF 12

ENVIRONMENTAL NOTES:

1. ALL SIGNIFICANT TREES ON SITE ARE TO BE RETAINED OR MITIGATED
2. NO LAND DISTURBANCE IS PERMITTED OUTSIDE THE DESIGNATED LIMITS OF DISTURBANCE FOR SITE IMPROVEMENTS OTHER THAN WHAT IS NECESSARY TO THE MITIGATING EXISTING CONTOURS OF MEET LANDSCAPING REQUIREMENTS
3. TREE SAVE AREAS SHALL BE MARKED PRIOR TO COMMENCEMENT OF ANY SITE CLEARING
4. TREE WELLS TO BE PROVIDED AND INSTALLED AS NECESSARY TO MAINTAIN EXISTING GRADE AT ROOT ZONE (TREE CANOPY) OF TREE TO BE PRESERVED
5. JURISDICTIONAL DETERMINATION FROM USACE HAS BEEN PERFORMED
6. WATER BODY SERVING THIS SITE IS WISKEY CREEK SA/HOW

STANDARD NOTES:

1. TOPOGRAPHIC AND BOUNDARY MAPPING PERFORMED BY ANKOLD CARSON, PLS. PC
2. THIS MAP IS NOT FOR CONVEYANCE OR SALES
3. THIS TRACT IS LOCATED IN ZONE "C" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 372031 4500 L DATED 4/3/06
4. THIS PROPERTY IS ZONED R-15
5. WATER SERVICE TO CONNECT TO CPFLA PUBLIC SYSTEM
6. SEWER SERVICE TO CONNECT TO CPFLA PUBLIC SEWER SYSTEM
7. ALL CONSTRUCTION TO CONFORM TO CITY OF WILMINGTON STANDARDS APPLICABLE STATE & LOCAL CODES
8. CONTRACTOR TO COORDINATE ANY REQUIRED TRAFFIC CONTROL WITH CITY OF WILMINGTON AND/OR NODOT
9. CARE SHALL BE TAKEN DURING FINAL GRADING TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO RECEIVING STRUCTURES. ROOF DRAIN DOWNSPUTS TO BE CONNECTED TO STORM DRAINAGE SUBROUTS OR DIRECTED TO STREET
10. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY RELOCATIONS, RE-ALIGNMENTS, DISCONNECTIONS OR CONNECTIONS OF EXISTING UTILITIES WITH APPLICABLE AUTHORITIES
11. NO AREA DESIGNATED AS OPEN SPACE SHALL BE CLEAR-CUT. CLEARING AND GRADING SHALL BE LIMITED TO THAT NECESSARY FOR ESSENTIAL SITE IMPROVEMENTS. TREES SHALL NOT BE REMOVED FROM INDIVIDUAL HOME SITES UNTIL BUILDING PERMITS ARE ISSUED
12. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION
13. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "110 ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION
14. CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR
15. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. PARKING AREAS SHALL BE WATERED TO CONTROL DUST WHILE ORDERED BY THE ENGINEER
16. NO GEOTECHNICAL WORK HAS BEEN PERFORMED ON SITE. NO WARRANTY IS MADE FOR SUITABILITY OF SUBGRADE, AND UNDERCUT AND ANY REQUIRED REPLACEMENT WITH SUITABLE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR
17. EXTREME CARE SHALL BE TAKEN TO ENSURE MINIMUM SEPARATIONS AT ALL UTILITY CROSSINGS
18. CONTRACTOR TO ENSURE THAT PAVEMENT IS PLACED SO AS TO DRAIN POSITIVELY TO THE STREET INLETS AND CATCH BASINS. ALL FUTURE ROOF DRAIN DOWNSPUTS TO BE DIRECTED TO THE STORM SEWER SUBROUTS
19. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS
20. CONTRACTOR AND BUILDER ARE RESPONSIBLE FOR COORDINATING FINISHED FLOOR ELEVATION OF ALL BUILDINGS WITH THE OWNER. ELEVATIONS GIVEN ARE MINIMUM FLOOR ELEVATIONS AT THE BUILDING SITE AND DO NOT PURPORT TO BE FINISHED FLOOR ELEVATIONS
21. AFFECTED NON-MUNICIPAL UTILITIES SHALL BE CONTACTED AND PROVIDED WITH PLANS AND OTHER PERTINENT INFORMATION, WHEN FEASIBLE, TO COORDINATE APPROPRIATE SCHEDULING AND PLACEMENT
22. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING
23. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NODOT STANDARDS
24. ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS
25. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS
26. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY
27. ANY BROKEN OR MISSING SIDEWALK PANELS AND CURBING WILL BE REPLACED
28. ALL SIDESLOPES SHALL BE NO STEEPER THAN 3:1
29. NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED
30. IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS

WAIVERS GRANTED

1. WAIVERS OF THE TECHNICAL STANDARDS REQUIREMENTS FOR MAXIMUM CUL-DE-SAC LENGTH AND DISTANCE OF INTERSECTIONS FROM A PUBLIC STREET ARE SOUGHT BY THE APPLICANT. THERE ARE TWO CUL-DE-SACS THAT ARE PROPOSED TO EXCEED THE CITY 500-FOOT MAXIMUM LENGTH REQUIREMENT. GRANTED
2. ALSO A WAIVER IS SOUGHT FROM THE 400 FOOT MINIMUM DISTANCE OF A NEW INTERSECTION FROM THE NEAREST ADJACENT STREET. GRANTED

SITE & BUILDING DATA:

SITE DATA:
 TOTAL SITE AREA = 1,742,213.83 SF (39.99 AC)
 IMPERVIOUS AREA BREAKDOWN:
 PROPOSED SITE -
 ASPHALT = 138,093 SF (3.17 AC)
 CONCRETE SIDEWALKS = 24,972 SF (0.57 AC)
 AMENITIES AREA = 0.00 SF (0.00 AC)
 LOT IMPERVIOUS AREA = 272,418 SF (6.25 AC)
 TOTAL PROPOSED IMPERVIOUS = 435,483 SF (10.00 AC)
 PROPOSED BUILDING SIZE = 2,724 SF

DENSITY CALCULATION:
 MAX DENSITY R-15 (CLUSTER) = 2.5/AC
 2.5 X 39.99 AC = 99.98
 TOTAL PROPOSED LOTS = 100

BUILDING DATA:
 TOTAL LOTS = 100 SINGLE-FAMILY HOMES

PRIMARY CONSERVATION AREA ALONG WITH THE 40X OPEN SPACE THAT'S BROKEN DOWN IN SITE & BUILDING DATA.
 PRIMARY CONSERVATION AREA SHALL BE PROVIDED IN ACCORDANCE WITH LDC SECTION 16-433(D).
 THE PRIMARY CONSERVATION AREA SHALL NOT BE DISTURBED EXCEPT AS PERMITTED IN LDC SECTION 16-433

OPEN SPACE BREAKDOWN:
 REQ'D OPEN SPACE = 39.99 AC (TOT. TRACT) X 40% = 15,996 AC. REQ'D OPEN SPACE

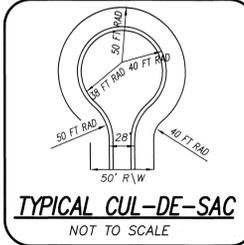
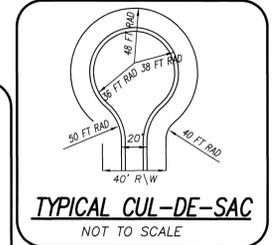
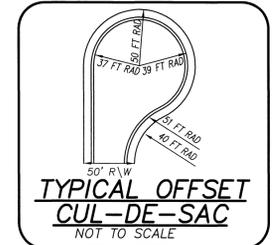
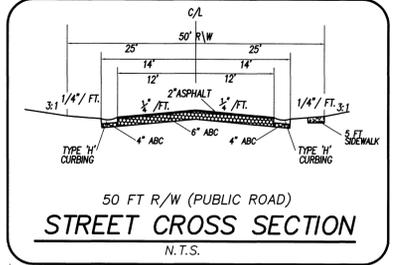
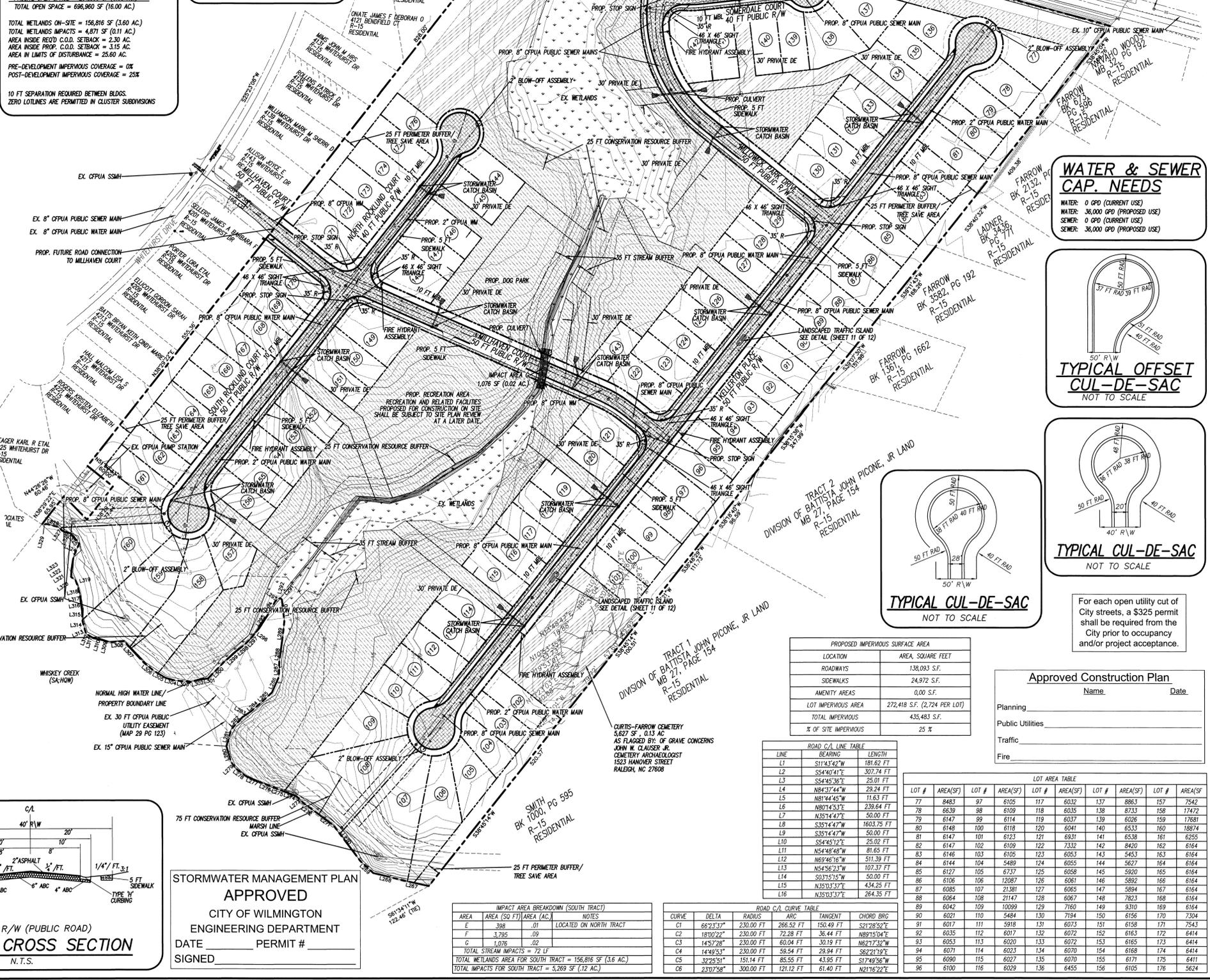
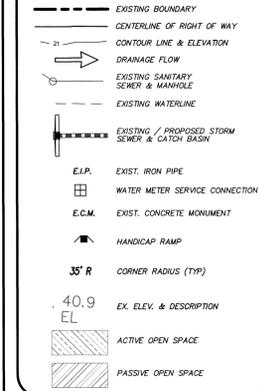
OPEN SPACE PROVIDED:
 ACTIVE OPEN SPACE = 432,127 SF (9.82 AC)
 PASSIVE OPEN SPACE = 264,833 SF (6.08 AC)
 TOTAL OPEN SPACE = 696,960 SF (16.00 AC)

TOTAL WETLANDS ON-SITE = 156,816 SF (3.60 AC)
 TOTAL WETLANDS IMPACTS = 4,871 SF (0.11 AC)
 AREA INSIDE REQ'D C.O.D. SETBACK = 2.30 AC
 AREA INSIDE PROP. C.O.D. SETBACK = 3.15 AC
 AREA IN LIMITS OF DISTURBANCE = 25.60 AC

PRE-DEVELOPMENT IMPERVIOUS COVERAGE = 0%
POST-DEVELOPMENT IMPERVIOUS COVERAGE = 25%

10 FT SEPARATION REQUIRED BETWEEN BLDGS.
 ZERO LINES ARE PERMITTED IN CLUSTER SUBDIVISIONS

LEGEND



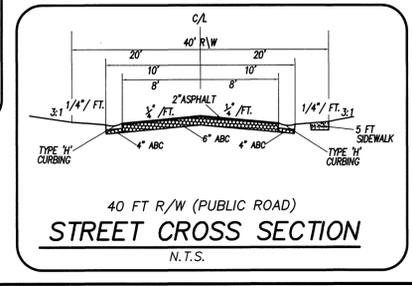
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

LOCATION	AREA, SQUARE FEET
ROADWAYS	138,093 SF
SIDEWALKS	24,972 SF
AMENITY AREAS	0.00 SF
LOT IMPERVIOUS AREA	272,418 SF (2,724 PER LOT)
TOTAL IMPERVIOUS	435,483 SF
% OF SITE IMPERVIOUS	25 %

LINE	BEARING	LENGTH
L1	S11°42'42"W	181.62 FT
L2	S54°40'41"E	302.74 FT
L3	S54°45'36"E	25.01 FT
L4	N84°37'44"W	29.24 FT
L5	N81°44'45"W	11.63 FT
L6	N80°14'53"E	238.64 FT
L7	N35°14'42"E	50.00 FT
L8	S35°14'42"W	1603.75 FT
L9	S35°14'42"W	50.00 FT
L10	S54°45'12"E	25.02 FT
L11	N54°48'48"W	81.65 FT
L12	N62°46'16"W	511.39 FT
L13	N54°58'23"W	103.37 FT
L14	S02°51'51"W	50.00 FT
L15	N35°03'37"E	434.25 FT
L16	N35°03'37"E	264.35 FT

LOT #	AREA(SF)						
77	848.3	97	6105	117	6032	137	8863
78	6639	98	6109	118	6035	138	8733
79	6147	99	6114	119	6037	139	6026
80	6148	100	6118	120	6041	140	6533
81	6147	101	6123	121	6031	141	6538
82	6147	102	6109	122	7332	142	8420
83	6146	103	6105	123	6053	143	5453
84	6144	104	5489	124	6055	144	5627
85	6127	105	6737	125	6058	145	5920
86	6106	106	12087	126	6061	146	5892
87	6085	107	21381	127	6065	147	5894
88	6084	108	21147	128	6067	148	7033
89	6042	109	10099	129	7160	149	9310
90	6021	110	5484	130	7194	150	6156
91	6015	111	5918	131	6073	151	6158
92	6035	112	6017	132	6072	152	6163
93	6053	113	6020	133	6072	153	6165
94	6071	114	6023	134	6070	154	6168
95	6080	115	6027	135	6070	155	6171
96	6100	116	6029	136	6455	156	6105

STORMWATER MANAGEMENT PLAN APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____



COASTAL SITE DESIGN, PC
 LICENSE # C-2710
 ENGINEERING LAND PLANNING COMMERCIAL / RESIDENTIAL
 P.O. Box 4041
 Wilmington, NC 28406
 (910) 791-4441

PRELIMINARY PLAN for THE CREEK AT WILLOWICK

PRELIMINARY PLAN for THE CREEK AT WILLOWICK
 LOCATED IN MASONBORO TOWNSHIP
 NEW HANOVER COUNTY, NORTH CAROLINA
 OWNER: TSV DEVELOPERS, INC.
 1904 EASTWOOD ROAD, SUITE 212
 WILMINGTON, NC 28403

FOR COMPLETION BY 10/10/12

REVISED PER	DATE	BY	REMARKS
REVISED PER STORMWATER REVISIONS	11/12/08	JOH	
REVISED PER WATER AND SEWER SUBMITTALS	9/09/08	JSL	
REVISED WATER AND SEWER MAIN LOCATIONS	10/10/13	JSM	
REMOVED PER PUBLIC UTILITY OWNERSHIP	8/22/13	RLW	
REVISED AMENITY CENTER, REVISED LOT BUA	7/22/13	RLW	
ADDED LICENSE NUMBER	7/10/12	RLW	
REVISED SHEET NUMBER	8/29/09	RLW	
REVISED NOTES	04/09/09	RLW	

DATE: 02-28-07
 HORZ. SCALE: 1" = 100'
 DRAWN BY: JSL
 CHECKED BY: HSR
 PROJECT NO: 04-0011
 DRAWING NO: 04-0011PH2ep1
 Sheet No. **3** of **12**