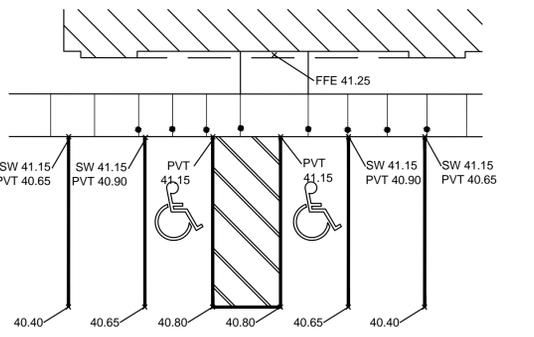


1 SITE GRADING PLAN

SCALE: 1" = 20'-0"



2 HANDICAP PARKING DETAIL

SCALE: 1" = 10'-0"

- #### KEY NOTES:
- LIMITS OF SILT FENCE INSTALLATION. REFER TO DETAIL 4/C5.
 - TEMPORARY CONSTRUCTION ENTRANCE. REFER TO DETAIL 7/C5.
 - HARDWARE CLOTH AND GRAVEL INLET PROTECTION. REFER TO DETAIL 3/C5.
 - 18" RCP CLASS IV STORM DRAINAGE PIPE
 - TREE PROTECTION FENCING. REFER TO DETAIL 2/C5.
 - GRILL BASIN. REFER TO DETAIL 7/C4. CB #1 TO BE INSTALLED SUCH THAT RIM ELEVATION PROVIDES STORAGE ABOVE GROUND ELEVATION. CB #2 TO BE INSTALLED FLUSH WITH PAVEMENT
 - STORMWATER WETLAND BMP. CONTRACTOR TO INSTALL CLAY LINER PER NOTES ON SHEET C6. REFER TO DETAILS SHEET C6.
 - BMP MAINTENANCE AND ACCESS EASEMENT.
 - ROOF DRAIN DOWNSPOUT AND CLEANOUT. COORDINATE EXACT LOCATIONS WITH ARCHITECTURAL DRAWINGS
 - RAINTANK UNDERGROUND STORMWATER STORAGE & INFILTRATION BASIN. SEE SHEET C5 FOR DESIGN AND DETAILS
 - RAINTANK MAINTENANCE PORT. REFER TO DETAIL 5/C7.
 - SPECIAL CB #7. REFER TO DETAIL 6/C7
 - 12" RCP CLASS III STORM DRAINAGE PIPE
 - STORM DRAINAGE MANHOLE. REFER TO DETAIL 9/C4
 - STORM DRAINAGE MANHOLE WITH EXTENDED SUMP. REFER TO DETAIL 9/C4
 - 8" HDPE STORM DRAINAGE PIPE
 - TRASHGUARD TO BE PLACED OVER OUTLET PIPE. REFER TO DETAIL 7/C7
 - RIPRAP OUTLET PROTECTION. REFER TO DETAIL 9/C5
 - PROPOSED DRAINAGE EASEMENT. TO BE COORDINATED WITH NEIGHBORING DEVELOPMENT.
 - 10" HDPE STORM DRAINAGE PIPE

- #### IMPERVIOUS AREAS:
- ONSITE IMPERVIOUS AREAS:
BUILDING: 7,210 SF
SIDEWALKS: 739 SF
PARKING/DRIVING AREAS: 22,101 SF
CONCRETE/ASPHALT STREETS: N/A
OTHER (DUMPSTER PAD): 280 SF
TOTAL: 30,330 SF
 - IMPERVIOUS PERCENTAGE: 59.1%
 - TOTAL IMPERVIOUS AREA IN STREETYARD: 165 SF
 - TOTAL STREETYARD AREA PROVIDED: 7,000 SF
 - IMPERVIOUS PERCENTAGE IN STREETYARD: 2.4%
 - NEW OFFSITE IMPERVIOUS AREAS:
NEW DRIVEWAY APRON: 239 SF
NEW SIDEWALK: 35 SF
TOTAL: 334 SF

SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND	
	NEW BUILDING CONSTRUCTION
	NEW POLE SIGN LOCATION
	NEW CONCRETE PAVING BLOCK
	EXISTING CONTOUR
	PROPOSED CONTOUR
	TEMPORARY SILT FENCE
	NEW STORM PIPE
	LIMITS OF DISTURBANCE
	CONSTRUCTION ENTRANCE
	B&G INLET PROTECTION
	SPOT ELEVATION

NEW SPOT ELEVATIONS	
LIST	ABBREVIATION
TOP OF CURB	TC
EDGE OF PAVEMENT	EP
HIGH POINT	HP
TOP OF PAVEMENT	PVT
GROUND ELEVATION	GD

GENERAL NOTES:

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THAT PROPOSED GRADES MATCH EXISTING GRADES AT ALL CONNECTION POINTS. CONTRACTOR SHALL NOTIFY ENGINEER IF A DISCREPANCY OCCURS.
- FIELD VERIFY SANITARY SEWER INVERT ELEVATION PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION.
- COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- CONTRACTOR SHALL SEEK APPROVAL FROM ARCHITECT, ENGINEER OR OWNER'S REPRESENTATIVE AND THE CITY OF WILMINGTON PRIOR MAKING ANY CHANGES TO THE PROJECT FROM THE APPROVED PLANS.

SITE EXCAVATION REQUIREMENTS:

- A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL.
- FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATION FOR SITE EXCAVATION
- REFER TO STRUCTURAL DRAWINGS FOR BUILDING EXCAVATION REQUIREMENTS.

GRADING NOTES

- INITIATE EROSION CONTROL SEQUENCE BEFORE BEGINNING CLEARING AND GRADING OPERATIONS.
- CLEAR AREAS TO BE GRADED OF ALL VEGETATION. PROTECT VEGETATION BEYOND GRADING LIMITS.
- STRIP TOPSOIL TO FULL DEPTH IN AREAS TO BE GRADED.
- COMPACT ALL FILL AREAS TO 95% OF MAXIMUM DENSITY, OR PER GEOTECHNICAL RECOMMENDATIONS.
- ALL AREAS ARE TO BE GRADED SO THAT NO AREAS OF STANDING WATER OCCUR.
- OPERATOR SHALL FIELD VERIFY EXISTING TOPOGRAPHY IN RELATION TO THE PROPOSED GRADES TO ENSURE DRAINAGE IN THE DIRECTIONS INDICATED ON THE PLAN.

CONSTRUCTION SEQUENCE:

- THE INTENT OF THE CONSTRUCTION SEQUENCE IS TO PROVIDE THE CONTRACTOR WITH A GENERAL GUIDE FOR CONSTRUCTION PURPOSES. THIS SEQUENCE IS NOT INTENDED TO OUTLINE ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- NO LAND DISTURBANCE IS PERMITTED ON SITE UNTIL A TREE PERMIT IS ISSUED IN CONJUNCTION WITH A COUNTY LAND CLEARING PERMIT, CITY GRADING AND CLEARING PERMIT, AND ANY REQUIRED STATE AND FEDERAL PERMITS.
- NO LAND DISTURBANCE IS PERMITTED IN AREAS OUTSIDE OF NECESSARY GRADING LIMITS FOR SITE IMPROVEMENTS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW HANOVER COUNTY EROSION AND SEDIMENTATION CONTROL PLANNING AND DESIGN MANUAL.
- ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER RAINFALL EVENTS. NEEDED REPAIRS SHALL BE MADE IMMEDIATELY.
- IF IT IS DETERMINED DURING CONSTRUCTION THAT SIGNIFICANT SEDIMENT IS LEAVING THE SITE, DESPITE PROPER IMPLEMENTATION AND MAINTENANCE, THE CONTRACTOR IS OBLIGATED TO TAKE ADDITIONAL CORRECTIVE ACTION. CONTACT OWNER'S REPRESENTATIVE AND ENGINEER WITH ANY ADDITIONAL MEASURES NEEDED.
- CONTRACTOR SHALL ESTABLISH GROUND COVER ON DISTURBED AREAS WITHIN FIFTEEN (15) WORKING DAYS FOR FLAT AREAS AND TWENTY-ONE (21) CALENDAR DAYS FOR SLOPES AFTER COMPLETION OF ANY PHASE OF GRADING.
- CONTRACTOR TO VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES, INCLUDING ANY SERVICES TO ADJACENT PROPERTIES. TO AVOID CONFLICT DURING INSTALLATION OF EROSION CONTROL MEASURES, STORM SEWER PIPES, UNDERGROUND UTILITY LINES AND BUILDING PADS AND FOOTERS. CONTRACTOR IS TO CALL 1-800-632-4949 FOR "NO ONE CALL" TO HAVE EXISTING UTILITIES LOCATED. IN THE EVENT THAT ACTIVE SERVICE LINES ARE LOCATED ON SITE, THE CONTRACTOR SHALL COORDINATE RE-ROUTING THESE LINES WITH THE UTILITY PROVIDER.
- CONTRACTOR TO HAVE A PROFESSIONAL LAND SURVEYOR FLAG PROPERTY LINES, EASEMENTS, TREE PROTECTION AREAS AND LIMITS OF DISTURBANCE.
- CONTRACTOR IS TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
- INSTALL TEMPORARY CONSTRUCTION ENTRANCE AS SHOWN ON PLANS.
- INSTALL TEMPORARY SILT FENCE AND TREE PROTECTION FENCING AS SHOWN AND DETAILED ON PLAN. CLEAR ONLY AS NECESSARY TO INSTALL FENCING. NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED. ADDITIONALLY, PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS PRIOR TO INSTALLATION OF ANY MEASURES.
- PERFORM CLEARING, GRUBBING AND TOPSOIL REMOVAL AS REQUIRED.
- BEGIN SITE GRADING OPERATIONS.
- INSTALL STORM SEWER PIPES AND UNDERGROUND UTILITY LINES AS SHOWN ON THE PLANS WITH EROSION CONTROL MEASURES TO ELIMINATE SILT FROM ENTERING PIPE SYSTEMS.
- CONSTRUCT BUILDING PADS AND INSTALL ABC STONE FOR ROADS AND PARKING AREAS AS SHOWN ON PLANS. INSTALL CONCRETE PADS AND SIDEWALKS AS SHOWN ON PLANS.
- CARRY OUT FINAL GRADING. RESPREAD TOPSOIL IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
- PERFORM SEEDING AND MULCHING AS REQUIRED IN ACCORDANCE WITH REQUIREMENTS SHOWN ON SHEET C5.
- ONCE ALL GROUND COVER HAS BEEN ESTABLISHED, AND OTHER CONSTRUCTION IS COMPLETE, CONTACT OWNER FOR SITE INSPECTION BEFORE REMOVING ANY TEMPORARY EROSION CONTROL MEASURES.
- DENSE, EMERGENT PERMANENT GRASS SHALL BE ESTABLISHED ON THE SLOPES OF THE STORMWATER WETLAND BMP PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- ONCE SITE IS APPROVED, CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AND BRING AREAS TO FINAL GRADES. PERFORM SEEDING AND MULCHING ON RESULTING BARE AREAS.
- REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS NEEDED FOR FINAL PAVING AT ENTRY TO SITE. INSTALL FINAL PAVING AS SHOWN ON THE PLANS.
- AFTER SITE IS COMPLETELY STABILIZED, REMOVE ALL TEMPORARY MEASURES AND INSTALL PERMANENT VEGETATION AS REQUIRED AND ON ANY RESULTING BARE AREAS.

EROSION CONTROL NOTES

- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW HANOVER COUNTY EROSION AND SEDIMENTATION CONTROL PLANNING AND DESIGN MANUAL.
- ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER RAINFALL EVENTS. NEEDED REPAIRS SHALL BE MADE IMMEDIATELY.
- ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY NEED TO BE INSTALLED IF DEEMED NECESSARY BY ENGINEER, OWNER, OWNER'S REPRESENTATIVE OR JURISDICTIONAL AUTHORITY.
- ESTABLISH GROUND COVER ON GRADED SLOPES AND FILLS WITHIN 21 CALENDAR DAYS AFTER COMPLETION OF ANY GRADING PHASE.
- TEMPORARY SEDIMENT CONTROL MEASURES (SILT FENCE, CONSTRUCTION ENTRANCE, ETC.) SHALL BE MAINTAINED UNTIL ALL CONTRIBUTING AREAS ARE GRADED AND STABILIZED.
- DUST CONTROL ON SITE SHALL BE MINIMIZED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION IS STRICTLY PROHIBITED.
- IF THE MAJORITY OF MUD OR DIRT IS NOT REMOVED FROM CONSTRUCTION TRAFFIC BY CONSTRUCTION ENTRANCES, CONTRACTOR SHALL CONSTRUCT VEHICLE WASH AREAS AT CONSTRUCTION TRAFFIC EXIT POINTS. MUD AND DIRT SHALL BE INTERCEPTED AND TRAPPED BEFORE WASH WATER IS ALLOWED TO BE DISCHARGED OFF-SITE. RINSE-OFF WILL NOT BE ALLOWED OUTSIDE THE PROJECT CONSTRUCTION LIMITS.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT REACHES 4-INCHES DEEP.
- MAXIMUM GRADED SLOPE SHALL NOT EXCEED 3:1.
- REFER TO SHEET C5 FOR EROSION CONTROL DETAILS.
- TOTAL DISTURBED AREA = 120 ACRES.
- CONTRACTOR SHALL SEEK PERMIT FOR ANY BORROW AND/OR SPOIL AREAS NOT SHOWN ON THESE PLANS.

LAND QUALITY REQUIRED NOTES:

ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO THE SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 21 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS.

WATER QUALITY REQUIRED NOTES:

ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO THE SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL PERIMETER DIKES, SWALES, SLOPES, PERIMETER SLOPES, ALL SLOPES STEEPER THAN 3:1 AND ALL HIGH QUALITY WATER (HOW) ZONES SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN SEVEN (7) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITHIN FOURTEEN (14) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

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STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

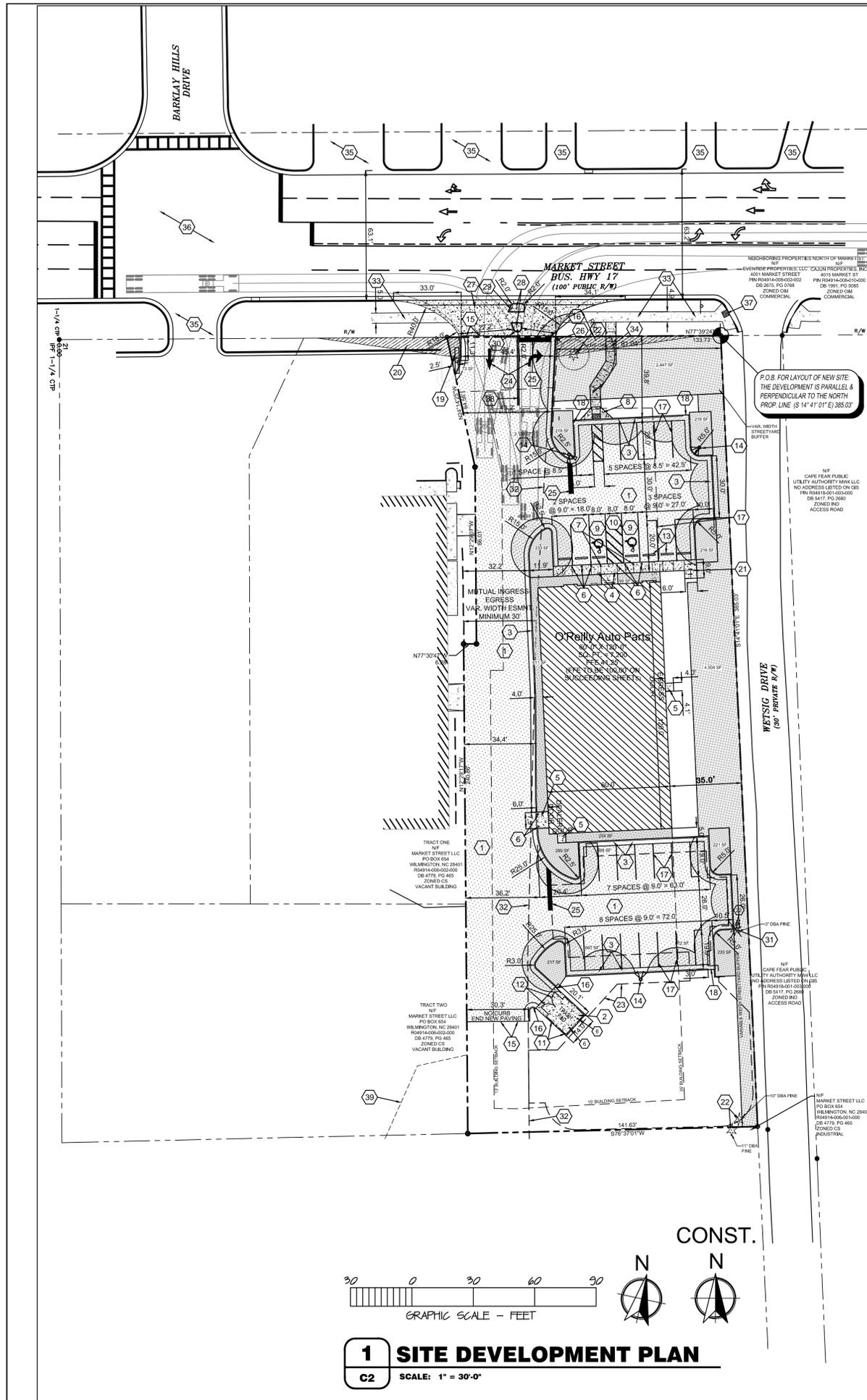


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New O'Reilly Auto Parts Store:
O'REILLY AUTO PARTS
4014 MARKET STREET
WILMINGTON, NC



COMM #	3168
DATE:	09-23-11
REVISION	
DATE:	09-10-12
	02-04-13
	04-02-13
	04-19-13
	05-01-13



SITE DATA TABLE:

1. CURRENT PROPERTY OWNER: O'REILLY AUTOMOTIVE STORES, INC. 233 SOUTH PATTERSON SPRINGFIELD, MO 65802	20. ONSITE IMPERVIOUS CALCULATIONS BUILDING: 7,210 SF SIDEWALKS: 739 SF PARKING/DRIVEWAY AREAS: 22,101 SF CONCRETE/ASPHALT STREETS: N/A OTHER (DUMPSTER PAD): 280 SF TOTAL: 30,330 SF
2. PARCEL IDENTIFICATION NUMBERS: R04914-006-002-000	21. NEW OFFSITE IMPERVIOUS AREAS: NEW DRIVEWAY APRON: 290 SF NEW SIDEWALK: 35 SF TOTAL: 334 SF
3. BUILDING SETBACKS: REQUIRED ACTUAL FRONT 35' 114.5' CORNER 35' 35' REAR 15' 147.0' SIDE 13' 36.5'	22. LANDSCAPING CALCULATIONS STREET YARD LANDSCAPING MARKET STREET (PRIMARY STREET YARD) 134 LF - 34 LF (DRIVEWAY) x 25 (MULTIPLIER) = 2,500 SF STREET YARD PROVIDED: 2,520 SF REQUIRED PLANTINGS: 2,520 SF / 600 SF / TREE = 4.2 OR 4 CANOPY TREES 2,520 SF / 600 SF * 6 SHRUBS = 25.2 OR 25 SHRUBS PROVIDED PLANTINGS: 4 CANOPY SHADE TREES (1 EXISTING TREE SAVED) 25 SHRUBS
4. TOTAL PARCEL AREA: 51,302 SF (1.178 ACRES)	WESTIG DRIVE (SECONDARY STREET YARD) 385 LF - 37.5 LF (STREET YARD OVERLAP) x 12.5 (MULTIPLIER) = 4,344 SF STREET YARD PROVIDED: 4,480 SF REQUIRED PLANTINGS: 4,480 SF / 600 SF / TREE = 7.5 OR 8 CANOPY TREES 4,480 SF / 600 SF * 6 SHRUBS = 44.8 OR 45 SHRUBS PROVIDED PLANTINGS: 8 CANOPY SHADE TREES 45 SHRUBS
5. PARKING CALCULATIONS A. PROPOSED USE: RETAIL B. MAXIMUM PARKING ALLOWED: 1 SPACE / 200 SF 7,200 SF / 200 SF / SPACE = 36 SPACES C. MINIMUM PARKING REQUIRED: 1 SPACE / 400 SF 7,200 SF / 400 SF / SPACE = 18 SPACES D. ACCESSIBLE PARKING REQUIRED: 2 SPACES FOR 26 - 50 TOTAL SPACES E. PARKING PROVIDED: 26 SPACES INCLUDING 2 ACCESSIBLE SPACES F. VAN ACCESSIBLE SPACE NOTED ON PLAN G. ADA COMPLIANCE NOTED IN KEY NOTE #10 H. BICYCLE PARKING REQUIRED: 5 SPACES FOR FIRST 25 AUTO PARKING SPACES I. BICYCLE PARKING PROVIDED: 6 BICYCLE PARKING SPACES	TOTAL STREET YARD PROVIDED: 7,000 SF TOTAL IMPERVIOUS AREA IN STREET YARD: 165 SF TOTAL IMPERVIOUS PERCENTAGE IN STREET YARD = 2.4%
6. CAMA LAND USE CLASSIFICATION: DEVELOPED	INTERIOR SHADING AND LANDSCAPING PARKING FACILITY AREA SHADING REQUIRED: 22,101 SF x 20% = 4,420 SF PARKING FACILITY AREA SHADING PROVIDED: 4,559 SF
7. BUILDING SIZE: 7,200 SF	FOUNDATION LANDSCAPING BUILDING FACE ADJACENT TO PARKING AREA: 17.5 FT x 240 LF = 4,200 SF FOUNDATION LANDSCAPING REQUIRED: 4,200 SF x 12% = 504 SF FOUNDATION LANDSCAPING PROVIDED: 944 SF
8. BUILDING LOT COVERAGE: 7,200 SF / 51,302 SF = 0.140 OR 14.0%	REQUIRED TREES: 15 TREES REQUIRED TO BE RETAINED OR PLANTED PER DISTURBED ACRE: 15 x 1.20 AC = 18 TREES TREES TO BE PLANTED: 23 TREES TO BE RETAINED: 1 TOTAL TREES: 24
9. NUMBER OF UNITS: 1	
10. NUMBER OF BUILDINGS: 1	
11. BUILDING HEIGHT: 17 FT	
12. NUMBER OF STORIES: 1	
13. SQUARE FOOTAGE PER FLOOR: 7,200 SF/FLOOR	
14. ON-SITE DISTURBED AREA: 1.13 ACRES	
15. OFF-SITE DISTURBED AREA: 0.07 ACRES	
16. TOTAL IMPERVIOUS AREA: 30,330 SF	
17. TOTAL IMPERVIOUS PERCENTAGE: 59.1%	
18. EXISTING IMPERVIOUS AREAS: 19,449 SF BUILDING: 4,497 SF PAVEMENT: 15,022 SF	

SITE GENERAL NOTES:

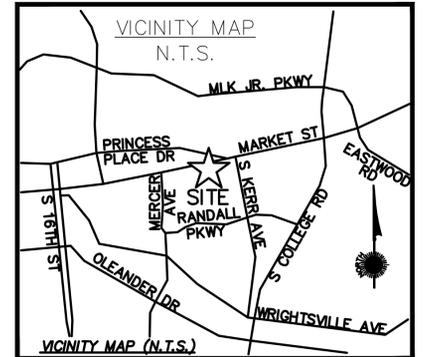
- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- ALL SITE DIMENSIONS TO THE GUTTER LINE OF CURB, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.
- ALL CONSTRUCTION IS TO BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF WILMINGTON STANDARDS, SPECIFICATIONS AND DETAILS.
- ALL PERMITS RELATING TO THIS PROJECT MUST BE OBTAINED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LAYOUT AND CONTACT ENGINEER WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ACCESSIBLE CURB CUT RAMP SHALL BE PROVIDED WHERE SIDEWALKS INTERSECT CURBING. ALL CURB CUT RAMP DETAILS SHALL CONFORM TO AND REFERENCE THE NC STATE ACCESSIBILITY CODE. CURB CUT RAMP WITHIN THE R/W SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS.
- ALL HVAC UNITS, MECHANICAL EQUIPMENT & SATELLITE DISHES ON THIS SITE WILL BE SCREENED.
- PAINTED TRAFFIC ARROWS AND ALL SIGNS, PAVEMENT MARKINGS, ETC. SHALL CONFORM TO M.U.T.C.D. STANDARDS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE POINTS.
- GENERAL CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
- CONTRACTOR SHALL SEEK APPROVAL FROM ARCHITECT, ENGINEER OR OWNER'S REPRESENTATIVE AND THE CITY OF WILMINGTON PRIOR MAKING ANY CHANGES TO THE PROJECT FROM THE APPROVED PLANS.
- THE EXISTING BUILDING AND HARDSCAPE AREAS ON THIS SITE ARE TO BE REMOVED.
- TACTILE WARNING MATS SHALL BE INSTALLED ON ALL ACCESSIBLE RAMPS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.

CITY OF WILMINGTON REQUIRED NOTES:

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. ADD A NOTE TO CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
- ANY BROKEN OR MISSING SIDEWALK PANELS WILL BE REPLACED.
- CONTACT KAREN DIXON AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- PROJECT SHALL COMPLY WITH CITY OF WILMINGTON CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CITY WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX ANY IRRIGATION SYSTEM SUPPLIED BY CITY WATER SHALL COMPLY WITH THE CITY'S CROSS CONNECTION CONTROL REGULATIONS. CALL 343-3910 FOR INFORMATION.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CITY WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCHCR OR ASSE.

KEY NOTES:

- CONCRETE PAVING: REFER TO DETAIL 1/C3.
- ALTERNATE #1: ASPHALT PAVING REFER TO DETAIL 2/C3. REFER TO PROJECT MANUAL.
- CONCRETE CURB: REFER TO DETAIL 3/C3.
- CONCRETE SIDEWALK ADJACENT TO BUILDING: REFER TO DETAIL 4/C3.
- CONCRETE DOOR LANDING: REFER TO DETAIL 4/C3 AND STRUCTURAL DETAILS. RAMP PAVING AS INDICATED. LANDING CAN BE POURED MONOLITHIC IF CONCRETE PAVING IS USED.
- STEEL BOLLARD: REFER TO DETAIL 6/C3. PROVIDE (2) AT TRASH PAD AND OVERHEAD DOOR, PROVIDE (9) AT SIDEWALK. REFER TO STRUCTURAL PLAN FOR LOCATION.
- HANDICAP PARKING SIGN: REFER TO DETAIL 7/C3.
- CONCRETE HC RAMP: REFER TO DETAIL 8/C4 AND NCDOT STD DETAIL 484.05.
- HANDICAP PARKING SYMBOL: REFER TO DETAIL 5/C3.
- HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.
- SCREEN FENCE: REFER TO DETAIL 12/C3.
- SCREEN FENCE GATES: REFER TO DETAIL 11/C3.
- CONCRETE WHEEL STOP: MAXIMUM HEIGHT 4" AND DIMENSIONS PER CITY OF WILMINGTON STANDARDS. TO BE PLACED 2.5' FEET FROM END OF PARKING STALL TO FACE OF WHEEL STOP PER CITY OF WILMINGTON STANDARDS. ANCHOR TO PAVING WITH (2) 1" x 4" LONG #4 REBAR (TO SIT LEVEL WITH PAVING). REFER TO DETAIL 13/C3.
- PARKING LOT LIGHTING: REFER TO SITE ELECTRICAL PLAN FOR LOCATION AND TYPE.
- LIMITS OF NEW PAVING: MATCH EXISTING PER CITY AND OR STATE STANDARDS.
- ROLL DOWN CURB: TERMINATE AND ROLL DOWN NEW CURB WHERE INDICATED. ROLL DOWN AT 1:2.
- STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS)
- CURB CUT: SEE PLAN FOR WIDTH OF CURB OPENING. REFER TO DETAIL 8/C3.
- SIGN LOCATION: SIGN FURNISHED AND INSTALLED BY OWNER. REFER TO SITE ELECTRICAL PLAN FOR DETAILS. NOTE: ALL PORTIONS OF THE SIGN, INCLUDING THE POLE, SHALL BE LOCATED SUCH THAT IT DOES NOT OBSTRUCT THE SIGHT LINES WITHIN THE SIGHT TRIANGLE AT A VERTICAL DISTANCE BETWEEN 10' AND 30' FROM GROUND LEVEL.
- 10' x 70' SIGHT TRIANGLE ILLUSTRATION PER NCDOT STANDARD. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
- BICYCLE PARKING FOR 6 BICYCLES. SEE DETAIL 9/C3.
- EXISTING TREE TO BE SAVED. EXISTING LIVE OAK TREE LOCATED AT THE ENTRANCE OF THE SITE SHALL BE PRUNED IN ACCORDANCE WITH CITY OF WILMINGTON SPECIFICATIONS.
- BMP MAINTENANCE AND ACCESS EASEMENT
- TRAFFIC ARROWS PER CITY OF WILMINGTON STANDARD DETAIL 11-03. ARROWS SHALL BE PAINTED WHITE AND SHALL BE THERMOPLASTIC MATERIAL. SEE DETAIL 3/C4
- 24" WIDE STOP BAR PER CITY OF WILMINGTON STANDARD DETAIL 11-01. SEE DETAIL 2/C4
- STOP SIGN R1-1. SEE DETAIL 4/C4 FOR INSTALLATION REQUIREMENTS.
- CONCRETE DRIVE APRON: TO BE INSTALLED PER CITY OF WILMINGTON STANDARDS. SEE DETAIL 10/C3 AND NCDOT STD. DETAIL 848.03.
- 5' TALL SURFACE MOUNTED CONCRETE MONOLITHIC ISLAND PER DIMENSIONS THIS SHEET AND NCDOT DETAIL 852.01. SEE DETAIL 1/C4.
- OM-3C OBJECT MARKER. SEE DETAIL 4/C4 FOR INSTALLATION REQUIREMENTS.
- NO LEFT TURN SIGN R3-2. SEE DETAIL 4/C4 FOR INSTALLATION REQUIREMENTS.
- EXISTING TREE TO BE REMOVED
- CROSS-ACCESS EASEMENT
- EXISTING CONCRETE SIDEWALK
- STANDARD CONCRETE SIDEWALK REFER TO DETAIL 9/C3 AND NCDOT STD. DETAIL 848.01.
- EXISTING DRIVEWAY TO ADJACENT PROPERTIES
- EXISTING SIGNALLED INTERSECTION
- TACTILE WARNING MAT TO BE PLACED ON EXISTING ACCESSIBLE RAMP PER CITY OF WILMINGTON STANDARDS AND NCDOT STD. DETAIL 848.05.
- PROVIDE 4" WIDE DOUBLE YELLOW STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT (2 COATS)
- PROPOSED DRAINAGE EASEMENT



SIGN LEGEND:



SITE INFORMATION:

- PROPOSED LINEAR FOOTAGE OF ROADS: N/A
- PROPOSED NEW WATER TAPS: 1
- PROPOSED NEW SEWER TAPS: 1

SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND	
	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	AREA OF PAVING
	NEW POLE SIGN LOCATION
	NEW CONCRETE PAVING BLOCK
	NEW LIGHT POLE LOCATION
	NEW FENCE CONSTRUCTION
	EXISTING TREE
	SIGHT TRIANGLE
	FOUNDATION PLANTINGS
	STREET YARD PLANTINGS
	INTERIOR PLANTINGS
	PARKING FACILITY SHADING



Please provide the Water and Sewer Capacity needs (current and proposed zoning) with calculations in gallons per day based on state guide lines.
 Water: 0 GPD (current use)
 Water: 225 GPD (proposed use)
 Sewer: 0 GPD (current use)
 Sewer: 225 GPD (proposed use)

STORMWATER MANAGEMENT PLAN
APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

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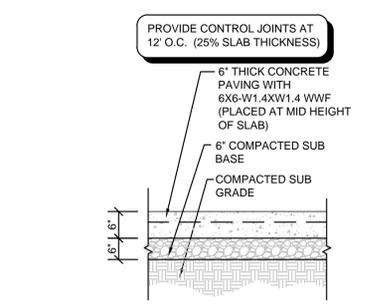


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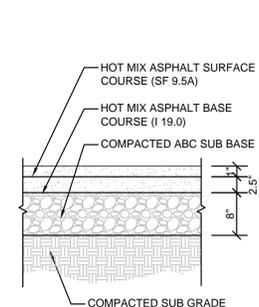
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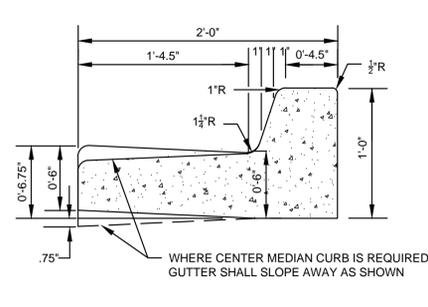
COMM #	3168
DATE:	09-23-11
REVISION	DATE: 09-10-12
	02-04-13
	04-02-13
	04-19-13
	05-01-13



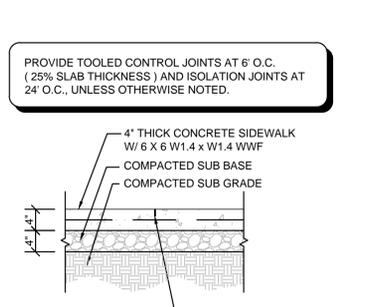
1 CONCRETE PAVING SECTION
C3 SCALE: 3/4" = 1'-0"



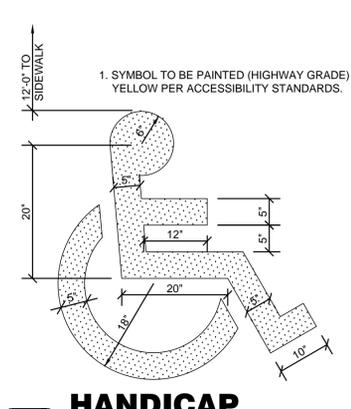
2 ASPHALT PAVING SECTION
C3 SCALE: 3/4" = 1'-0"



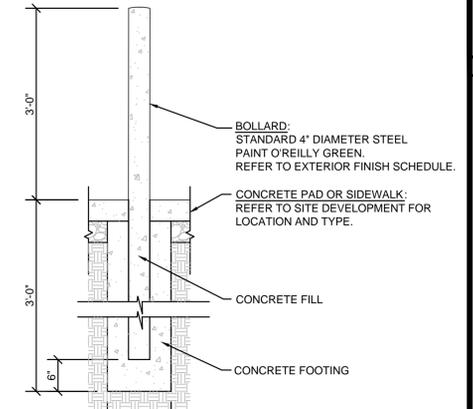
3 CONCRETE CURB SECTION
SD 7-01 NOT TO SCALE
C3 SCALE: N/A



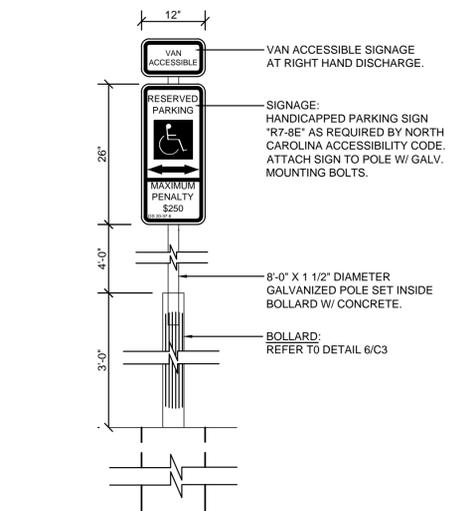
4 CONCRETE SIDEWALK SECTION
C3 SCALE: 3/4" = 1'-0"



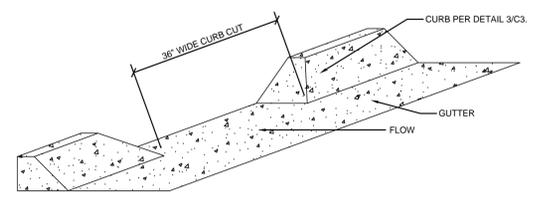
5 HANDICAP PARKING SYMBOL
C3 SCALE: 3/4" = 1'-0"



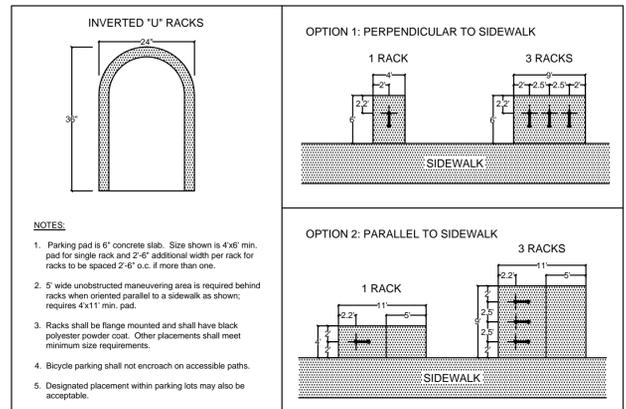
6 STEEL BOLLARD SECTION
C3 SCALE: 3/4" = 1'-0"



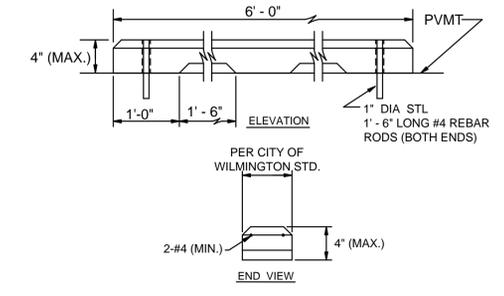
7 HANDICAP PARKING SIGN
C3 SCALE: 3/4" = 1'-0"



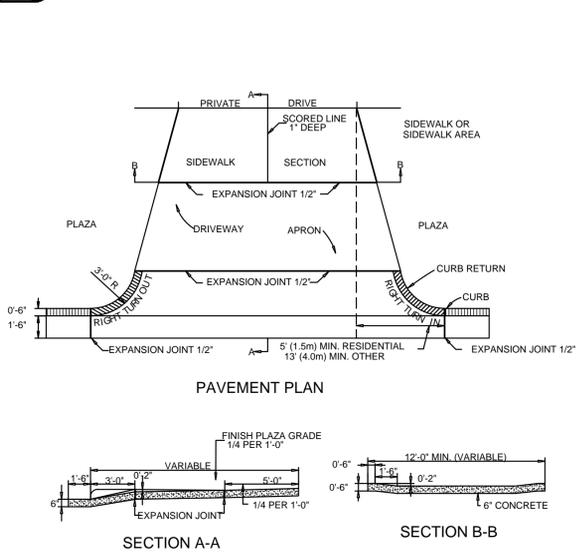
8 CURB CUT DETAIL
C3 SCALE: N/A



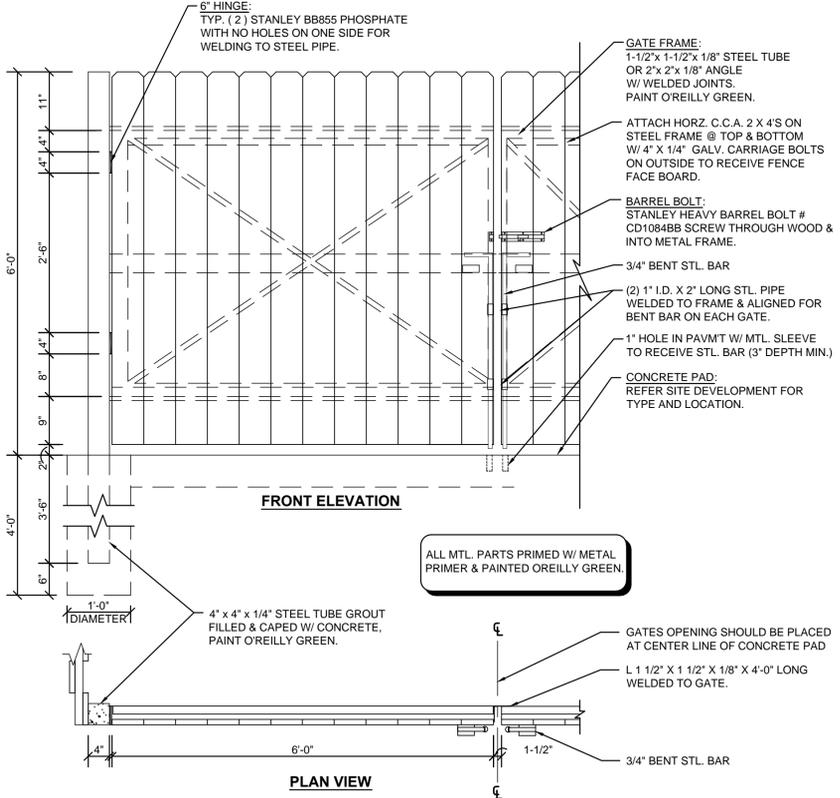
9 BICYCLE PARKING
C3 SCALE: N.T.S.



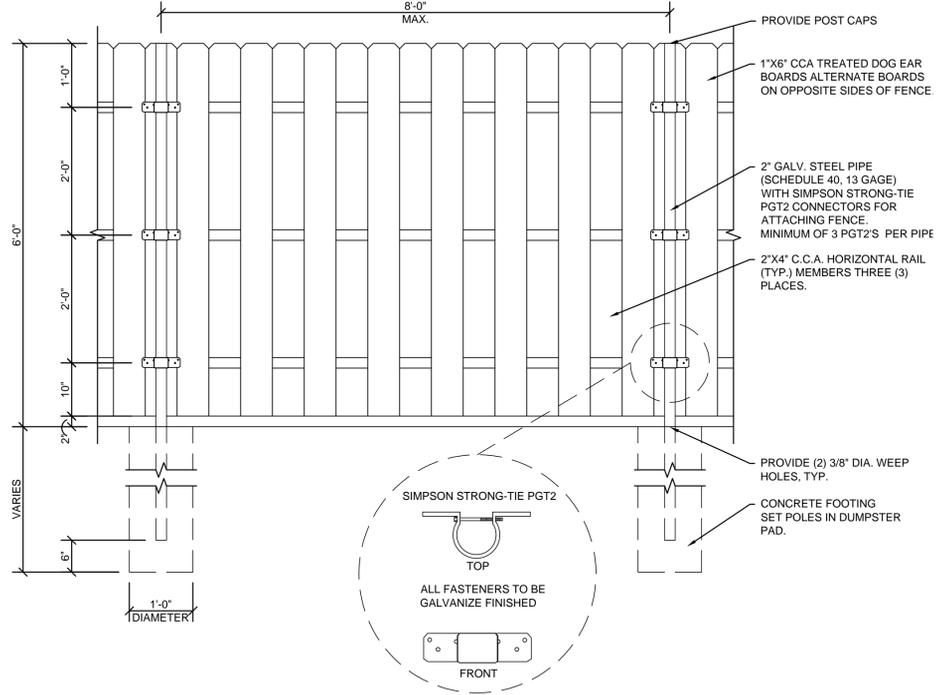
13 CONCRETE WHEELSTOP
C3 SCALE: N.T.S.



10 DRIVEWAY DETAIL
C3 SCALE: N/A



11 SCREEN FENCE GATE
C3 SCALE: 3/4" = 1'-0"



12 SCREEN FENCE
C3 SCALE: 3/4" = 1'-0"

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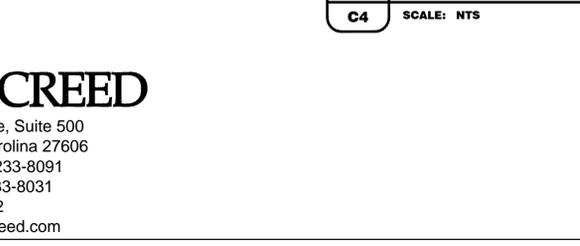
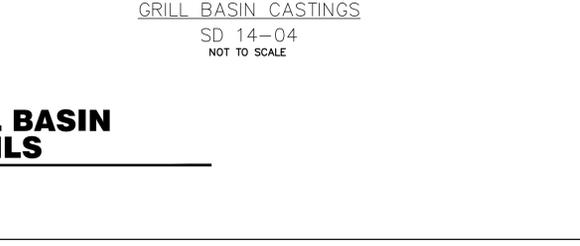
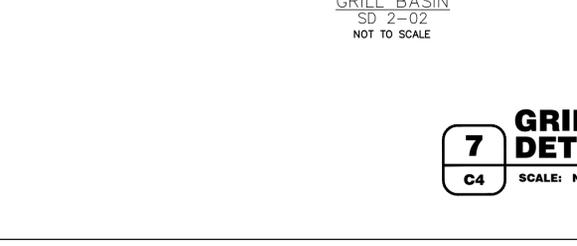
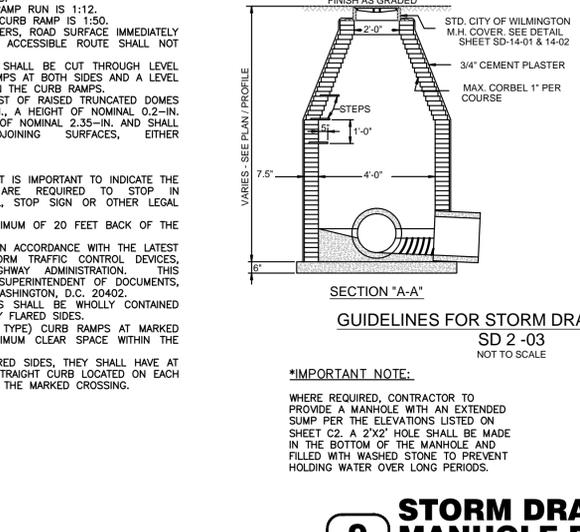
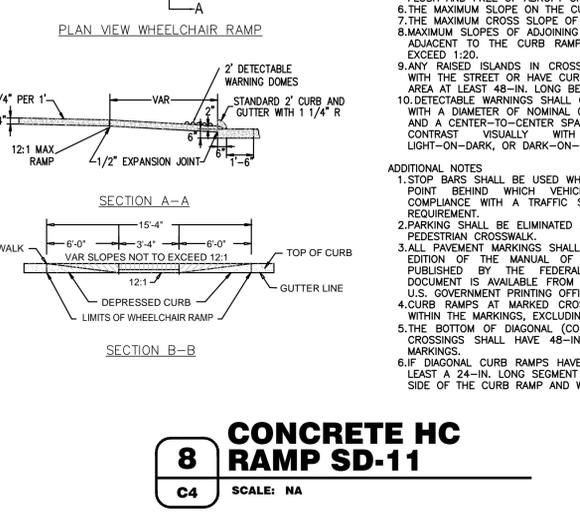
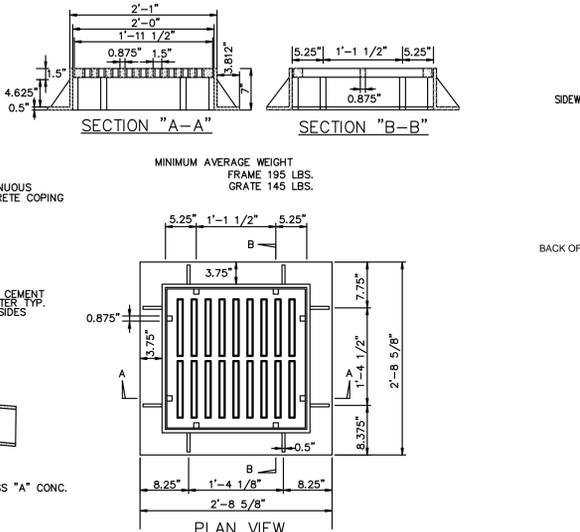
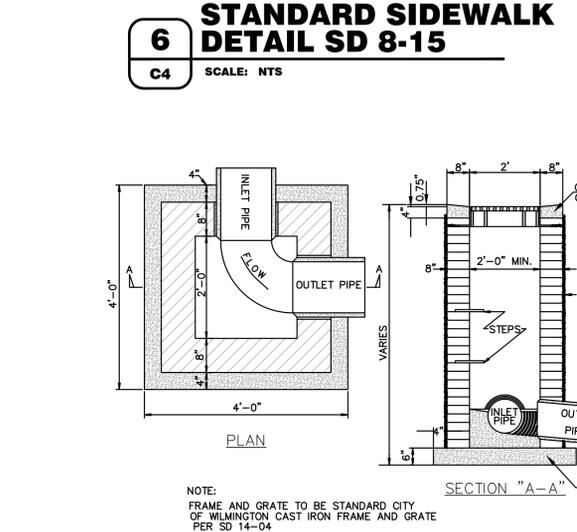
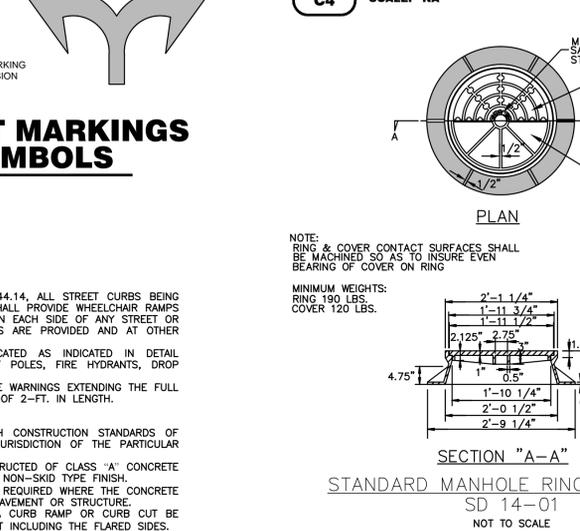
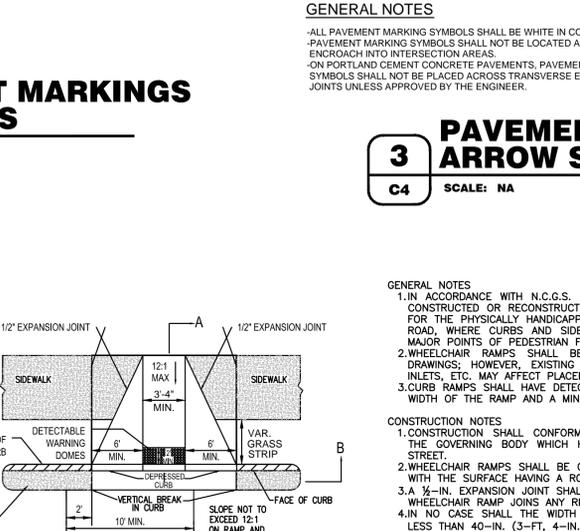
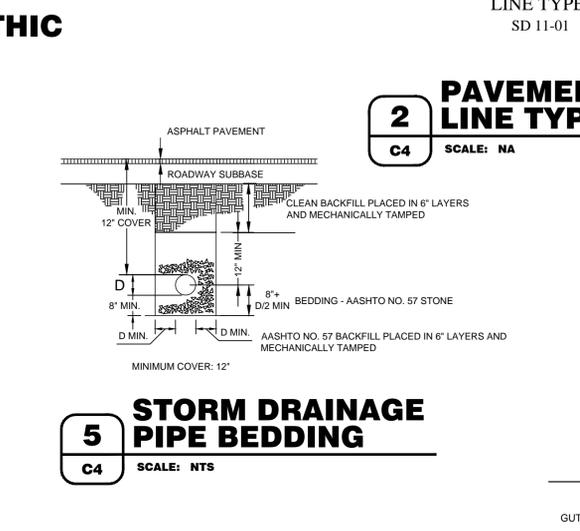
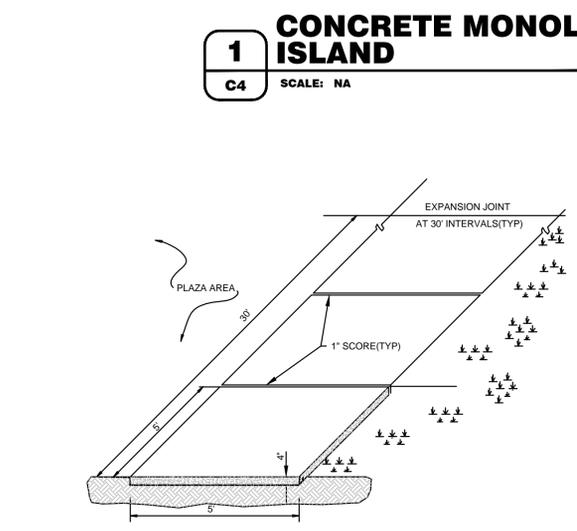
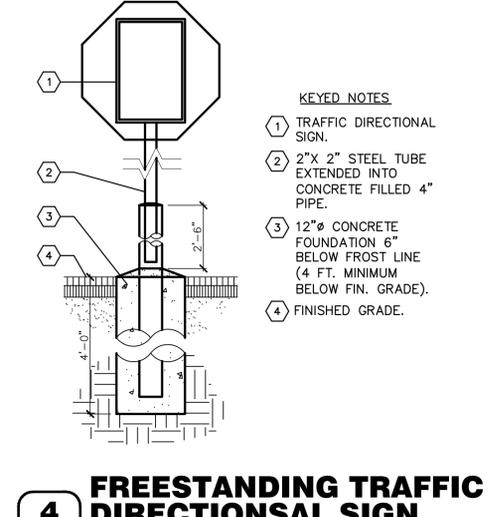
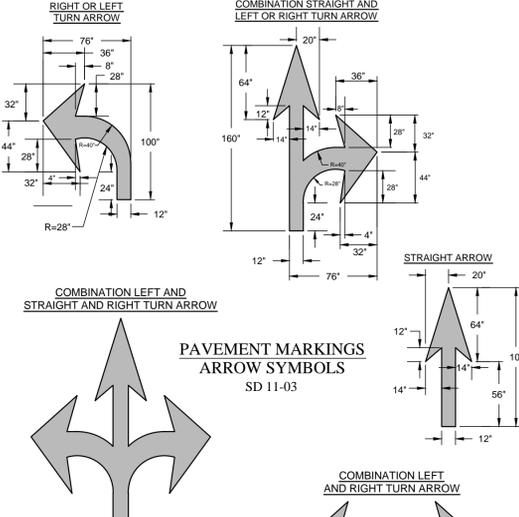
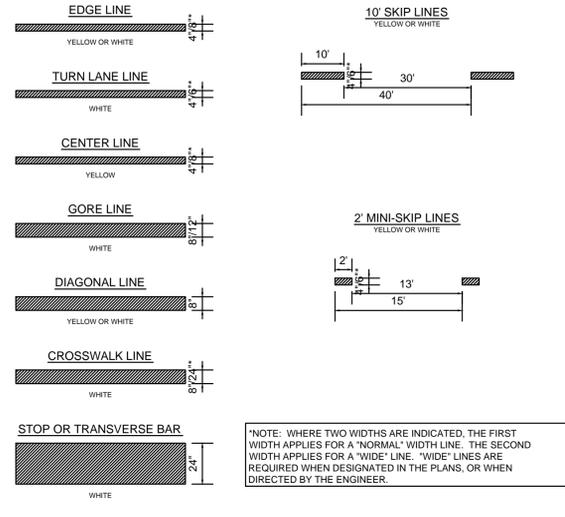
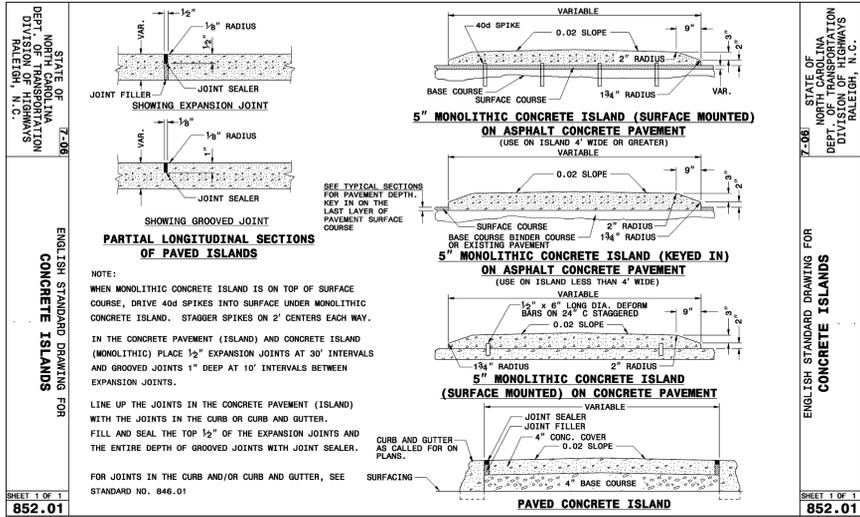


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