Memo

City of Wilmington, North Carolina

To:	Summey Engineering Associates
From:	Jeff Walton, Associate Planner; 910-341-3260
CC:	File;
Date:	5/11/2023
Re:	Cookout – Market Street

The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. A staff summary of comments:

| Staff	Department	Notes
Chris Walker	Fire	No further comments
Rob Gordon	Engineering	No further comments
Jeff Walton	Planning, Plan Review	Comments below
Bill McDow	Transportation	Comments below, same comments previously
Mitesh Baxi	Traffic Engineering	Comments attached with redline

Jeff Walton – Planning

Site Plan Comments:

- Please include a lighting plan on your next submittal.
- O&I-1 zone requires that exterior building materials for new construction
  - I think NICHIHA MIRAIA are board/stucco panels? No metal panels would be allowed.
    - Please include building elevations.

Landscape Plan:

- Please show required and proposed compliance with plantings called out for foundation on all 4 sides of the building.
- All parking rows shall have 216 sq ft landscape islands at the end of each row.
  - I made some suggested redlines that may help in compliance.
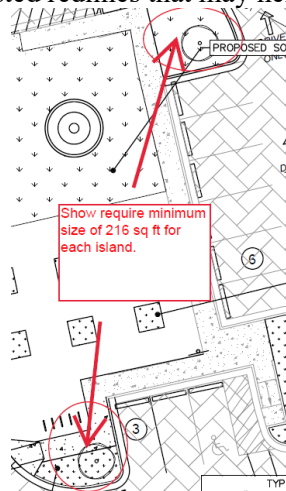
<u>Bill McDow – Transportation Planning</u>
TECHNICAL STANDARDS:

1. The Birchwood Drive and Princess Place Driveway does not have the required 75'
   internal protective stem length required in the TIA. Please increase the stem length.
   a. Comment to be addressed with NCDOT Driveway Permit Review (Div 3/
      District 3)
2. See notes from added redline

Bill McDow Redline

Modify raised island to improve channelization and self enforce one-way traffic circulation.

PROPOSED DRIVEWAY TO BE CONSTRUCTED PER THE CITY OF WILMINGTON STANDARD SEE DETAIL 3-03.3 & 3-03.4 ON SHEET C-11

Is it ideal to orient walkway into loading zone? Would it be better to provide receiving ramp to curbed area?

20'X70' SIGHT DISTANCE TRIANGLE ALL PROPOSED VEGETATIOON WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR SIGHT LINES FROM 30"-10' IN HEIGHT.

PROPOSED SIDEWALK TO TIE TO EXISTING PRINCESS WITH ASSOCIATED HANDICAP RAMPS AND ASSOCIA MARKINGS

Preferable to direct (or force) vehicles entering from Princess Place to circulate around building to get in drive thru queue. Any confusion or stopped vehicle in the driveway could create queuing onto Princess Place Dr. Additional drive thru lane markings may help by providing driver guidance.

(8) STACKING SPACES LOCATED FROM EACH

RAD: 4.0'

RAD: 10.0'

RAD: 3.0'

ET

13.0'

13.0'

15.8'

12.0'

4.0'

Who are the drive thru vehicles yielding to?

LOADING ZONE

RAD: 3.0'

EXISTING STORM PIPE

SEWER CLEANOUT

RAD: 5.0'

RAD: 3.0'

RAD: 20.0'

MENU BOARD

24.0'

RAD: 12.0'

What kind of vehicle will utilize this loading zone? Is it large enough or oriented properly? Access to this area looks difficult, especially for large trucks.

CHURCH
MORNINGSTAR FELLOWSHIP CHURCH
DEED BOOK 5964, PAGE 711
PARID: R04914-008-008-000
ZONING:0&I

RAD: 1.5'

PROPOSED WATER FEATURE

PROPOSED LANDSCAPE PLANTERS

25.5'

18.0'

10.0'

17.7'

COOKOUT RESTAURANT
1852 SF
FFE: 42.00
27' PROP. BUILDING HT.

1.5'

PROPOSED CURB AND GUTTER

11

PROPOSED HANDICAP ACCESSIBLE RAMPS SEE STANDARD DETAILS (TYP.)

10.0'

PICK UP WINDOW

PROPOSED STOP BAR

138.4

PROPOSED CURB INLET TO TIE INTO EX

PROPOSED WHEEL STOP (TYP.)

3

RAD: 1.5'

37.5'

RAD: 6'

RAD: 6'

RAD: 3'

If drive aisle is one-way, angle parking would be ideal to self enforce one way traffic circulation.

PROPOSED CURB AND GUTTER

Anticipated

RAD: 20'

Intended? (traffic calming)

Possible island modification

WALK UP WINDOW

ADA RAMP

12.0'

12.0'

12.0'

12.0'

20.0'

12.0'

25.0'

100.0'

15" RCP

10'X70' NCDOT SIGHT DISTANCE TRIANGLE ALL PROPOSED VEGETATIOON WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUA SIGHT.

EXISTING PARKING

NE TO ERVICE LATION
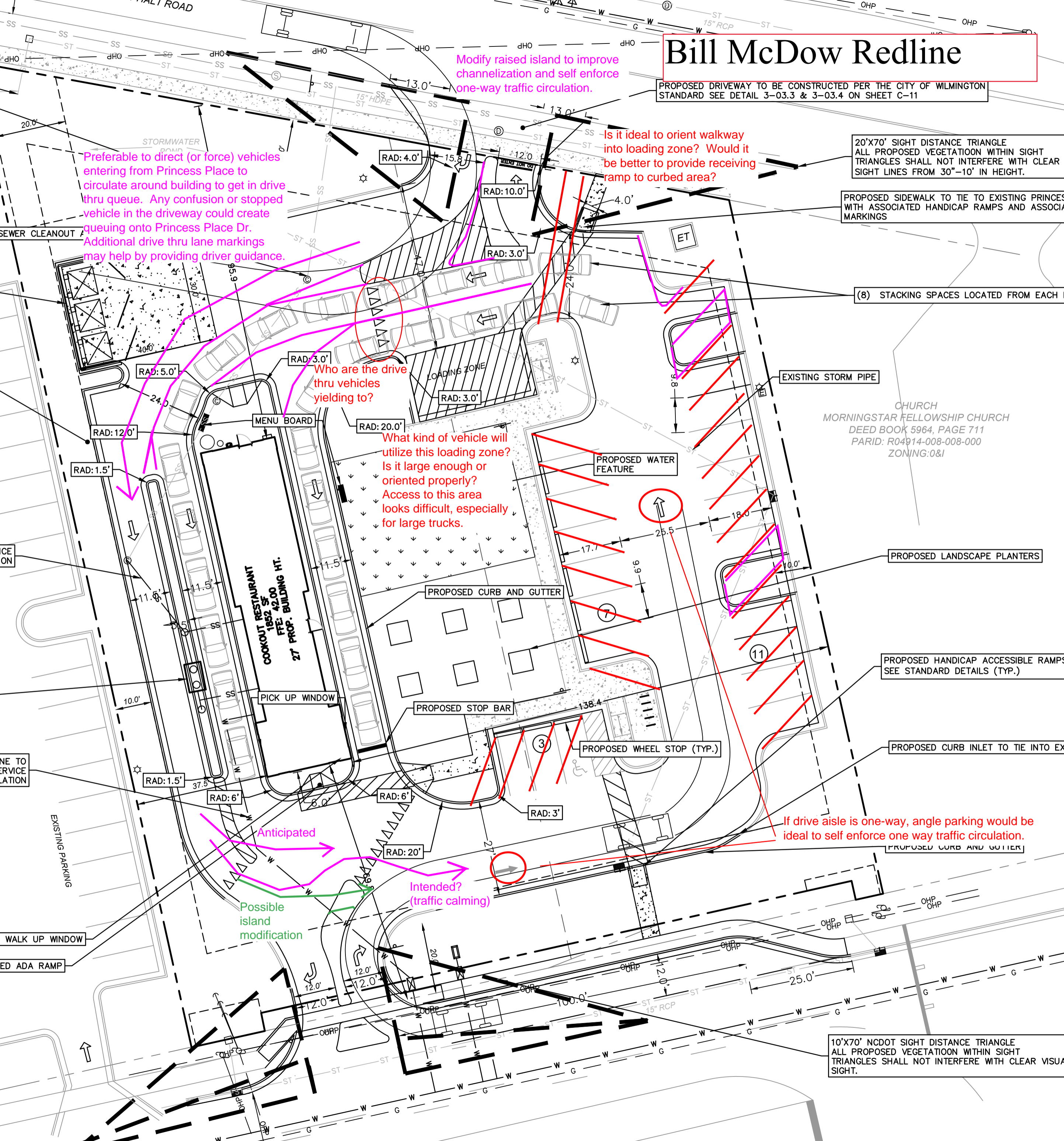
EXISTING CONDITIONS:
- Show and callout an existing streetlight in the front of this property on Market St.

ACCESS:
1. Show, callout and dimension the 20'x70' SDT for driveway off Market St in accordance with City standard and code on site and landscape plans. [Sec.18-529(c) (3) CofW LDC] [Sec. 18-812 CofW LDC]. 20' shall be measured from the property line towards the property.

   SIGHT DISTANCE TRIANGLE FOR ANY STREET/DRIVEWAY INTERSECTIONS WITH THOROUGHFARES
   Market St is a major thoroughfare [Chap VII (C) (2) (a) of CofW Tech Stds]. In accordance with the City Code, sight distances along thoroughfares must be calculated in compliance with the AASHTO requirements. [Chap VII (C) (1) of CofW Tech Stds] [Sec.18-556 CofW LDC]. Show and callout AASHTO departure sight distances for driveway off Market St on site and landscape plans.
2. Dimension the flare widths of driveway off Princess Pl Dr.
3. Dimension existing sidewalk width on Princess Pl Dr and Market St abutting property.
4. Detectable warning domes at the ADA ramps are 2' in length for the width of the ramp. Revise graphics on site plan accordingly.

PARKING:
5. Dimension the parking spaces and drive aisles.
6. Dimension the loading zone proposed adjacent to the drive thru lane.
7. This site has only one Handicap Accessible parking space therefore, the accessible space must be van accessible. It is acceptable to have the van space at 8' wide with an 8' wide accessible aisle or 11' wide parking space with 5' wide accessible aisle. [ADA Standards]

STRIPING AND SIGNAGE PLAN:
1. This plan does not show all the details of any traffic signs or striping. There are few details in the site plan. Please include all the relevant details in this plan.
2. Callout the type of pavement markings for the right turn lane, as per NCDOT/City standards.
3. Callout the sign shown north of the sidewalk for traffic entering street style driveway off Market St.
4. Pavement markings for crosswalk are not required at the private driveway off Market St and shall not be installed.

Attachment: Red line marked pdf is attached with this review. We believe this was forwarded by the planner prior to Rev #5 plan submittal. Some of the revisions were made based on this but some are not. Please provide the justification for the revisions not made.

Please let me know if you have any questions or if I can be of further assistance.

ALL PROPOSED VEGETATIOON WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30"–10' IN HEIGHT.

PROPOSED SIDEWALK TO TIE TO EXISTING PRINCESS PLACE DR WITH ASSOCIATED HANDICAP RAMPS AND ASSOCIATED SIDEWAL MARKINGS

MOUNTABLE CURB PAINTED YELLOW (SEE PAVING PLAN)

(8) STACKING SPACES LOCATED FROM EACH MENU BOARD

EXISTING STORM PIPE

POND

END OF PIPE NOT FOUND (COVERED WITH SILT AND SEDIMENT)

EXISTING SAN. SEWER CLEANOUT AND SERVICE

SED DUMPSTER LOCATION SEE T C-8 FOR DUMPSTER DETAIL

RAD: 4.0'

RAD: 10.0'

RAD: 3.0'

75' STEM LENGTH

47.0'

RAD: 5.0'

RAD: 3.0'

12'

LOADING ZONE

MENU BOARD

RAD: 12.0'

EXISTING PARKING

RAD: 1.5'

21.5'

44.5'

44.5'

COOKOUT RESTAURANT 1852 SF FFE: 42.00 27' PROP. BUILDING HT.

11.5'

PROPOSED WATER FEATURE

DRIVE THRU ONLY

EXIT ONLY

EXIT ONLY

CHURCH MORNINGSTAR FELLOWS DEED BOOK 5964, P PARID: R04914-008- ZONING: O&I

PROPOSED LANDSCAPE PLANTERS

TIE INTO EXISTING SEWER SERVICE FIELD VERIFY LOCATION BEFORE INSTALLATION

11.5

11.5'

PROPOSED CURB AND GUTTER

6

11

TACO BELL FAST FOOD RESTAURANT CAMPBELL FOODS TOO LLC DEED BOOK 5768, PAGE 1870 PARID: R04914-008-005-000 ZONING: O&I

3.5'

SS

33.2'

5.0'

1500 GAL. GREASE INTERCEPTOR (VERIFY WITH PLUMBING PLANS)

SS

PROPOSED STOP BAR

PROPOSED HANDICAP ACCESSIBLE RAMPS WITH DETEC SEE STANDARD DETAILS (TYP.)

PICK UP WINDOW

15.5'

24.3'

2

PROPOSED WHEEL STOP (TYP.)

PROPOSED CURB INLET TO TIE INTO EXISTING STORM

PROPOSED 2" TYPE K COPPER WATER LINE TO TIE INTO EXISTING WATER METER SERVICE FIELD VERIFY LOCATION BEFORE INSTALLATION

RAD: 1.5'

10.0'

RAD: 6'

20.0'

RAD: 6'

RAD: 3'

11'

RAD: 2'

75' STEM LENGTH 12'

PROPOSED CURB AND GUTTER

EXISTING PARKING

PROPOSED WALK UP WINDOW

PROPOSED ADA RAMP

PROPOSED STOP BAR

75' PROTECTED STEM (CONC. ISLAND)

OHP OHP OHP

12.0'

25.0'

11.0'

12.0'

100.0'

15" RCP

OHP OHP OHP

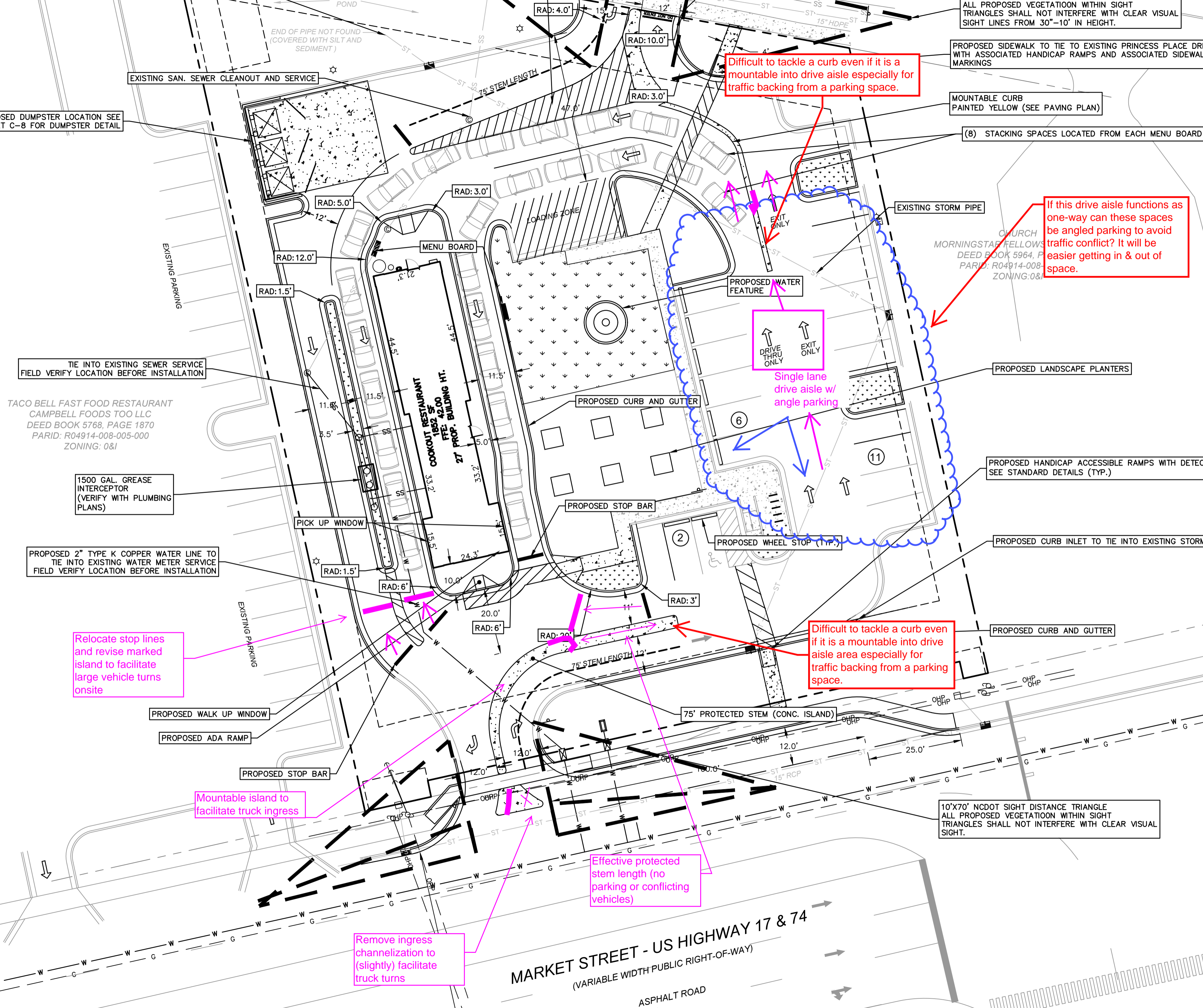10'X70' NCDOT SIGHT DISTANCE TRIANGLE ALL PROPOSED VEGETATIOON WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT.

MARKET STREET - US HIGHWAY 17 & 74 (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

ASPHALT ROAD

Markup annotations (red):
- Difficult to tackle a curb even if it is a mountable into drive aisle especially for traffic backing from a parking space.
- If this drive aisle functions as one-way can these spaces be angled parking to avoid traffic conflict? It will be easier getting in & out of space.
- Difficult to tackle a curb even if it is a mountable into drive aisle area especially for traffic backing from a parking space.

Markup annotations (magenta):
- Single lane drive aisle w/ angle parking
- Relocate stop lines and revise marked island to facilitate large vehicle turns onsite
- Mountable island to facilitate truck ingress
- Effective protected stem length (no parking or conflicting vehicles)
- Remove ingress channelization to (slightly) facilitate truck turns