

SITE DATA:
 PROPERTY CURRENTLY OWNED BY:
 SEAGATE VILLAGE, LLC
 409 BRADLEY CREEK POINT RD
 WILMINGTON, NC 28403

PROPERTY ADDRESS:
 6201 OLEANDER
 6205 OLEANDER DR
 12 GREENVILLE AVE
 24 GREENVILLE AVE

NEW HANOVER COUNTY PINS:
 R06208-003-007-000
 R06208-003-006-000
 R06208-003-008-000
 R06208-003-001-000

TOTAL TRACT AREA:
 1.34 AC (58420.79 SF)

DISTURBED AREA:
 1.17 AC (51,167.18 SF)

CURRENT ZONING:
 CB-COMMUNITY BUSINESS

CAMA CLASSIFICATION:
 WATERSHED RESOURCE PROTECTION

SETBACKS:
 REQ'D= 20' PROP= 20'
 REQ'D= 10' PROP= 10'
 REQ'D= 0' PROP= 10.4R' / 12.9'L

PROPOSED LAND USE:
 BREWERY/RESTAURANT

GROSS FLOOR AREA:
 9,350 SF (16% LOT COVERAGE)

BUILDING HEIGHT: 20'

ON SITE IMPERVIOUS SURFACES:
 BUILDINGS= 9,350 SF
 PAVEMENT= 16,668 SF
 PERVIOUS PAVEMENT= 4,544 SF *25% IMPERVIOUS
 SIDEWALKS= 3,315 SF
TOTAL IMPERVIOUS= 30,469 SF (52.2%)

OFF SITE IMPERVIOUS SURFACES:
 SIDEWALKS= 1,365 SF
 PAVEMENT= 244 SF

PARKING MIN. REQUIRED:
 RESTAURANT USE: 190 SEATS @ 1 SPACE / 4 SEATS = 48 SPACES
 BREWERY USE: 4,000 SF @ 1 SPACE / 1000 SF = 4 SPACES
TOTAL PARKING REQUIRED: 52 SPACES
TOTAL PARKING PROVIDED: 66 SPACES (1 HC)

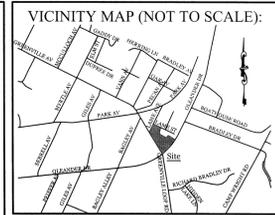
BICYCLE PARKING REQUIRED: (MIN. 5 PER 25-125 VEHICLE SPACES)
 PROVIDED: 8 SPACES

PARKING LOT INTERIOR SHADING:
 REQUIRED: 21,345 SF @ 25% = 5,336.25 SF
 PROVIDED: SEE LANDSCAPE PLAN

STREETYARD:
 GREENVILLE AVE.
 REQUIRED: 4,883 SF (271.3' X 18)
 PROVIDED: 4,917 SF
 OLEANDER DR.
 REQUIRED: 2,446 SF (271.83' X 9)
 PROVIDED: 2,446 SF

FOUNDATION PLANTINGS: (12% OF BUILDING FACE ADJ. TO PARKING AREA)
 REQUIRED: 115' x 16' x 12" = 230.8 SF
 PROVIDED: 223 SF

WATER AND SEWER DEMAND: (190 SEATS)
 SEWER: @ 45 GPD = 8,550 GPD
 WATER: @ 40 GPD = 7,600 GPD

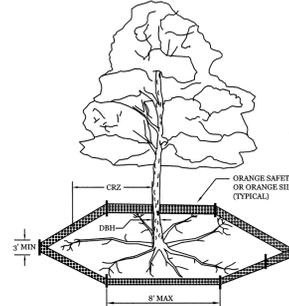


REVISIONS

NO.	DATE	DESCRIPTION

INTRACOASTAL ENGINEERING, PLLC
 5725 Oleander Dr. Unit E-7
 Wilmington, North Carolina 28403
 Phone: (910)850-8983
 Email: Charlie@intracoastalengineering.com
 License Number P-0662

TREE REMOVAL & PROTECTION PLAN
 FOR
WRIGHTSVILLE BEACH BREWERY
 WILMINGTON, NORTH CAROLINA



- NOTES:**
1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
 2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
 3. IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
 4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
 5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO TRUCKS SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES, DAMAGING THE BARK WITH LAWNSMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
 6. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$200/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.
 7. THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 1/2 THE HEIGHT OF THE TREE.
 8. CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISREGARD CROWN WITH INTENSIVE PRUNING.

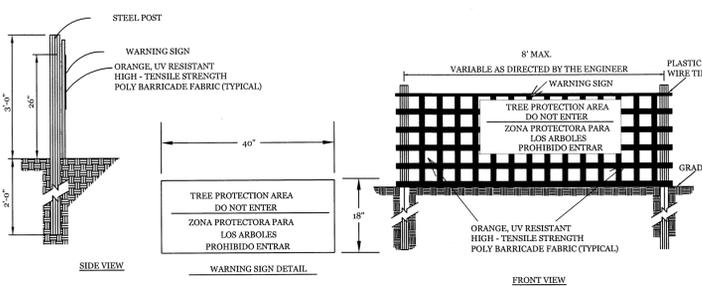
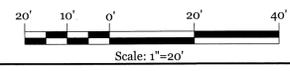
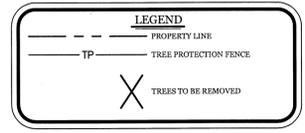
TREE PROTECTION DETAIL (SD 15-09)
 NOT TO SCALE

NOTES:

1. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
4. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
5. TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
6. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

STORMWATER MANAGEMENT PLAN
APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____

Approved Construction Plan
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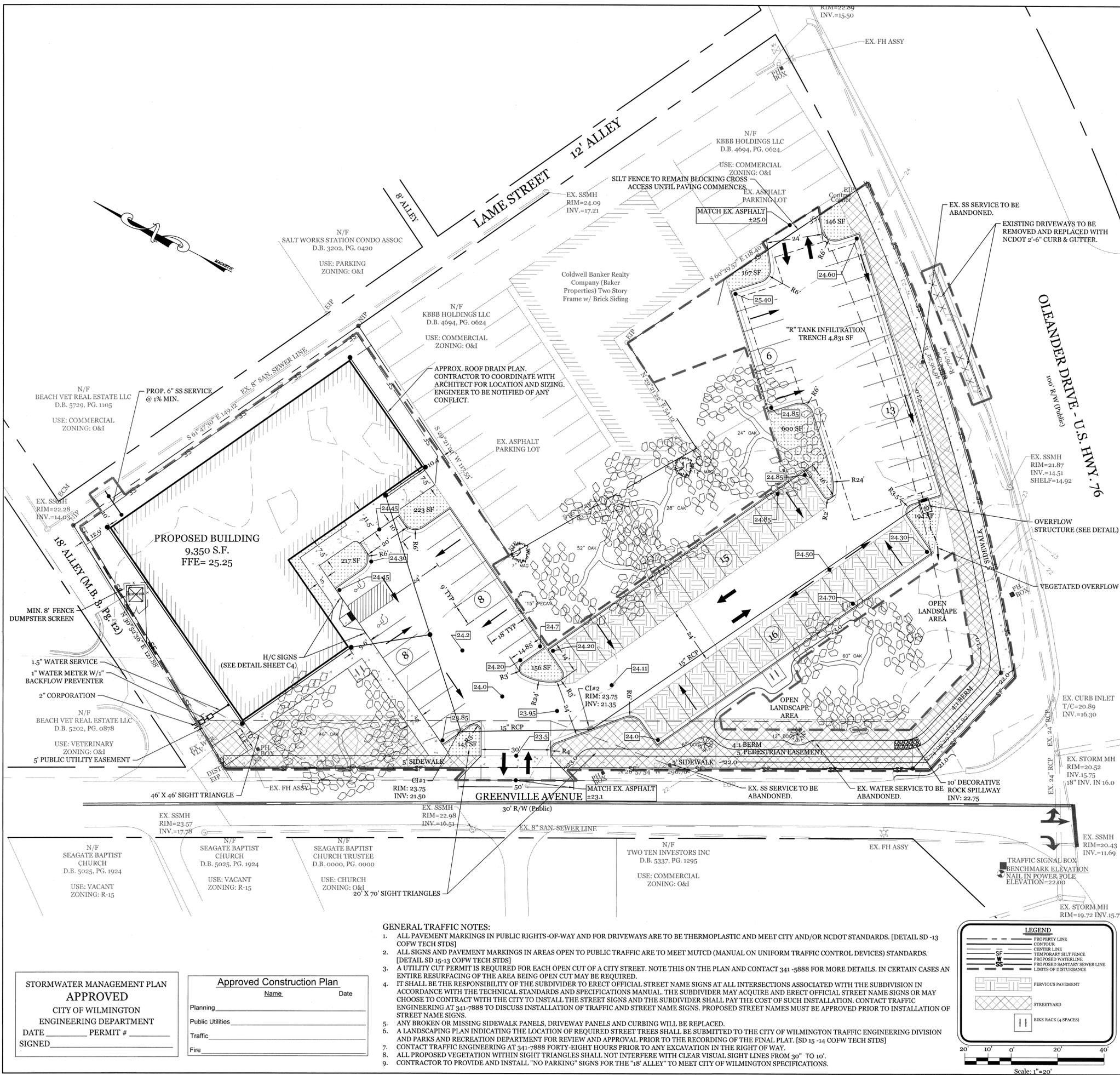


CHARLES D. CALZIER
 NORTH CAROLINA PROFESSIONAL SEAL
 032555
 ENGINEER
 12-22-15

CLIENT INFORMATION:
 PETER WATKINS
 131 ROGERSVILLE RD
 WILMINGTON, NC 28403
 PH. 910-619-4938
 Email: wbbrews@gmail.com

DRAWN: JAE	SHEET SIZE: 24 x 36
CHECKED: CDC	DATE: 12/22/2015
APPROVED: CDC	SCALE: 1" = 20'
PROJECT NUMBER: 2015-040	

DRAWING NUMBER:
C-1
 1 OF 8



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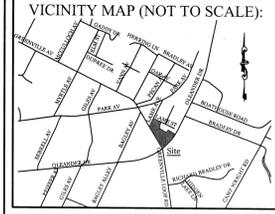
FOUNDATION PLANTINGS: (12% OF BLDG FACE ADJ. TO PARKING AREA)
REQUIRED: 115' x 16' x 12 = 220.8 SF
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WATER AND SEWER DEMAND: (190 SEATS)
SEWER: @ 45 GPD = 8,550 GPD
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DEVELOPMENT NOTES:
1. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
2. PROPOSED USES AT THIS TIME ARE: BREWERY AND RESTAURANT.
3. PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
4. PROPERTY IS LOCATED IN ZONE "X" ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP. COMMUNITY-PANEL NUMBER 372013560J, DATED 04/03/06

UTILITY NOTES:
1. EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS.
2. ALL PROPOSED UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.
3. SOLID WASTE DISPOSAL BY PRIVATE DUMPSTER SERVICE SHARED WITH ADJACENT PROPERTY OWNER.
4. ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CFPWA TECHNICAL SPECIFICATIONS & STANDARDS.
5. PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND N.C.E.A.R. HAS ISSUED THEIR "FINAL APPROVAL". CALL 343-3910 FOR INFORMATION.
6. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCPCOHR OR ASSE.
7. IF CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
8. WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE-STRAND COPPER WIRE INSTALLED & STRAPPED TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL 343-3910 AT 8:00-6:00 PM. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
10. THE BELLSOUTH CONTACT IS STEVE DAYVAULT, BUILDING INDUSTRY CONSULTANT, AT 910-392-8712. CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
11. THE PROCESS FOR TELEPHONE CABLE PLACEMENT: * FINAL GRADE WILL NEED TO BE ESTABLISHED. * POWER WILL PLACE THEIR CABLE FIRST - APPROXIMATELY 3' DEEP. * BELLSOUTH & CATV WILL THEN PLACE THEIR CABLE AT APPROXIMATELY 2' DEEP. * SHOULD ADDITIONAL SERVICES BE LOCATED DURING CONSTRUCTION, THEY MUST EITHER BE UTILIZED OR ABANDONED.
12. SHOULD ADDITIONAL SERVICES BE LOCATED DURING CONSTRUCTION, THEY MUST EITHER BE UTILIZED OR ABANDONED.

FIRE & SAFETY NOTES:
1. CONSTRUCTION TYPE: 3B
2. BUILDING WILL NOT BE SPRINKLED
3. PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS.
4. ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
5. HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
6. IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.



REVISIONS

NO.	DESCRIPTION

INTRACOASTAL ENGINEERING, PLLC
5725 Olander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: (910)859-8953
Email: Charlie@intracoastalengineering.com
License Number: P-0662

FOR
WRIGHTSVILLE BEACH BREWERY
WILMINGTON, NORTH CAROLINA

SITE, GRADING, DRAINAGE, UTILITY, & STORMWATER PLAN

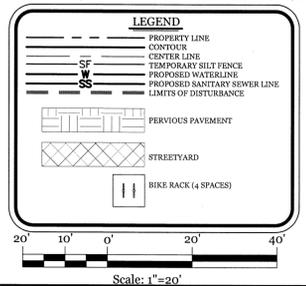
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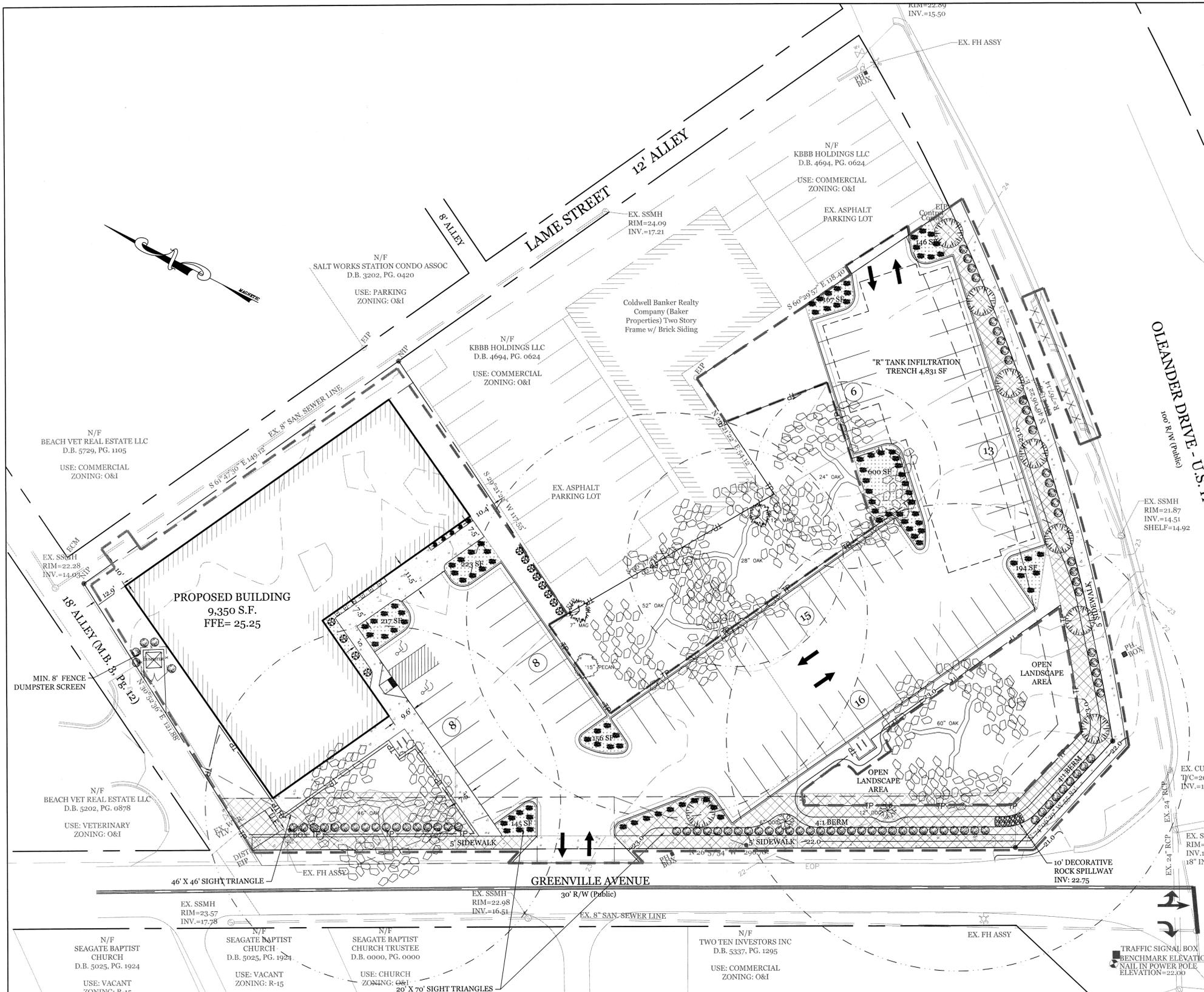
DRAWN: JAE	SHEET SIZE: 24 x 36
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APPROVED: CDC	SCALE: 1" = 20'
PROJECT NUMBER: 2015-040	

DRAWING NUMBER: **C-3** 3 OF 8

STORMWATER MANAGEMENT PLAN APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____

Approved Construction Plan
Name _____ Date _____
Planning _____
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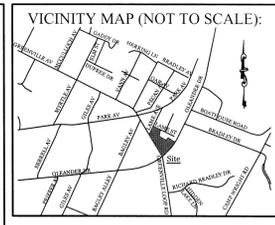
BUILDING HEIGHT: 20'

LANDSCAPE REQUIREMENTS:

	REQUIRED	PROVIDED
PARKING LOT INTERIOR SHADING: 20% CANOPY COVERAGE (21,345 SF)	4,269 SF	8,044 SF *
STREETYARD: GREENVILLE AVE. (271.3' X 18) CANOPY TREES (4,883 / 600) SHRUBS (4,883 / 600 X 6)	4,883 SF 8 48	4,917 SF 8** 48
OLEANDER DR. (271.83' X 9) CANOPY TREES (2,446 / 600) SHRUBS (2,446 / 600 X 6)	2,446 SF 4 24	2,446 SF 8 24
FOUNDATION PLANTINGS: (12% OF BLDG FACE ADJ. TO PARKING AREA) 115' x 16' x 12	221 SF	223 SF

* PARKING LOT SHADING IS PROVIDED BY EXISTING LIVE OAKS CALCULATED AT 50% OF CRZ IN PARKING AREA.
 ** CANOPY TREE REQUIREMENT IS MET BY CREDITS FROM THE EXISTING 60" LIVE OAK. (DBH > 24" = DBH/6 = CREDITS) 60" OAK = 10 TREE CREDITS

NOTE:
 1. ALL LANDSCAPED ISLANDS AND BEDS TO BE STABILIZED WITH MIN. 3" LAYER OF CHOCOLATE MULCH.



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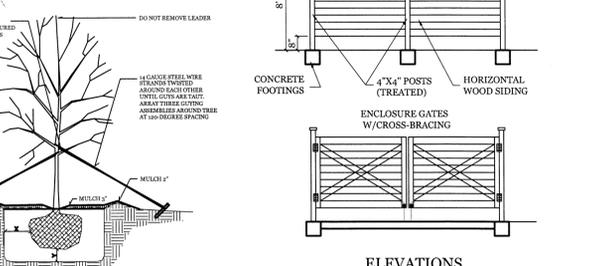
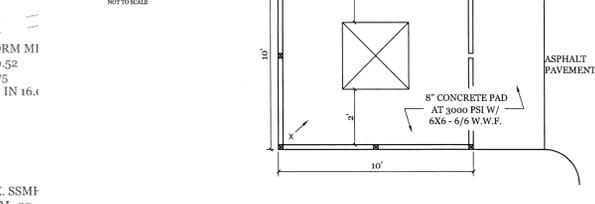
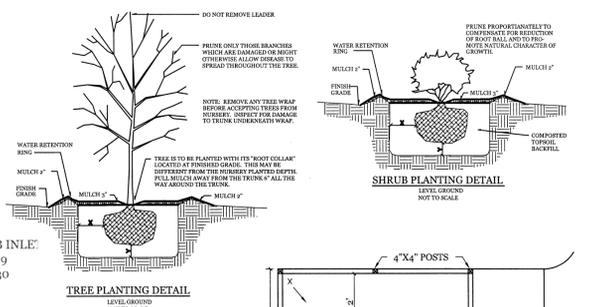
LANDSCAPE PLAN
 FOR
WRIGHTSVILLE BEACH BREWERY
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Charles D. Carter 12-22-15

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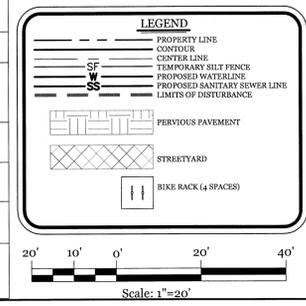
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L-1 8 OF 8



LANDSCAPE PLANT LIST

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE
	8	<i>ACER RUBRUM</i>	RED MAPLE	LARGE SHADE TREE	2.5" CAL.
	89	<i>ILEX VOMITORIA</i>	YAUPON HOLLY	SHRUB	3 GAL.
	12	<i>ILEX VOMITORIA</i>	DWARF YAUPON HOLLY	SMALL SHRUB	3 GAL.
	11	<i>JUNIPERUS HORIZONTALIS</i>	CREeping JUNIPER	GROUND COVER	1 GAL.
	94	<i>ERAGROSTIS CURVULA</i>	WEEPING LOVE GRASS	GROUND COVER	1 GAL.



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