

To: Dan Fisk, Paramounte Engineering
From: Brian Chambers, Senior Planner; 910.342.2782
CC: File;
Date: 4/14/2021
Re: Wilmington Three Phase A TRC Rev 2

The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. A staff summary of comments:

Staff	Department	Notes
Brian Chambers	Planning, Plan Review	Comments below
Rich Christensen	Engineering	Comments attached
Chris Walker	Fire	No comments
Mitesh Baxi	Traffic Engineering	Comments attached
Bill McDow	Transportation	No comments

Planning Review

Brian Chambers, brian.chambers@wilmingtonnc.gov, 910.342.2782

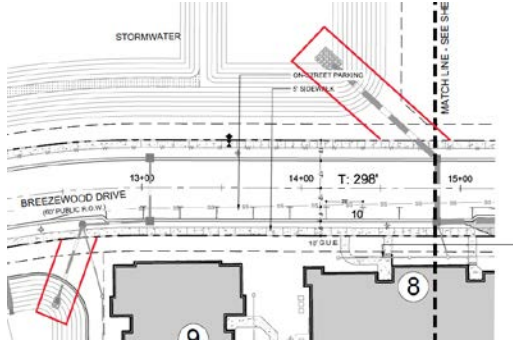
Comments:

- Please identify locations for benches added to stormwater amenity area.

Engineering has reviewed the plans for the Wilmington Three Phase A project submitted March 26, 2021 and have the following comments:

Design Documents

1. C-2.1: Place public drainage easements around the following pipes:



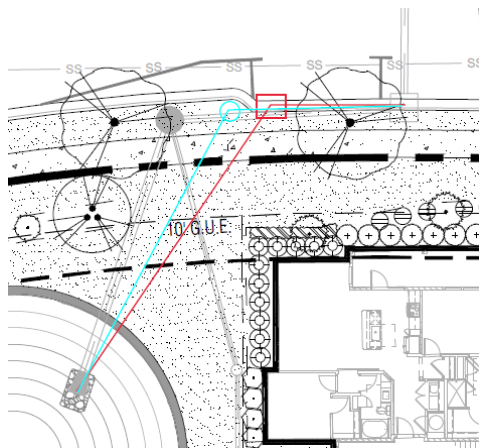
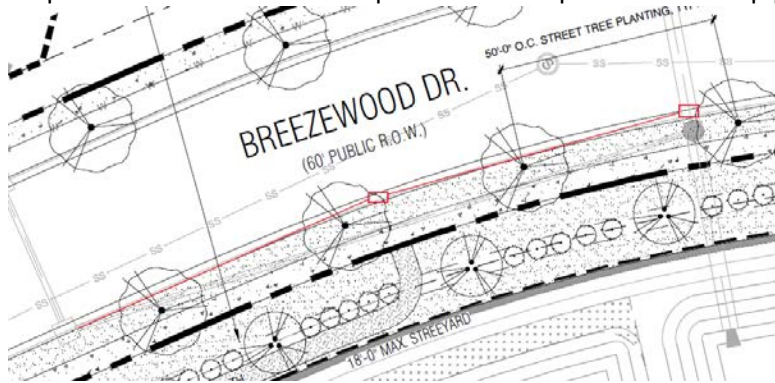
Size the easements per the equation found on page 5-3 of the Technical Standards Manual.

2. C-2.2/2.3/2.4: Revise the '10' G.U.E. and Pedestrian Easement' label to read '10' Non-municipal Utility Easement and Public Pedestrian Access Easement'.
3. C-4.0:
 - a. **Placeholder:** FES-500 to FES-502 is to remain private. This crossing will require a minor encroachment agreement and it will need to be approved before CO or plat approval. Required for the agreement will be an exhibit showing the encroachment, an application, and a \$200 fee. It is desired that the exhibit shows the post-construction encroachment.
 - b. **Placeholder:** The system that includes the equalizer pipe can stay as is as long as it is agreed upon that the equalizer pipe and structure MH-401 will not be the responsibility of the city. The city will maintain the small system upstream of MH-401. The equalizer pipe will also require an encroachment agreement. One \$200 fee will cover both encroachments along this section of Breezewood Drive.
4. C-4.6: Retaining Wall/Pond Access: When a retaining wall encompasses the main pool and forebay area, the city suggests providing a means of ingress/egress, an earthen ramp for instance. In the event someone falls into the pond, a 4-foot high wall presents a challenge for that person to get out of the pond. The same is true for wildlife. While only a suggestion, in the future the city will require it.
5. C-6.05: Add a note to keep wetland plantings a minimum of 10 feet away from the outlet structure to minimize clogging of the orifice.
6. Landscape Plans (At time of review landscape plans had not yet been submitted):
 - a. A few trees along Breezewood Drive and Dusty Miller Lane are either too close to stormdrain pipes or are shown over top of pipe. Please relocate or shift away from piping. Trees must be 10 feet away from inlets and 15 feet away from street lighting.
 - b. Check that trees planted adjacent to on-street parking do not interfere with vehicle doors opening.
 - c. Trees in landscape islands appear to be planted over SD piping. Shift trees as much as possible to avoid this conflict.

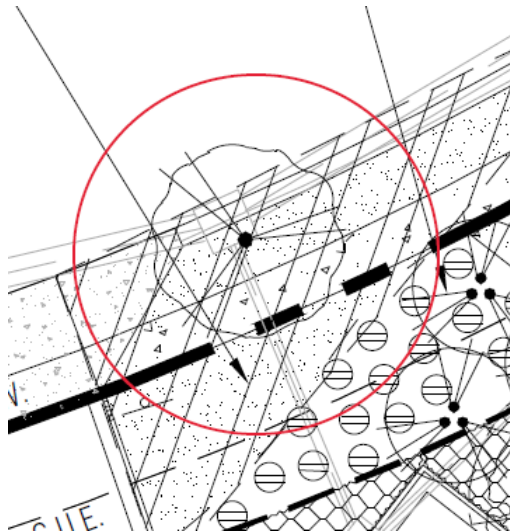
Please call or email if there are any questions. Thank you.

Engineering has reviewed the landscape plans for the Wilmington Three Phase A project submitted March 8, 2021 and have the following comments:

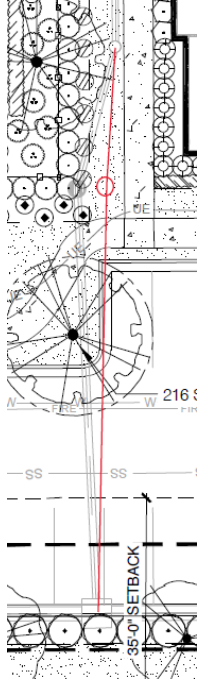
1. L3.1: Pipes will need to be realigned and structures added/modified to stay out of the planting strip. Cannot allow trees to be planted over top of stormdrain piping.



2. L3.2: Street tree is located too close to the inlet:



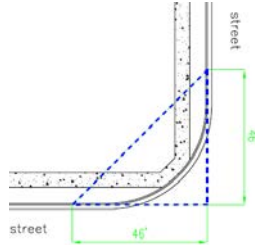
3. L3.4: Shift YD-310 to put the pipe out from under the tree in the corner.



Please call or email if there are any questions. Thank you.

TECHNICAL STANDARDS – ACCESS:

1. Show and apply the City's 46'x46' sight distance triangle at street corner intersections of Chippenham Dr/Dusty Miller Lane and Chippenham Dr/George Anderson Dr abutting this development on the site plan and landscaping plan. [[Sec.18-529\(c\) \(3\) CofW LDC](#)] [[Sec. 18-812 CofW LDC](#)]. The City's 20'x70' sight distance triangle is missing for the driveway on sheet C-2.4.



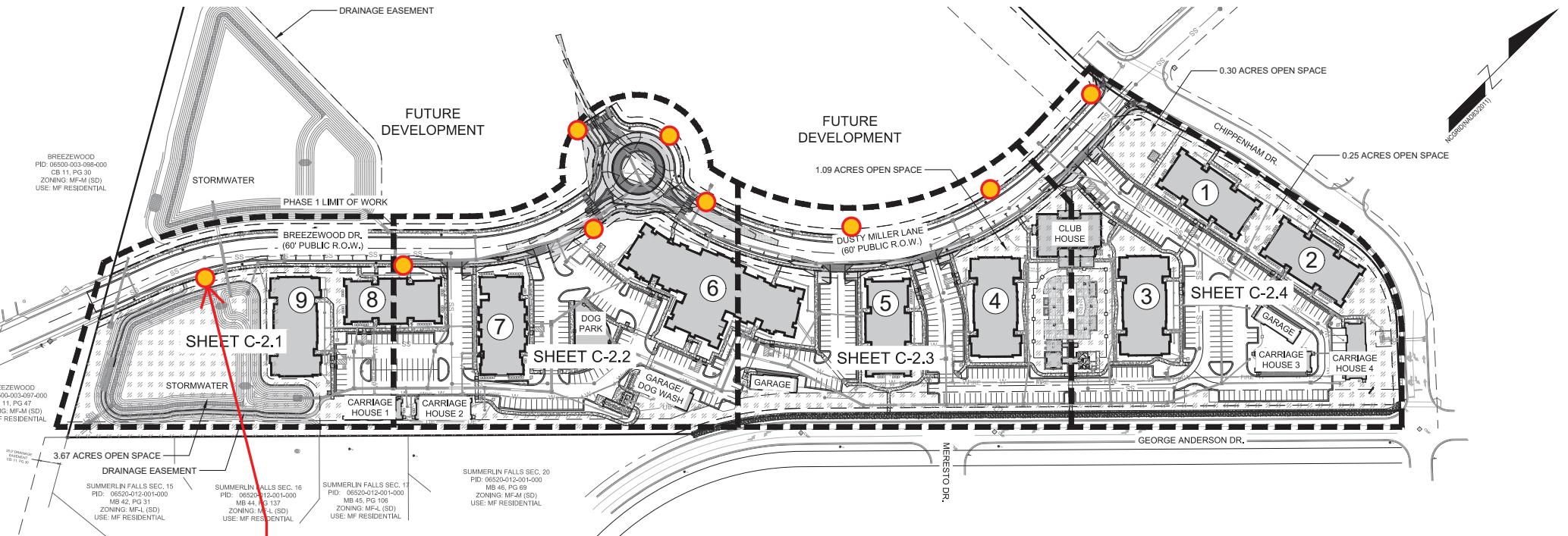
SIGNAGE AND PAVEMENT MARKING PLAN:

1. Provide the pavement markings showing gore line for nose of splitter island at the roundabout aligning with the entrance line.
2. Show pavement markings for the splitter island edge lines and its extensions merging to the center lines.
3. Add a note: Any required installation or relocation of traffic signs is the responsibility of the project developer. Please coordinate with City Traffic Signs and Markings Manager or supervisor prior to installation of any traffic signs or markings in public ROW.

STREET LIGHTING [[City of Wilmington Street Lighting Policy](#)]:

1. A standard street lighting layout is developed and attached with review for this subdivision. Based on that minimum 9 (nine) LED 50 standard streetlights will be required for this subdivision.
2. Any installations above the criteria of Standard street lighting, will be considered as non-standard and must conform to the City's non-standard street lighting procedure as per the policy.
3. If non-standard streetlights are preferred by the developer, this layout may be used as a reference for the purpose of reimbursement to HOA.
4. All the streetlights shall be installed within the public ROW to be eligible for reimbursement.

Please let me know if you have any question.



LED 50 at this location shall be installed at approximately 300' from the nearest existing standard streetlight on developed section of Breezewood Dr.

OVERALL SITE PLAN

Wilmington Three Ph A (Barclay Apartments Phase 1) Standard Street Lighting Plan

1. Developers shall bear any installation costs associated with streetlights, if applicable. In areas served from underground facilities, the developers shall pay the one-time underground contribution charge, if applicable.
2. Streetlights will be reviewed through the subdivision process and must meet criteria established in City's Street lighting Policy.
3. Street trees must be located a minimum of 15 feet from streetlights. [CofW SD 15-17]
4. All the streetlight shall be installed within the public ROW.
 - Proposed locations of minimum required 9 (Nine) LED 50 standard streetlights.

This layout is subject to change based on the field verification by DEP. If non-standard street lights are preferred by the developer, this layout may be used as a reference for the purpose of reimbursement to HOA.

SITE DATA INFORMATION

OWNER INFORMATION:
CAMERON PROPERTIES LAND CO LLC
1201 GLEN MEADE RD.
WILMINGTON, NC 28401

PROJECT ADDRESSES:
3743 INDEPENDENCE BLVD.
WILMINGTON, NC 28403

PARCEL IDENTIFICATION #:
R06500-003-031-000
3125-67-8501.000
DB 006256 PG001725



Project Name: **WILMINGTON THREE PH A**

Formal TRC Landscape Plan Review Date: **04.15.2021**

Reviewer Name: **Mitesh Baxi**

Reviewer Department/Division: **PDT/Traffic Engineering**

COMMENTS:

1. Show the sight distances pertaining to the roundabout portion shown in landscape plan.
2. Reconcile the proposed streetlight locations in landscape plan.
3. Add a note: Street trees must be located a minimum of 15 feet from streetlights. [[CofW SD 15-17](#)]

Please let me know if you have any question.

Project Name: **WILMINGTON THREE PHASE A**

TRC Date: **04.08.2021**

Reviewer Name: **BILL McDow**

Reviewer Department/Division: **PDT/Transportation Planning**

TECHNICAL STANDARDS:

1. The crosswalk within the splitter islands does not meet minimum crosswalk width. The minimum standard crosswalk width is 6' and the minimum high visibility crosswalk width is 10'. Please increase the width of the crosswalk within the splitter islands at the Roundabout to a minimum 6', (10' preferred).
2. The site plans show a note for a "Bike Barn Building F", however, the building appears to be missing from the plans. Please revise.
3. No Further Comments.