



**Planning, Development
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■ **WESTWOOD TOWNS II [Initial Plan Review]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

BASE INFORMATION:

- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.
- Show current ROW for both Independence Blvd and Echo Farms Blvd on the site plan.

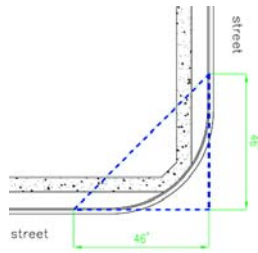
TECHNICAL STANDARDS – NEW ROADS:

1. The proposed Westwood Towns II will require a new street. Show the dimensions of the street and cross section on the site plan. [\[7-5 CofW Tech Stds\]](#)
2. The proposed street appears to be greater than 150' in length; therefore, a cul-de-sac or turnaround will be required. [\[7-5 CofW Tech Stds\]](#)
3. Show a cross-section detail showing the proposed street.
4. Show a vertical profile and centerline geometry of the new street.
5. The minimum horizontal centerline radius is 100' for local roads and 200' for collector streets.
6. The minimum street corner radii is 35'. [\[7-5 CofW Tech Stds\]](#)

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, sight distance):

7. Show driveways for adjacent lots and lots across the street.
8. Provide sidewalk along the frontages of this project, (Independence Blvd and Echo Farms, and internal to the front of the 8 new units for this project.
9. Provide a sidewalk connection between the site and the public sidewalk along Echo Farms Blvd.
10. Distinguish between proposed and existing sidewalk(s) and provide dimensions.
11. Provide sidewalk detail SD 3-10 on the plan.

12. Show and apply the City's 46'x46' sight distance triangle at each street corner intersection on the site plan and landscaping plan. [\[Sec.18-529\(c\)\(3\)CofW LDC\]](#) Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [\[Sec.18-566 CofW LDC\]](#)



13. The proposed 10'X20' screened garbage cart pad appears to be within the City's 46'x46' sight distance triangle for the intersection of the new street and Echo Farms Blvd. It also may be within the 46'X46' sight distance triangle for the intersection of Independence Blvd and Echo Farms Blvd.
14. Show the location and dimensions of the resident parking for the proposed townhouses.

GENERAL NOTES TO ADD TO THE PLAN:

- A. All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards. [\[Detail SD-13 CofW Tech Stds\]](#)
- B. All signs and pavement markings in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards. [\[Detail SD 15-13 CofW Tech Stds\]](#)
- C. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
- D. It shall be the responsibility of the subdivider to erect official street name signs at all intersections associated with the subdivision in accordance with the Technical Standards and Specifications Manual. The subdivider may acquire and erect official street name signs or may choose to contract with the city to install the street signs and the subdivider shall pay the cost of such installation. Contact Traffic Engineering at 341-7888 to discuss installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.
- E. Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.
- F. A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plat. [\[SD 15-14 CofW Tech Stds\]](#)
- G. Contact Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right of way.
- H. If these units are sold at any point, the buyer must receive a subdivision street disclosure statement. Please note this on the site plan and advise the property owner of this requirement. [\[Sec.18-378 \(e\) CofW LDC\]](#)

MISCELLANEOUS:

- ❖ Contact 341-7888 to discuss street lighting options.
- ❖ Transportation Planning Staff will review the landscape plan once submitted for compliance with sight distance requirements.
- ❖ Include appropriate City of Wilmington approval stamps prior to submitting final plans.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.