

**SITE DATA:**

TOTAL SITE AREA: ± 7.15 AC

**PHASE I SITE DATA (EXISTING)**

PARCEL ID: R05600-007-006-000

CURRENT ZONING: R-7 (CD)

PROJECT ADDRESS: WRIGHTSVILLE AVE WILMINGTON, NC 28403

CURRENT OWNER: PENTON PROPERTIES WILMINGTON, NC 28403

TOTAL ACREAGE IN PROJECT BOUNDARY: ±4.5 AC.

TOTAL IMPERVIOUS BUILDINGS CONCRETE ASPHALT TOTAL: 12,130 S.F. 5,563 S.F. 12,047 S.F. 29,740 S.F.

**PHASE II SITE DATA**

PARCEL ID: R05600-007-005-000

CURRENT ZONING: R-7 (CD)

CAMA LAND USE CLASSIFICATION: WATERSHED RESOURCE PROTECTION/CONSERVATION

PROJECT ADDRESS: 6037 WRIGHTSVILLE AVE WILMINGTON, NC 28403

CURRENT OWNER: BETTY LOCKAMY 6037 WRIGHTSVILLE AVE WILMINGTON, NC 28403

TOTAL ACREAGE IN PROJECT BOUNDARY: 115,619 S.F. (2.65 AC.)

BUILDING SIZE: 12,096 S.F. TOTAL (1,728 PER DUPLEX)

BUILDING HEIGHT: 17' MEAN ROOF HEIGHT

BUILDING SETBACKS:

FRONT: REQUIRED= 30' PROPOSED= 58.2'  
 SIDE: REQUIRED= 10' PROPOSED= 107'  
 REAR: REQUIRED= 25' PROPOSED= 303'

CALCULATION FOR BUILDING COVERAGE: PROPOSED COVERAGE: 12,096 S.F. ÷ 115,619 S.F. = 10.5 %

TOTAL IMPERVIOUS BEFORE & AFTER DEVELOPMENT:

BEFORE DEVELOPMENT BUILDINGS GRAVEL DRIVEWAY TOTAL: 3,086 S.F. 2,251 S.F. 5,337 S.F.

AFTER DEVELOPMENT BUILDINGS CONCRETE SIDEWALKS ASPHALT DRIVE TOTAL: 12,096 S.F. 3,059 S.F. 17,394 S.F. 32,549 S.F.

OFFSITE IMPERVIOUS AREAS: CONCRETE DRIVEWAY APRON: 251 S.F.

TOTAL AREA WITHIN AEC FOR PH 1 AND PH 2= 68,238 S.F.

TOTAL IMPERVIOUS AREA WITHIN AEC= 1,895 S.F. / 68,238 S.F. = 2.8%

PARKING REQUIRED: 1.5 SPACES / 1BR UNIT @ 14 UNITS = 21 SPACES (± H.C.)

PARKING PROVIDED: 27 SPACES (± H.C.)

BICYCLE PARKING REQUIRED: (MIN. 5 PER 25-125 VEHICLE SPACES) PROVIDED: 8 SPACES

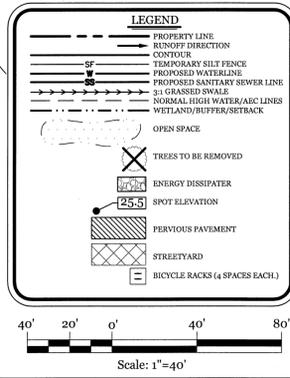
PARKING LOT INTERIOR LANDSCAPING REQUIRED PROVIDED: 12,865 S.F. \* 8% = 1,029 S.F. 1,082 S.F.

OPEN SPACE REQUIREMENT: (40% of site area) 2.65 AC X 0.40 = 1.06 AC PROVIDED: 1.21 AC

OPEN SPACE REQUIREMENT: (0.03 AC. per dwelling unit) .03 X 14 du = 0.42 AC (Min 50% active open space) PROVIDED: 0.24 AC ACTIVE OPEN SPACE

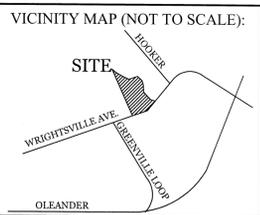
STREETYARD REQUIREMENT: 12' X 132LF X 12' = 1,584 S.F. PROVIDED: 2,730 S.F.

- SITE NOTES:**
- PHASE-I DATA FROM TRIPP ENGINEERING, PC PLAN DATED: 3/25/03
  - PHASE-II SURVEY DATA FROM JOHNNY WILLIAMS SURVEYING DATED 12/14/15
  - SITE LOCATED IN FLOOD ZONE "AE-10" AND "SHADED X" PER FEMA FLOOD MAP# 3720314700J PANEL# 3147 DATED 4/3/2006.
  - CR SHALL REMAIN UNDIVIDED AND SHALL BE PERMANENTLY PRESERVED BY CONSERVATION EASEMENTS, PROTECTIVE COVENANTS, OR SIMILAR RESTRICTIONS OR BY ANY OF THE PROCEDURES FOR THE DEDICATION OF PARK, RECREATION, AND OPEN SPACE AREAS SET FORTH IN SECTION 18-384(E) OF THE LDC.
  - CONSTRUCTION AND GRADING WILL NOT DISTURB THE WETLAND RESOURCE.
  - PERPETUAL PROTECTIONS OF THE WETLANDS/CONSERVATION RESOURCES AND BUFFERS MUST BE RECORDED IN THE NEW HANOVER COUNTY REGISTRY AND PROHIBITING IMPERVIOUS SURFACES WITHIN THE SETBACKS, WHERE APPLICABLE.
- DEVELOPMENT NOTES:**
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
  - PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
  - NINETY DEGREE CUTOFF LIGHTING TO BE USED ON ALL LIGHTING THAT EXCEEDS 10' IN HEIGHT.
  - PROPOSED USE AT THIS TIME IS RESIDENTIAL MULT-FAMILY.
  - CONSTRUCTION AND GRADING IS NOT TO DISTURB THE WETLAND RESOURCE.
- UTILITY NOTES:**
- EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS.
  - ALL PROPOSED UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.
  - ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CPUPA TECHNICAL SPECIFICATIONS & STANDARDS.
  - PROJECT SHALL COMPLY WITH CPUPA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND N.C.D.E.N.R. HAS ISSUED THEIR "FINAL APPROVAL". CALL 343-3910 FOR INFORMATION.
  - ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CPUPA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCOCCOR OR ASSE.
  - WATER & SEWER SERVICES CAN NOT BE ACTIVATED ON NEW MAINS UNTIL THE ENGINEER'S CERTIFICATION AND AS-BUILTS ARE RECEIVED AND "FINAL APPROVAL" ISSUED BY THE PUBLIC WATER SUPPLY SECTION OF NCDENR, AND "FINAL ENGINEERING CERTIFICATION" ISSUED BY DIVISION OF WATER QUALITY SECTION OF NCDENR.
  - IF CONTRACTOR DISHES CPUPA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
  - WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE-STRAND COPPER WIRE INSTALLED & STRAPPED TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOCO AT 1-800-622-4049. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
  - THE BELLSOUTH CONTACT IS STEVE DAYVAULT, BUILDING INDUSTRY CONSULTANT, AT 910-392-8712. CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
  - THE PROCESS FOR TELEPHONE CABLE PLACEMENT: FINAL GRADE WILL NEED TO BE ESTABLISHED. POWER WILL PLACE THEIR CABLE FIRST - APPROXIMATELY 3" DEEP. BELLSOUTH & CABLE TV WILL THEN PLACE THEIR CABLE AT APPROXIMATELY 2" DEEP.
  - SOLID WASTE DISPOSAL IS COW CURBSIDE PICKUP.
  - EXISTING WATER AND SEWER SERVICES TO BE ABANDONED PER CPUPA SPECIFICATIONS.



- GENERAL TRAFFIC NOTES:**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. (DETAIL SD-13 COFW TECH STDS)
  - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. (DETAIL SD-13 COFW TECH STDS)
  - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
  - IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
  - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
  - A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT. (SD-14 COFW TECH STDS)
  - CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
  - ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.

- FIRE & SAFETY NOTES:**
- CONSTRUCTION TYPE: R-3 RESIDENTIAL
  - BUILDINGS WILL NOT BE SPRINKLED
  - PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS.
  - ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
  - HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
  - IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.



**REVISIONS**

NO.	DATE	DESCRIPTION

**INTRACOASTAL ENGINEERING, PLLC**

5725 Oleander Dr. Unit E-7  
 Wilmington, North Carolina 28403  
 Phone: 910.859.8983  
 Email: Charlie@intracoastalengineering.com  
 License Number P-0662

**SITE, GRADING, DRAINAGE, UTILITY, & STORMWATER PLAN FOR WESTPRONG PH-II WILMINGTON, NC**

**PROFESSIONAL SEAL**

032555  
 ENGINEER  
 CHARLES D. CALER  
 7.26.16

**CLIENT INFORMATION:**

PENTON DEVELOPMENT LLC  
 6105 OLEANDER DRIVE SUITE 201  
 WILMINGTON, NC 28403  
 (910) 452-1410

**DRAWN:** JAE **SHEET SIZE:** 24 x 36

**CHECKED:** CDC **DATE:** 7/26/2016

**APPROVED:** CDC **SCALE:** 1" = 40'

**PROJECT NUMBER:** 2015-044

**DRAWING NUMBER:** C-1

1 OF 7

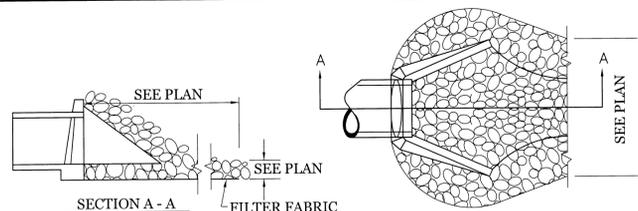
**Approved Construction Plan**

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

**STORMWATER MANAGEMENT PLAN APPROVED**

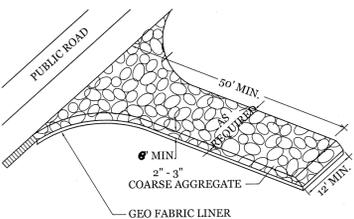
CITY OF WILMINGTON  
 ENGINEERING DEPARTMENT

DATE: \_\_\_\_\_ PERMIT # \_\_\_\_\_  
 SIGNED: \_\_\_\_\_



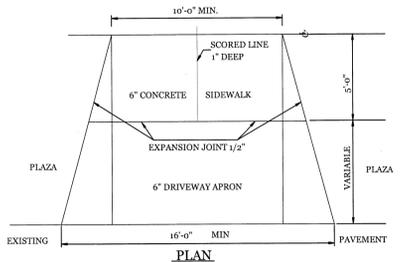
**ENERGY DISSIPATOR**

NOTES:  
1. CLASS "B" RIP RAP TO BE USED FOR ALL ENERGY DISSIPATOR AREAS.



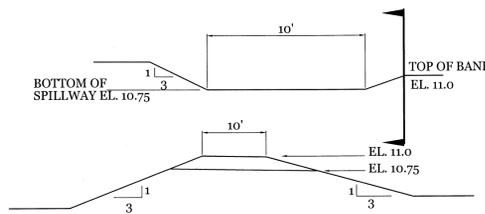
**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**

NOTE:  
CONSTRUCTION ENTRANCE TO BE 12' OR ENTIRE WIDTH OF ENTRANCE, WHICHEVER IS GREATER.



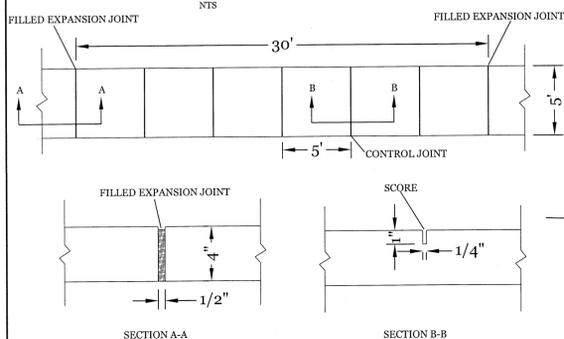
**SECTION A-A**

**DRIVEWAY STREETS WITH NO CURB**



**SEDIMENT BASIN EMERGENCY SPILLWAY DETAIL**

NOTES:  
1. WIDTH OF SPILLWAY TO BE PROTECTED WITH RIPRAP FOR THE FIRST 20' REMAINING LENGTH OF CHANNEL TO BE STABILIZED WITH EXCELOR MAT AND SEEDED IN ACCORDANCE WITH SPECIFICATIONS.

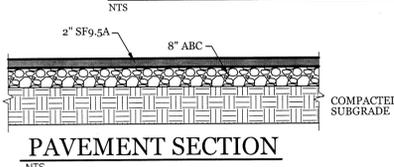


**TEMPORARY SILT FENCE**

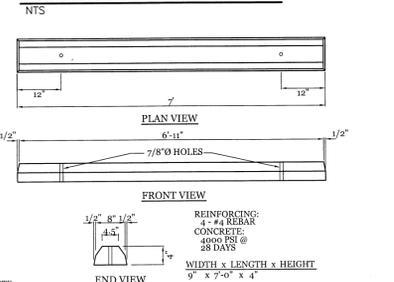
NOTES:  
1. FENCE FABRIC SHALL BE A MIN. OF 32" IN WIDTH AND SHALL HAVE A MIN. OF SIX LINE WIRES WITH 12" STAY SPACING.  
2. FABRIC SHALL BE FOR EROSION CONTROL AND MIN. OF 36" IN WIDTH. FABRIC SHALL BE FASTENED ADEQUATELY TO THE WIRE FABRIC AS DIRECTED BY THE ENGINEER.  
3. STEEL POST SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER STEEL ANGLE TYPE.

- NOTES:  
1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.  
2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.  
3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.  
4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.  
5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.  
6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.  
7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12".  
8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1.  
9. MIN GRADE FOR PROPER DRAINAGE IS 1/4" IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

**STANDARD SIDEWALK DETAIL (SD 3-10)**

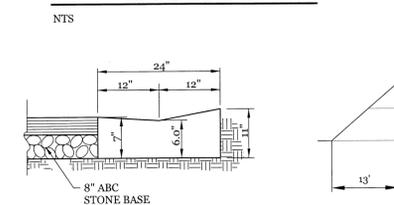


**PAVEMENT SECTION**



NOTE:  
1. CONTRACTOR SHALL INSTALL PER CITY OF WILMINGTON TECHNICAL STANDARD PER SD 15-13  
2. CONTRACTOR SHALL INSTALL WHEEL STOP 2'-6" FROM SIDEWALK.

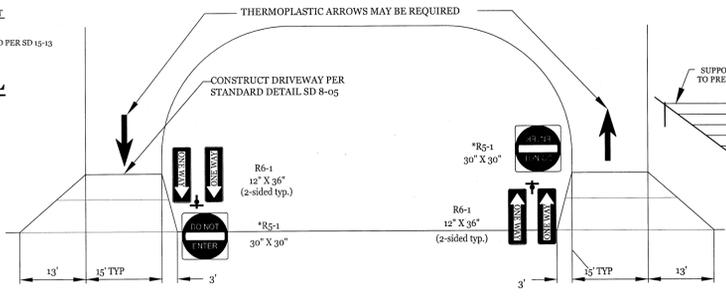
**WHEEL STOP DETAIL**



**VALLEY CURB DETAIL**

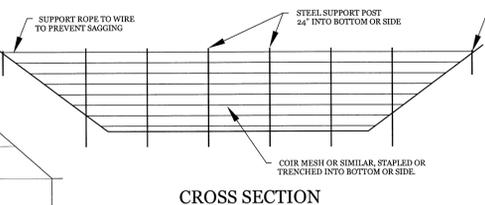
NTS

**STANDARD ONE-WAY DRIVEWAY DETAIL (no curb on street)**



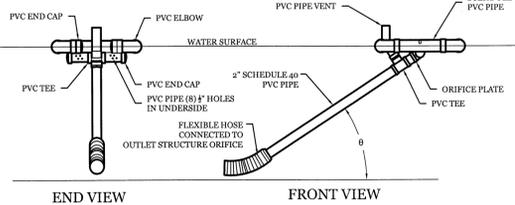
**POROUS BAFFLE DETAIL**

NTS



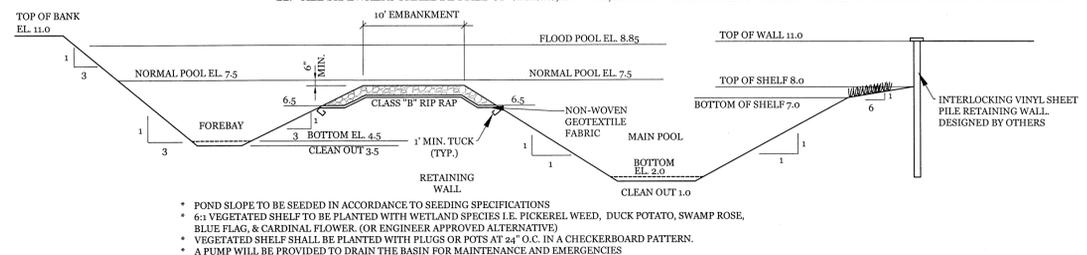
**FAIRCLOTH SKIMMER DETAIL**

NTS



**DETENTION POND & FOREBAY SECTION**

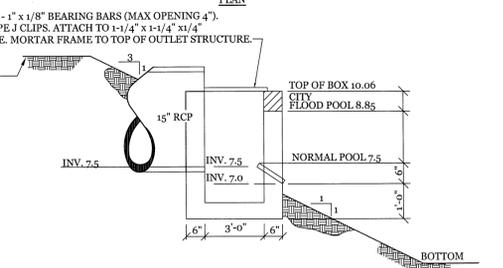
NTS



- POND SLOPE TO BE SEEDED IN ACCORDANCE TO SEEDING SPECIFICATIONS
- 6:1 VEGETATED SLOPE TO BE PLANTED WITH WETLAND SPECIES I.E. PICKEREL WEED, DUCK POTATO, SWAMP ROSE, BLUE FLAG, & CARDINAL FLOWER, (OR ENGINEER APPROVED ALTERNATIVE)
- VEGETATED SHELFS SHALL BE PLANTED WITH PEGS OR POTS AT 24" O.C. IN A CHECKERBOARD PATTERN.
- A PUMP WILL BE PROVIDED TO DRAIN THE BASIN FOR MAINTENANCE AND EMERGENCIES

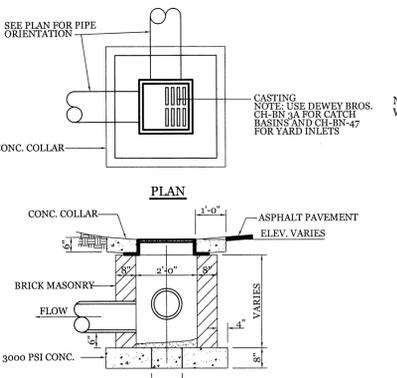
**DETENTION POND OUTLET STRUCTURE**

NTS



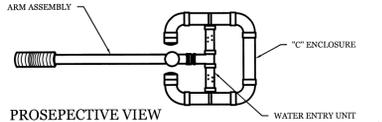
**DETENTION POND OUTLET STRUCTURE**

NTS



**DROP INLET DETAIL**

NTS



**HARDWARE CLOTH AND GRAVEL INLET PROTECTION**

NTS

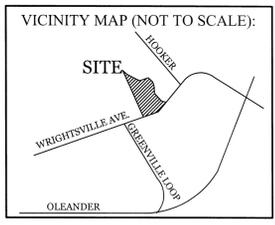
- CONSTRUCTION SPECIFICATIONS:
- UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
  - DRIVE 6-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
  - SCREW THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACING A 2-FOOT FLAP OF WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
  - PLACE CLEAN GRAVEL (NCDOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
  - ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
  - COMPACT THE AREA PROPERLY AND STABILIZED IT WITH GROUND COVER.

MAINTENANCE:  
INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (4 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

STORMWATER MANAGEMENT PLAN  
**APPROVED**  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
SIGNED \_\_\_\_\_

Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_  
Public Utilities \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_



REVISIONS


**INTRACOASTAL ENGINEERING, PLLC**  
5725 Oleander Dr. Unit E-7  
Wilmington, North Carolina 28403  
Phone: 910.859.8983  
Email: Charlie@intracoastalengineering.com  
License Number P-0662

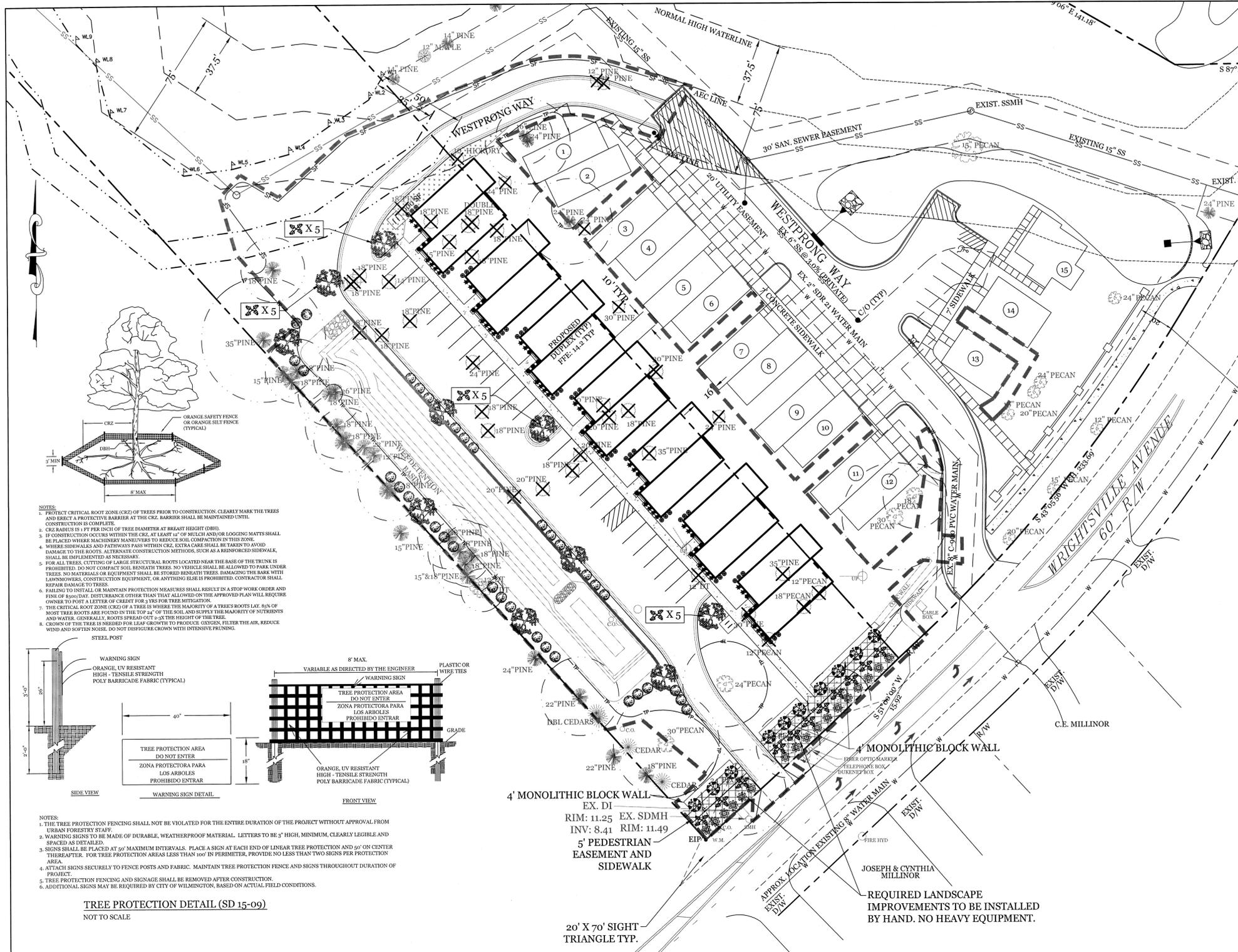
DETAILS FOR  
**WESTPRONG PH-II**  
WILMINGTON, NC

SEAL  
NORTH CAROLINA PROFESSIONAL ENGINEER  
032555  
CHARLES D. CAZIER  
7-2016

CLIENT INFORMATION:  
PENTON DEVELOPMENT LLC.  
6105 OLEANDER DRIVE SUITE 201  
WILMINGTON, NC 28403  
(910) 452-1410

DRAWN:	JAE	SHEET SIZE:	24 x 36
CHECKED:	CDC	DATE:	7/26/2016
APPROVED:	CDC	SCALE:	NTS
PROJECT NUMBER:	2015-044		

DRAWING NUMBER:  
**C-3**  
3 OF 7



**SITE DATA**

PARCEL ID: R05600-007-005-000

CURRENT ZONING: R-7 (CD)

CAMA LAND USE CLASSIFICATION: WATERSHED RESOURCE PROTECTION/CONSERVATION

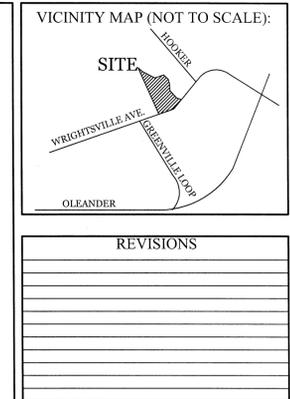
PROJECT ADDRESS: 6037 WRIGHTSVILLE AVE WILMINGTON, NC 28403

CURRENT OWNER: BETTY LOCKAMY 6037 WRIGHTSVILLE AVE WILMINGTON, NC 28403

**LANDSCAPE REQUIREMENTS:**

	REQUIRED	PROVIDED
PARKING LOT INTERIOR SHADING: 20% CANOPY COVERAGE (12,865 SF)	2,573 SF	2,828 SF
STREETYARD: WRIGHTSVILLE AVE. (132 LF X 12') CANOPY SHADE TREES (1,584 / 600) SHRUBS (1,584 / 600 X 6)	1,584 SF 2.64 15.84	2,730 SF 3 28

NOTE:  
1. ALL LANDSCAPED ISLANDS AND BEDS TO BE STABILIZED WITH MIN. 3" LAYER OF CHOCOLATE MULCH.



**INTRACOASTAL ENGINEERING, PLLC**

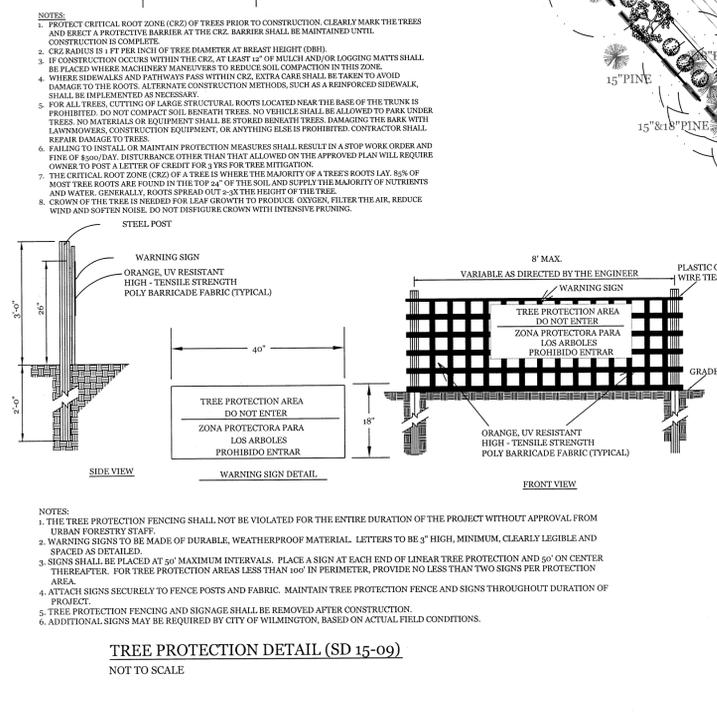
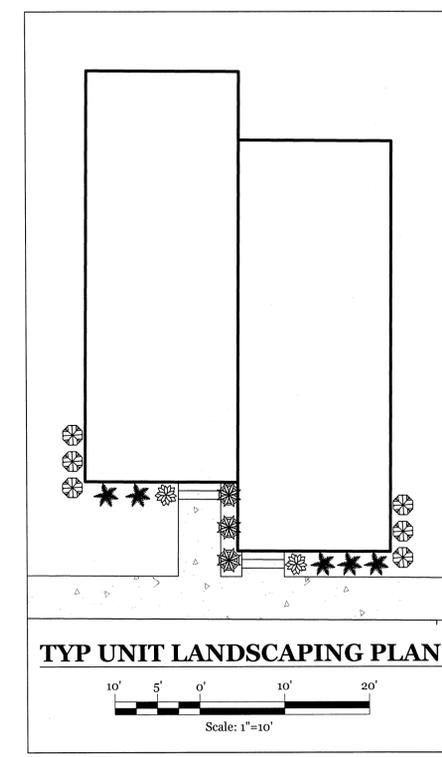
5725 Olander Dr. Unit E-7  
Wilmington, North Carolina 28403  
Phone: 910.859.8983  
Email: Charlie@intracoastalengineering.com  
License Number: P-0662

**LANDSCAPE & TREE REMOVAL/PROTECTION PLAN**

FOR

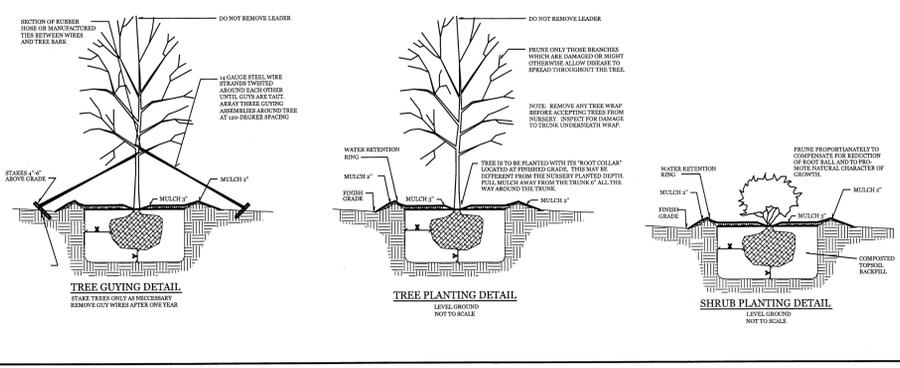
**WESTPRONG PH-II**

WILMINGTON, NC



**LANDSCAPE PLANT LIST**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE
	10	<i>QUERCUS VIRGINIANA</i>	LIVE OAK	LARGE SHADE TREE	2.5" CAL.
	10	<i>LAGERSTROEMIA</i>	CRAPE MYRTLE	SMALL TREE	2.5" CAL.
	34	<i>ILEX VOMITORIA</i>	DWARF YAUPON HOLLY	SMALL SHRUB	3 GAL.
	35	<i>ABELIA X GRANDIFLORA</i>	DWARF ABELIA	SMALL SHRUB	3 GAL.
	17	<i>NANDINA DOMESTICA</i>	FIREPOWER NANDINA	SMALL SHRUB	3 GAL.
	14	<i>ROSA RADRAZZ</i>	KNOCKOUT ROSE	SHRUB	3 GAL.
	42	<i>PODOCARPUS MACROPHYLLUS</i>	PODOCARPUS MAKI	SHRUB	3 GAL.
	35	<i>ILEX CORNUTA</i>	DWARF BURFORD HOLLY	SHRUB	3 GAL.
	21	<i>ILEX CRENATA</i>	SKYPENCIL HOLLY	SHRUB	3 GAL.



**STORMWATER MANAGEMENT PLAN APPROVED**

CITY OF WILMINGTON  
ENGINEERING DEPARTMENT

DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
SIGNED \_\_\_\_\_

**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_  
Public Utilities \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

**CLIENT INFORMATION:**

PENTON DEVELOPMENT LLC  
6105 OLEANDER DRIVE SUITE 201  
WILMINGTON, NC 28403  
(910) 452-1410

DRAWN: JAE SHEET SIZE: 24 x 36  
CHECKED: CDC DATE: 7/26/2016  
APPROVED: CDC SCALE: VARIES  
PROJECT NUMBER: 2015-044

DRAWING NUMBER: **L-1**

7 OF 7

I, DANIEL S. NORMILE, PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THIS IS A COMPOSITE MAP ONLY WITH DATA BEING TAKEN FROM SOURCES AS NOTED HEREON AND NOT FROM AN ACTUAL SURVEY; THAT THIS MAP IS NOT IN COMPLIANCE WITH SECTION 1600 OF THE BOARD RULES AND G.S. 47-30 AS AMENDED; AND THAT THIS MAP IS NOT PREPARED FOR RECORDING

*D.S.N.*  
 DANIEL S. NORMILE, P.L.S., L-4589



THIS CERTIFIES THAT THIS COPY OF THIS PLAN ACCURATELY DEPICTS THE BOUNDARY OF THE JURISDICTION OF SECTION 404 OF THE CLEAN WATER ACT DETERMINED BY THE UNDERSIGNED ON THIS DATE, UNLESS THERE IS A CHANGE IN THE LAW OR OUR PUBLISHED REGULATIONS, THE DETERMINATION OF SECTION 404 JURISDICTION MAY BE RELIED UPON FOR A PERIOD NOT TO EXCEED FIVE (5) YEARS FROM THIS DATE. THE UNDERSIGNED COMPLETED THIS DETERMINATION UTILIZING THE APPROPRIATE REGIONAL SUPPLEMENT TO THE 1987 U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL.

REGULATORY OFFICIAL *John A. Polizzano*  
 (TITLE) John A. Polizzano  
 (DATE) May 2, 2016  
 USACE ACTION ID NO. SAW-2015-02671

**NOTES:**

- 1) BEARINGS & DISTANCES ALONG WETLANDS LINES WERE TAKEN FROM ACTUAL FIELD LOCATION SURVEY.
- 2) THE BOUNDARY AS SHOWN HEREON IS FROM A DEED PLOTS AND ACTUAL FIELD LOCATION.

**LEGEND:**

- EP = EXISTING IRON PIPE
- EIS = EXISTING IRON STAKE
- EPK = EXISTING P.K. NAIL
- ERR = EXISTING RAILROAD SPIKE
- ECH = EXISTING CONCRETE MONUMENT
- EMN = EXISTING MAG NAIL
- IPS = IRON PIPE SET
- ISS = IRON STAKE SET
- MNS = MAG NAIL SET
- SSS = SURVEY SPIKE SET
- CMS = CONCRETE MONUMENT SET
- AG = TOP ABOVE GROUND SURFACE
- BG = TOP BELOW GROUND SURFACE
- R/W = RIGHT-OF-WAY
- CL = CENTERLINE
- PL = PROPERTY LINE
- NGCS = NORTH CAROLINA GEODETTIC SURVEY
- UL = OVERHEAD UTILITY LINE
- UP = UTILITY POLE
- WM = WATER METER
- WELL = WELL
- FH = FIRE HYDRANT
- SL = SECURITY LIGHT
- CB = CABLE BOX
- CO = CLEAN OUT
- CI = CURB INLET
- EB = ELECTRIC BOX
- MW = MONITORING WELL
- MH = MANHOLE
- FOP = FIBER OPTIC PADDLE
- SO = SOIL
- TE = TELEPHONE BOX
- WV = WATER VALVE
- SD = STORM DRAIN LINE
- SSL = SANITARY SEWER LINE

**NOTES:**

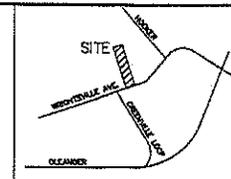
- 1) THE PROPERTY SHOWN HEREON IS NOT LOCATED WITHIN A SPECIAL 100 YEAR FLOOD HAZARD AREA ACCORDING TO FLOOD INSURANCE RATE MAP NO. 3720314700J DATED APRIL 3, 2006.
- 2) ALL N.C. GRID DATA SHOWN HEREON IS BASED ON NAD 1983 2007 ADJUSTMENT USING THE NGCS RTK NETWORK SYSTEM.
- 3) ALL DISTANCES SHOWN HEREON ARE N.C. GRID DISTANCES UNLESS OTHERWISE NOTED.
- 4) COMBINED GRID FACTOR = 1.00003585
- 5) ALL UTILITY LINES SHOWN HEREON MAY HAVE EASEMENTS AND RIGHTS OF ENTRANCE AND MAINTENANCE ASSOCIATED WITH THEM.
- 6) UNDERGROUND UTILITIES MAY EXIST THAT WE WERE NOT ABLE TO FIND ABOVE GROUND INDICATORS FOR. UTILITY MARKING COMPANIES WERE NOT CALLED TO LOCATE UNDERGROUND UTILITIES. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN.

**GRID TIES AND COORDINATES:**

EP NO. 223 - NORTH = 172,485.3981  
 (CONTROL CORNER) EAST = 2,348,549.0508  
 EP NO. 228 - NORTH = 163,085.4582  
 (CONTROL CORNER) EAST = 2,348,015.9921  
 NGCS - NORTH = 218,268.8859  
 (NGCS CORS STATION) EAST = 2,339,603.6122

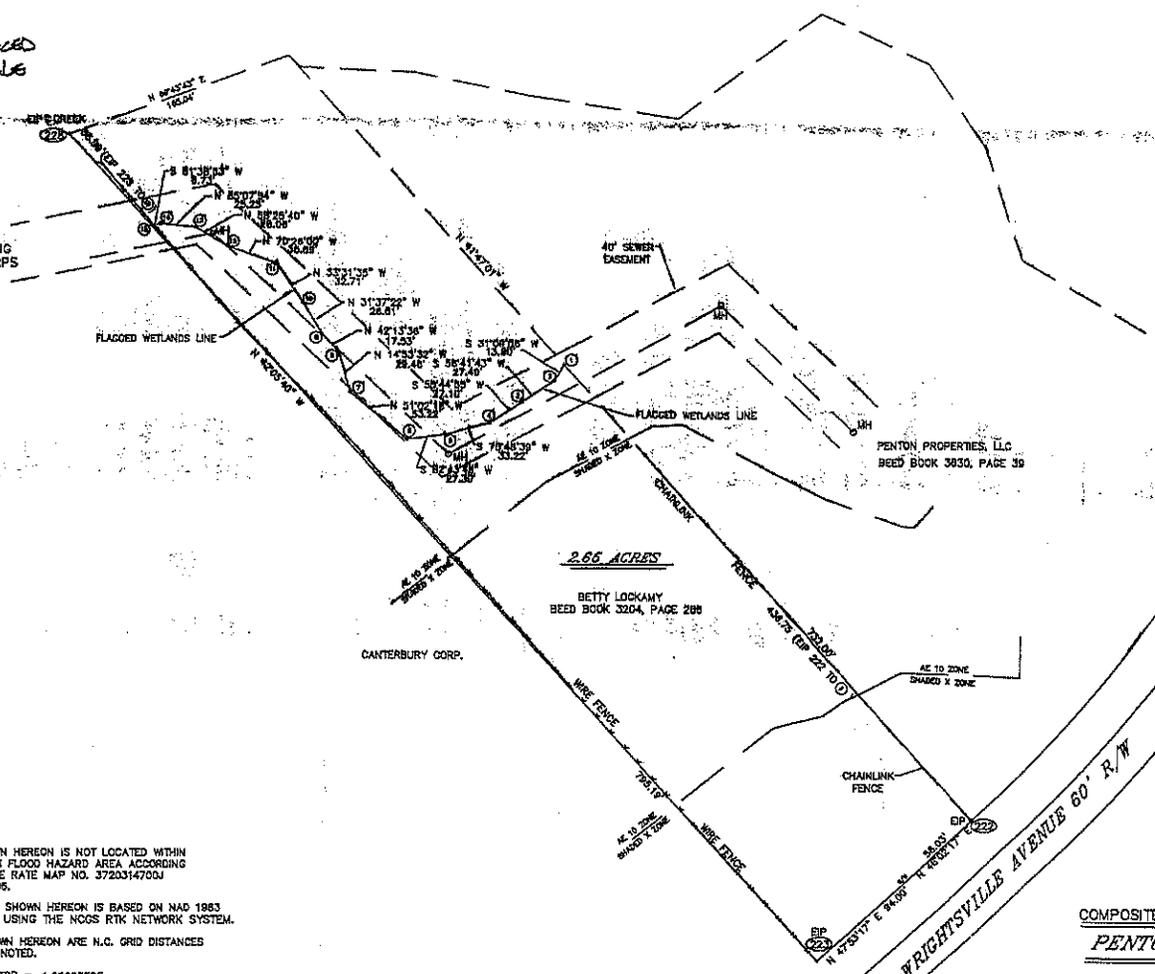
**REFERENCES:**

DEED BOOK 3204, PAGE 288



VICINITY SKETCH  
 (NOT TO SCALE)

N.C. GRID NORTH AND 1983 (2011 ADJUSTMENT)



COMPOSITE MAP AND WETLANDS SURVEY FOR:

**PENTON PROPERTIES, LLC**

CURRENT OWNER: BETTY A. LOCKAMY  
 6037 WRIGHTSVILLE AVENUE, WILMINGTON, NC 28403  
 INDIVIDUAL TRACT ON WRIGHTSVILLE AVENUE  
 CITY OF WILMINGTON  
 WILMINGTON TOWNSHIP, NEW HANOVER COUNTY, N.C.

DATE: NOVEMBER 3, 2015  
 SCALE: 1" = 40'

**JORDONY J. WILLIAMS LAND SURVEYING, P.C.**  
 P.O. BOX 778, BEAUVILLE, N.C. 28516  
 PHONE: 910-298-6272 FAX: 910-298-2316  
 EMAIL: J.WILLIAMS@JWSURV.COM TRM NO. C-2332

©-PROJECT: PENTONPROPS- WETLANDS  
 FILE NAME: WETLANDS.DWG  
 7/25 FILE: WETLANDS