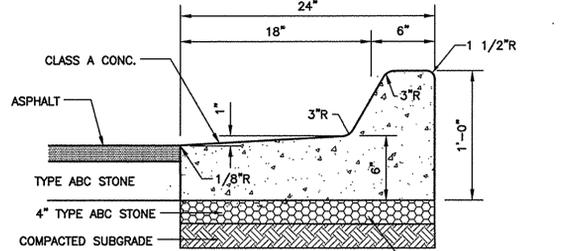




NOTE: INSTALLATION OF NEW 24" CURB AND GUTTER ALONG GLEN MEADE ROAD SHALL REQUIRE A 6" ABC STONE BASE.

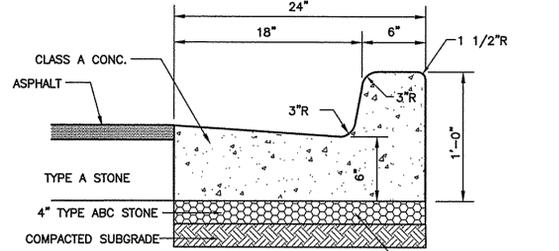


TYPE ABC STONE SHALL EXTEND 6" BEYOND CURB & GUTTER

NOTE: CURB TYPE DEPENDS ON GRADES SHOWN ON GRADING PLAN. GRADES INDICATING FALL AWAY FROM CURB SHALL BE SPILL OFF TYPE CURB. GRADES INDICATING CURB ACCEPTING FLOW SHALL BE FLOW LINE TYPE.

NOT TO SCALE

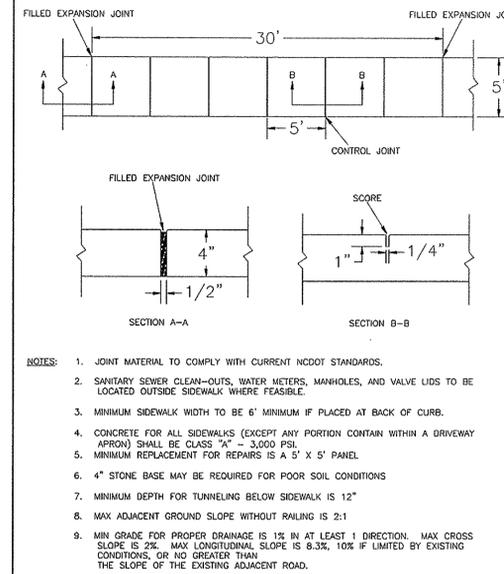
NOTE: INSTALLATION OF NEW 24" CURB AND GUTTER ALONG GLEN MEADE ROAD SHALL REQUIRE A 6" ABC STONE BASE.



TYPE ABC STONE SHALL EXTEND 6" BEYOND CURB & GUTTER

NOTE: CURB TYPE DEPENDS ON GRADES SHOWN ON GRADING PLAN. GRADES INDICATING FALL AWAY FROM CURB SHALL BE SPILL OFF TYPE CURB. GRADES INDICATING CURB ACCEPTING FLOW SHALL BE FLOW LINE TYPE.

NOT TO SCALE



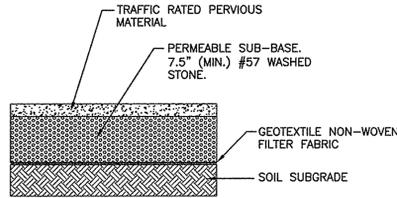
- NOTES:
- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
  - SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
  - MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
  - CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
  - MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
  - 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS
  - MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
  - MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
  - MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2% MAX LONGITUDINAL SLOPE IS 6.3%; 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

NOT TO SCALE

1 24" CURB AND GUTTER SECTION (SPILL-OFF)

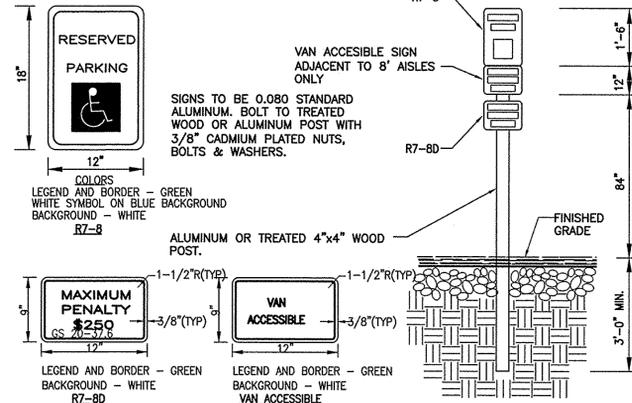
2 24" CURB AND GUTTER SECTION (FLOW-LINE)

3 STANDARD SIDEWALK DETAIL



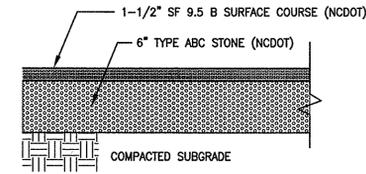
- NOTES:
- TRAFFIC RATED PERVIOUS MATERIALS SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
  - PERVIOUS MATERIALS SECTION MAY VARY DEPENDING UPON FIELD CONDITIONS. THE CONTRACTOR SHALL COORDINATE WITH HOME OWNERS ASSOCIATION ARCHITECTURAL REVIEW BOARD TO DETERMINE ACTUAL PAVEMENT SECTION.

NOT TO SCALE



NOT TO SCALE

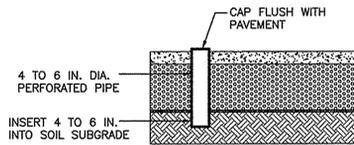
5 TYPICAL HANDICAPPED SIGN DETAIL



NOTE: PAVEMENT SECTION MAY VARY DEPENDING UPON FIELD CONDITIONS. CONTRACTOR SHALL COORDINATE w/OWNER & GEOTECHNICAL ENGINEER TO DETERMINE ACTUAL PAVEMENT SECTION.

NOT TO SCALE

6 ASPHALT PAVEMENT SECTION



- PERVIOUS PAVEMENT OBSERVATION WELL NOTES:
- IF THE SUBGRADE IS NOT TERRACED, THEN THE OBSERVATION WELL SHALL BE PLACED AT THE LOW END OF THE SUBGRADE SLOPE. IF THE SUBGRADE IS TERRACED, THEN ONE OBSERVATION WELL SHALL BE BUILT INTO THE LOW END OF EACH TERRACE.
  - OBSERVATION WELLS SHALL BE FITTED WITH A LOCKABLE CAP INSTALLED PLACED EVEN WITH THE PAVEMENT SURFACE TO FACILITATE QUARTERLY INSPECTION AND MAINTENANCE.
  - THE OBSERVATION WELL SHALL CONSIST OF A RIGID 4 TO 6 IN. DIAMETER PERFORATED PVC PIPE.

NOT TO SCALE

7 PERVIOUS PAVEMENT OBSERVATION WELL DETAIL



- NOTES:
- THE PERMEABLE PAVEMENT SIGN IS BASED ON AN 18" X 24" STANDARD SIZE FOR SIGN PRODUCTION.
  - A HIGH-RESOLUTION IMAGE FILE CAN BE PROVIDED BY THE DWG FOR USE IN FABRICATING THE SIGN. THE GRAPHIC IS IN COLOR BUT COLOR SIGNS ARE NOT REQUIRED.

8 PERMEABLE PAVEMENT SIGNAGE DETAIL

For each open utility cut of City streets, a \$225 permit shall be required from the City prior to occupancy and/or project acceptance.

**City of WILMINGTON**  
Public Services • Engineering Division  
APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_

**Approved Construction Plan**

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_  
Traffic: \_\_\_\_\_  
Fire: \_\_\_\_\_

NC DENR FWSS WATER PERMIT # \_\_\_\_\_  
WATER CAPACITY: \_\_\_\_\_ GPD  
DWQ SEWER PERMIT # \_\_\_\_\_  
SEWER CAPACITY: \_\_\_\_\_ GPD  
SEWER SHED # AND PLANT: \_\_\_\_\_  
SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

9

**CITY OF WILMINGTON STANDARD NOTES:**

- CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4949.
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING;
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. POSTED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND CURBING WILL BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA WATER SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REGULATIONS. CALL 332-6558 FOR INFORMATION.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFOCHR OR ASSE.
- WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED SINGLE STRAND COPPER WIRE INSTALLED THE ENTIRE LENGTH AND SECURED TO ALL VALVES. THIS WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
- THE NUMBER AND SPACING OF DRIVEWAYS FOR ALL INTERCONNECTED SITES WILL BE DETERMINED BY THE COMBINED FRONTAGE OF THE INTERCONNECTED PROPERTIES.
- UNDERGROUND FIRE LINE MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC ROW TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
- A LANDSCAPE PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEER DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
- IF AND IRRIGATION SYSTEM IS PLANNED FOR THE SITE, UTILIZE MOISTURE SENSORS.
- ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
- PLEASE CONSIDER INCORPORATING XERIC LANDSCAPING FOR ALL NEW LANDSCAPING.

**UTILITY NOTES FOR FIRE HYDRANTS:**

- FIRE HYDRANTS MUST BE WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION.
- THE FIRE DEPARTMENT CONNECTION MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING AND PARKING CANNOT BLOCK OR IMPEDE THE FIRE DEPARTMENT CONNECTIONS OR FIRE HYDRANTS. A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE FIRE HYDRANT CONNECTION AND THE FIRE HYDRANT.
- FIRE HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
- THE CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.
- UNDERGROUND FIRE LINE AND PRIVATE WATER MAINS MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
- A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF THE STRUCTURE.

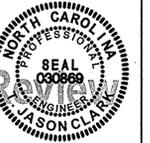
SYMBOL	DATE	DESCRIPTION	BY
REVISIONS			
© 2015 NORRIS & TUNSTALL			

**NOTES AND DETAILS**  
WELLS INSURANCE OLEANDER DR. SITE  
5712 OLEANDER DRIVE  
WILMINGTON, N. C.

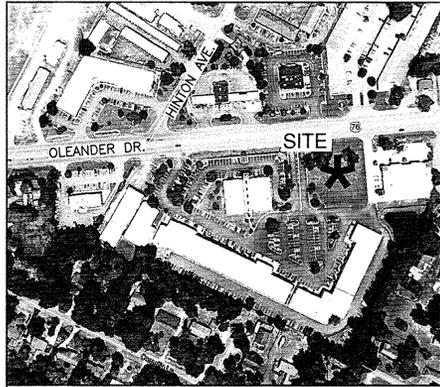
OWNER/DEVELOPER  
HAROLD W. WELLS, IV, MANAGER  
WELLS REAL ESTATE HOLDINGS, LLC  
1 NORTH THIRD STREET  
WILMINGTON, NC 28401  
910.251-5402

**NORRIS & TUNSTALL**  
CONSULTING ENGINEERS, P.C.  
1429 ASH-LITTLE RIVER RD. NW  
ASH, NC 28640  
PHONE (910) 287-5900  
licence #C-3641

15005  
DES. JST  
CKD. JPN  
DRWN. NKS  
DATE 5/4/16



**C2**



VICINITY MAP

R06206-007-004-000  
5709 OLEANDER DR.  
ZONED O&I-1  
RESTAURANT  
MARO ENTERPRISES LLC

R06207-003-018-000  
5725 OLEANDER DR.  
ZONED CB  
CONDOMINIUM COMMON AREA  
OLEANDER OAKS CONDOMINIUM

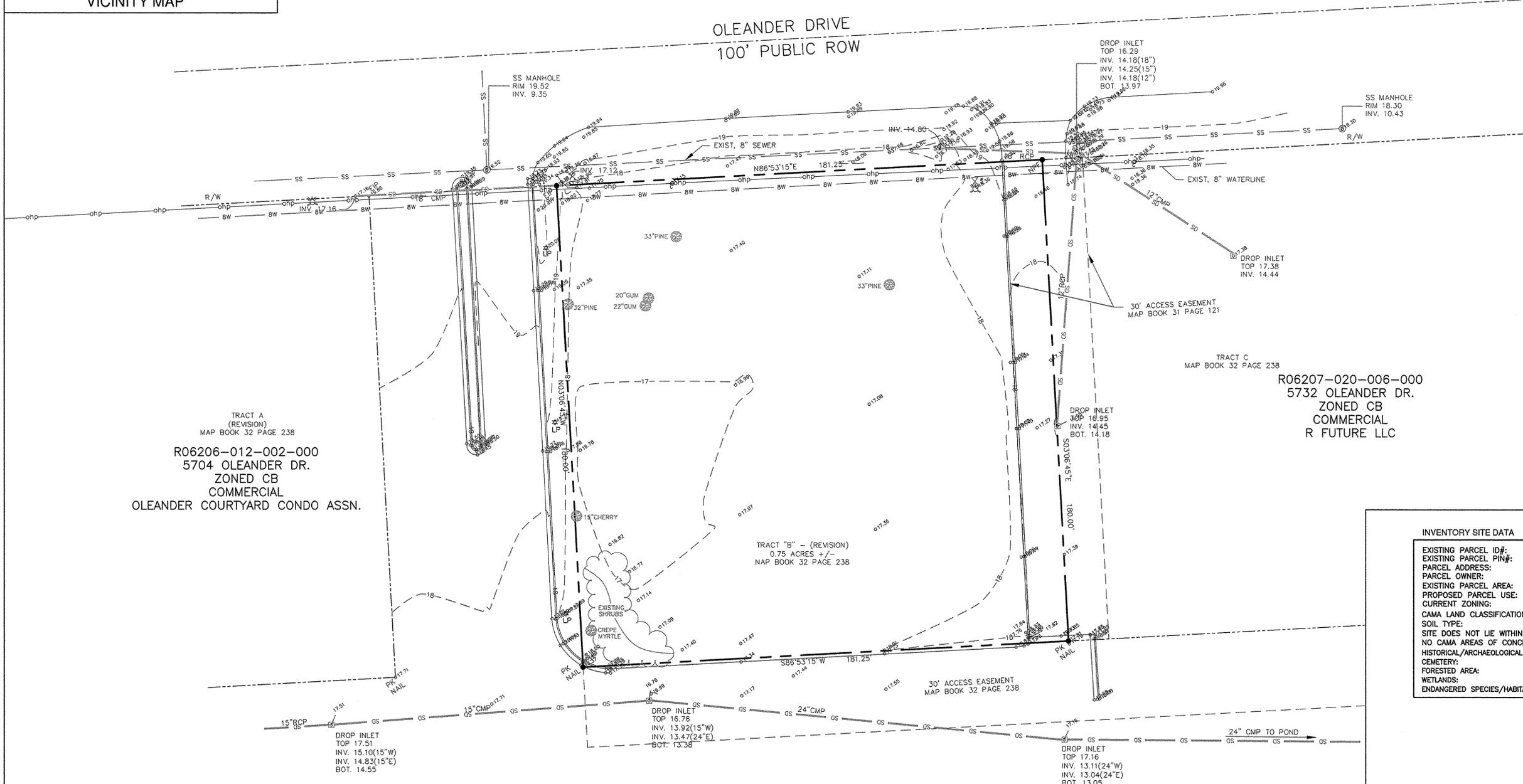


OLEANDER DRIVE  
100' PUBLIC ROW

TRACT A  
(REVISION)  
MAP BOOK 32 PAGE 238  
R06206-012-002-000  
5704 OLEANDER DR.  
ZONED CB  
COMMERCIAL  
OLEANDER COURTYARD CONDO ASSN.

TRACT C  
MAP BOOK 32 PAGE 238  
R06207-020-006-000  
5732 OLEANDER DR.  
ZONED CB  
COMMERCIAL  
R FUTURE LLC

TRACT D  
(REVISION)  
MAP BOOK 32 PAGE 238  
R06206-012-013-000  
5710 OLEANDER DR.  
ZONED CB  
OLEANDER BUSINESS COMMON AREA  
OBC COA INC



INVENTORY SITE DATA	
EXISTING PARCEL ID#:	R06206-012-011-000
EXISTING PARCEL PIN#:	314608.78.9926.000
PARCEL ADDRESS:	5712 OLEANDER DRIVE
PARCEL OWNER:	WELLS REAL ESTATE HOLDINGS LLC
EXISTING PARCEL AREA:	0.75 AC (32,625 SF)
PROPOSED PARCEL USE:	OFFICE
CURRENT ZONING:	CB-COMMUNITY BUSINESS
CAMA LAND CLASSIFICATION:	WATERSHED RESOURCE PROTECTION
SOIL TYPE:	Se
SITE DOES NOT LIE WITHIN 100 YEAR FLOOD PLAIN	
NO CAMA AREAS OF CONCERN OR ASSOCIATED SETBACKS	
HISTORICAL/ARCHAEOLOGICAL SITE:	NONE
CEMETERY:	NONE
FORESTED AREA:	SEE PLAN FOR TREE SURVEY
WETLANDS:	NONE EXIST WITHIN SITE AREA
ENDANGERED SPECIES/HABITAT:	NONE REPORTED

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_  
Approved Construction Plan  
Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Planning: \_\_\_\_\_  
Traffic: \_\_\_\_\_  
Fire: \_\_\_\_\_

SYMBOL	DATE	DESCRIPTION	BY
REVISIONS			

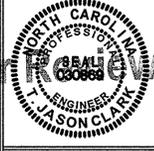
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**SITE INVENTORY PLAN**  
WELLS INSURANCE OLEANDER DR. SITE  
5712 OLEANDER DRIVE  
WILMINGTON, N. C.

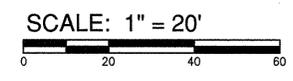
OWNER/DEVELOPER  
HAROLD W. WELLS, IV, MANAGER  
WELLS REAL ESTATE HOLDINGS, LLC  
1 NORTH THIRD STREET  
WILMINGTON, NC 28401  
910 251-5402

**NORRIS & TUNSTALL**  
**CONSULTING ENGINEERS, P.C.**  
1429 ASH-LITTLE RIVER RD. NW  
ASH, NC 28420  
PHONE (910) 343-9653  
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15005  
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DATE 5/4/16

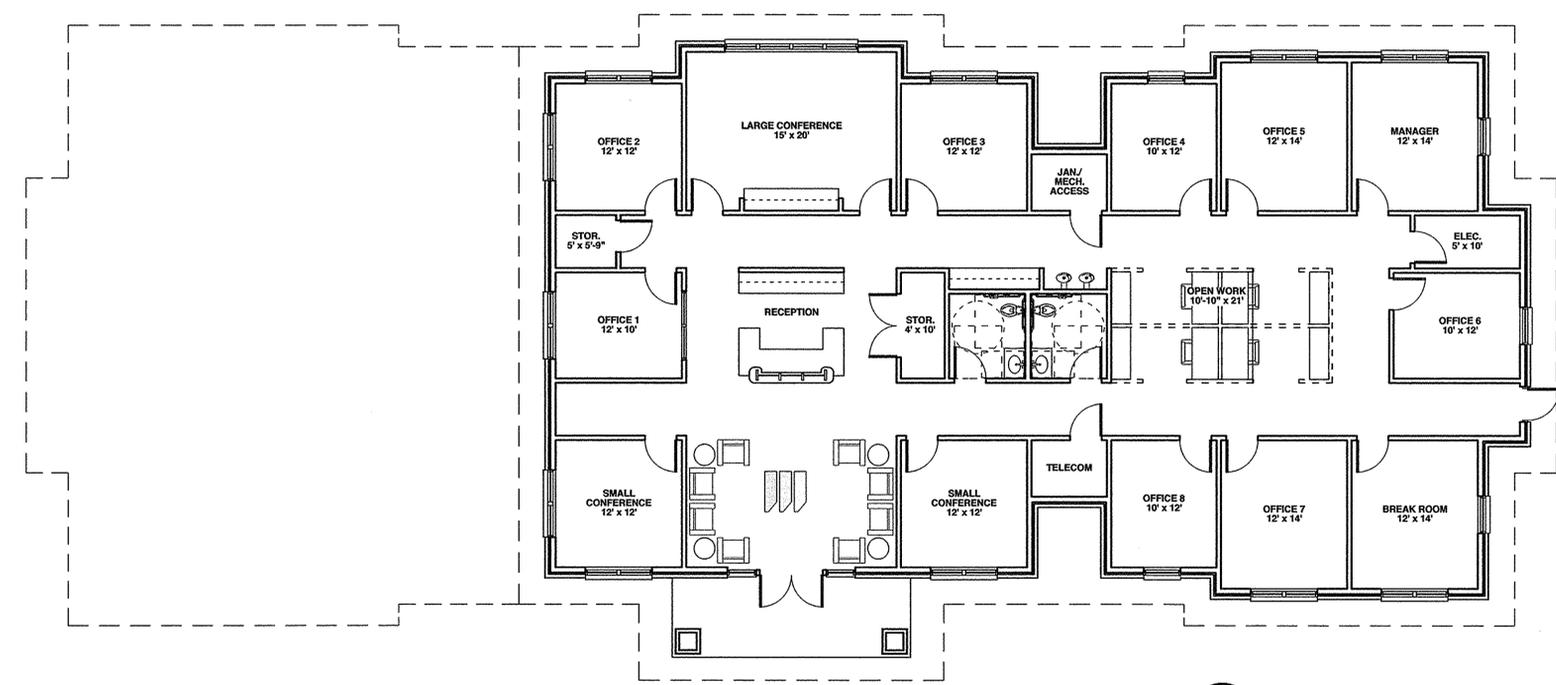


NC DENR PWSS WATER PERMIT #: \_\_\_\_\_ GPD  
WATER CAPACITY: \_\_\_\_\_ GPD  
DWQ SEWER PERMIT #: \_\_\_\_\_ GPD  
SEWER CAPACITY: \_\_\_\_\_ GPD  
SEWER SHED # AND PLANT: \_\_\_\_\_  
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

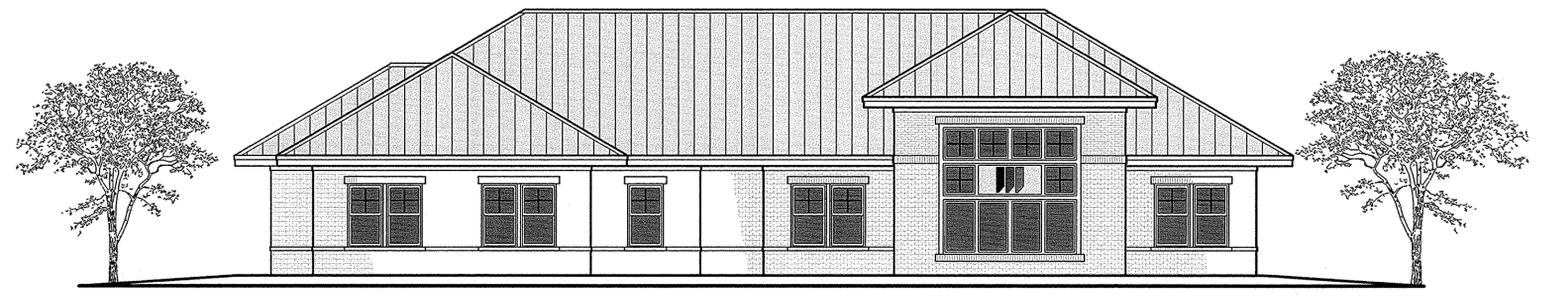




**1 South Elevation**  
 A1.0 scale: 1/8" = 1'-0"



**2 Floor Plan**  
 A1.0 scale: 1/8" = 1'-0"



**3 North Elevation**  
 A1.0 scale: 1/8" = 1'-0"

**Wells Office**

**Floor Plan & Elevations**

REVISIONS

DRAWN BY

DH

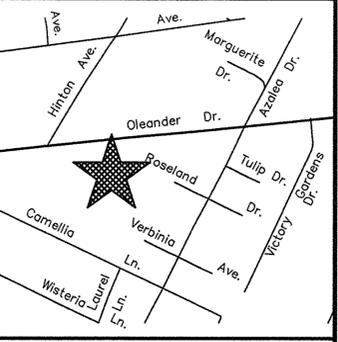
CHECKED BY

JM

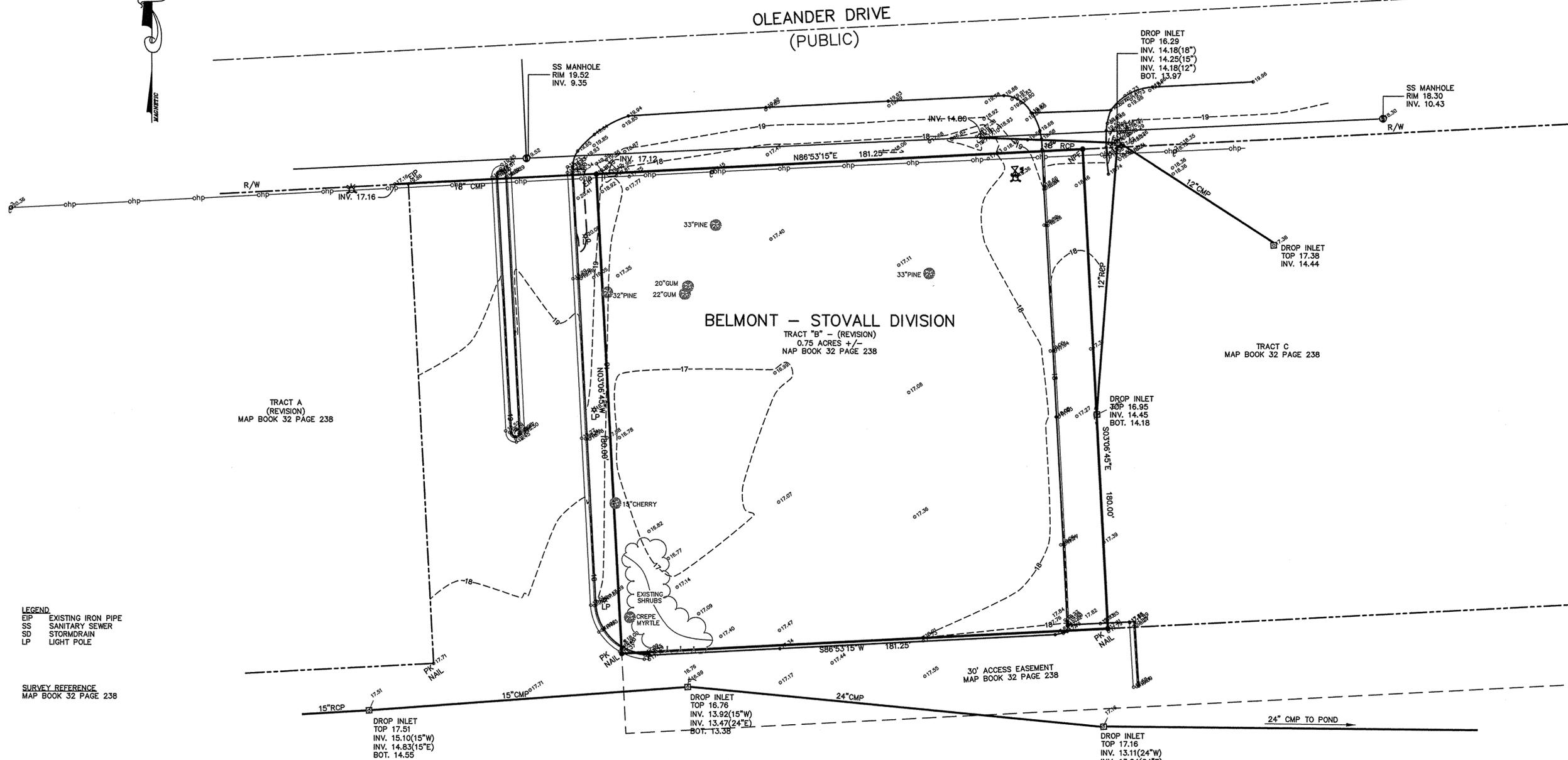
DATE

Mar. 31, 2016

SHEET NUMBER

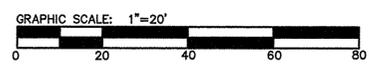


VICINITY MAP  
NO SCALE



**LEGEND**  
 EIP EXISTING IRON PIPE  
 SS SANITARY SEWER  
 SD STORMDRAIN  
 LP LIGHT POLE

**SURVEY REFERENCE**  
 MAP BOOK 32 PAGE 238



BOUNDARY AND TOPOGRAPHIC SURVEY:  
**BELMONT - STOVALL DIVISION**  
 TRACT "B" - (REVISION)  
 0.75 ACRES +/-  
 NAP BOOK 32 PAGE 238  
 CITY OF WILMINGTON, NEW HANOVER COUNTY  
 NORTH CAROLINA

CLIENT:  
 NORRIS AND TUNSTALL CONSULTING ENGINEERS  
 902 MARKET STREET  
 WILMINGTON, NC 28401

MICHAEL UNDERWOOD and ASSOCIATES, PA  
 102 CINEMA DRIVE, SUITE A  
 WILMINGTON, NC 28403  
 PHONE: 910-815-0650  
 FAX: 910-815-0393  
 E-MAIL: muo@uzac.com Firm License #0615

SURVEYED: CC/DC APPROVED: MNU  
 DRAWN BY: TBM DATE: JAN, 15  
 CHECKED BY: MNU SCALE: 1"=20'

**UTILITY STATEMENT**  
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES.

**CERTIFICATE:**  
 THIS SURVEY IS OF AN EXISTING PARCEL OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

MICHAEL N. UNDERWOOD, P.L.S. L-2962

NORTH CAROLINA  
 NEW HANOVER COUNTY

I, MICHAEL N. UNDERWOOD, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION AND IS SHOWN ON THE FACE OF THIS PLAT. THE BOUNDARIES NOT SURVEYED ARE SHOWN BY BROWN LINES. THE BOUNDARIES SHOWN ARE SHOWN BY BLACK LINES. THIS PLAT WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 22ND DAY OF JANUARY A.D., 2015.

MICHAEL N. UNDERWOOD, P.L.S.  
 LICENSE NUMBER L-2962  
 SEAL OR STAMP

© 2015 MICHAEL UNDERWOOD and ASSOCIATES, PA