

R06206-007-004-000
5709 OLEANDER DR.
ZONED O&I-1
RESTAURANT
MARO ENTERPRISES LLC

R06207-003-018-000
5725 OLEANDER DR.
ZONED CB
CONDOMINIUM COMMON AREA
OLEANDER OAKS CONDOMINIUM

PLANT SCHEDULE							
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	REMARKS
LARGE SHADE TREE							
14	QV	QUERCUS VIRGINIANA 'CATHEDRAL'	CATHEDRAL LIVE OAK	2"-2.5" CAL.	B & B/CONT.	AS SHOWN	
SMALL SHADE TREE							
5	LI	LAGERSTROEMIA INDICA 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	10-12' HT.	B & B/CONT.	AS SHOWN	MULTI-STEM
SHRUBS							
10	AG	ABELIA X GRANDIFLORA 'ROSE CREEK'	ABELIA ROSE CREEK	3' HT. x 3' W.	B & B/CONT.	AS SHOWN	FULL
36	IC	ILEX CRENATA 'COMPACTA'	COMPACT JAPANESE HOLLY	3' HT. x 3' W.	B & B/CONT.	4' O.C.	FULL
24	LR	LOROPETALUM CHINENSE VAR. RUBRUM 'RUBY'	FRINGE FLOWER RUBY	3' HT. x 3' W.	B & B/CONT.	4' O.C.	FULL
10	PF	PHOTINIA X FRASERI	FRASER'S PHOTINIA	3' HT. x 3' W.	B & B/CONT.	6' O.C.	FULL
11	PM	PODOCARPUS MACROPHYLLUS 'PRINGLE'S DWARF'	JAPANESE YEW PRINGLE'S DWARF	3' HT. x 3' W.	B & B/CONT.	4' O.C.	FULL
21	RI	RHAPIOLEPIS INDICA 'SNOW WHITE'	INDIAN HAWTHORN SNOW WHITE	3' HT. x 3' W.	B & B/CONT.	4' O.C.	FULL
GROUNDCOVERS							
99	HC	HYPERICUM CALYCIUM	AARON'S BEARD	12" HT.	1 GAL.	18" O.C.	FULL
132	JH	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA'	COMPACT PLUMOSA JUNIPER	12" HT.	2 GAL.	3' O.C.	FULL
153	OJ	OPHIPOGON JAPONICUS	MONDO GRASS	12" HT.	1 GAL.	18" O.C.	FULL
GRASS							
CENTIPEDE GRASS							

mh
BOWMAN
MURRAY
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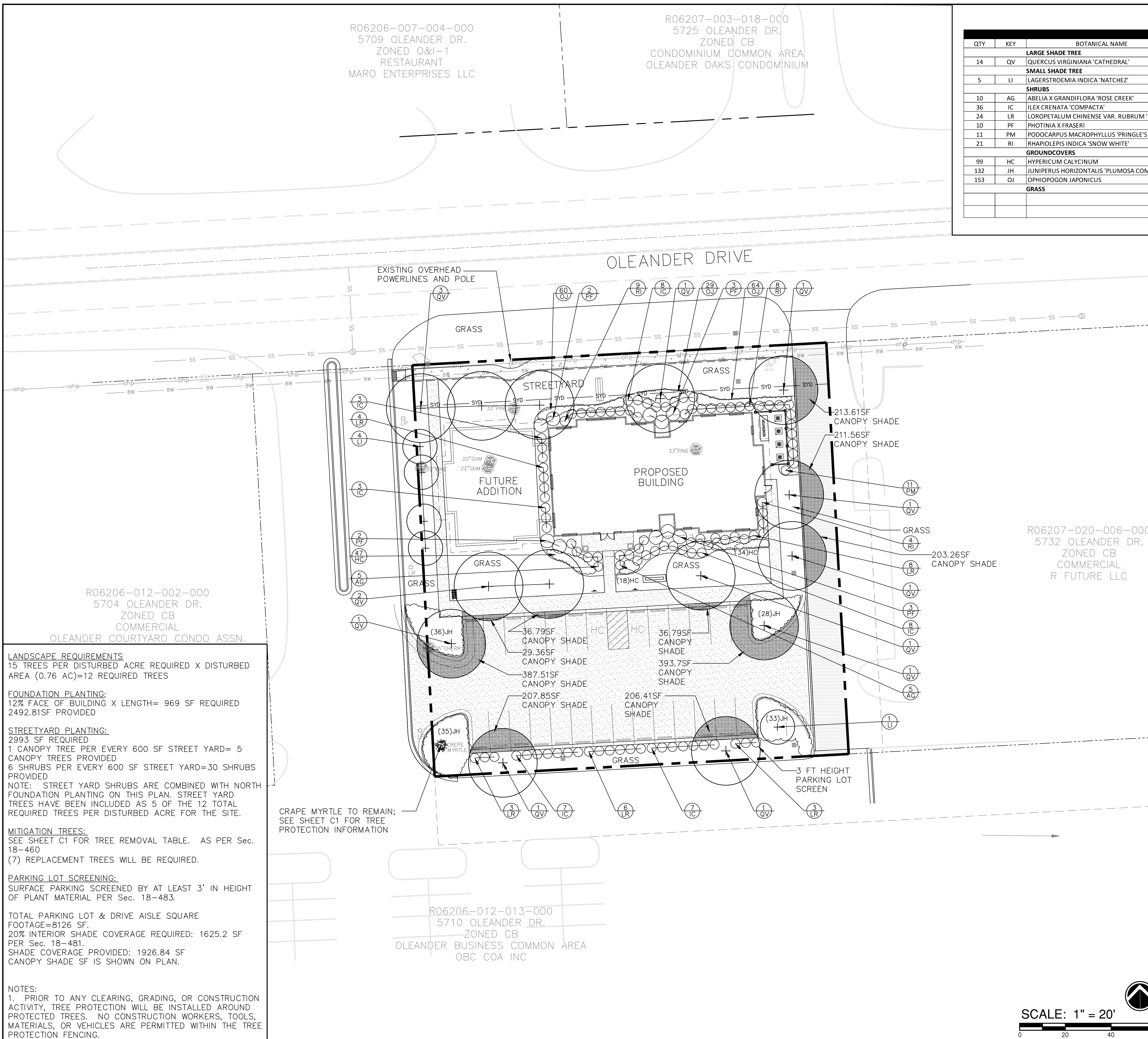
Wells Insurance
5712 Oleander Drive
Wilmington, North Carolina

Landscape Plan

REVISIONS

DRAWN BY
NKW
CHECKED BY
SB
DATE
July 13, 2016
SHEET NUMBER

L1.0



R06207-020-006-000
5732 OLEANDER DR.
ZONED CB
COMMERCIAL
R FUTURE LLC

R06206-012-013-000
5710 OLEANDER DR.
ZONED CB
OLEANDER BUSINESS COMMON AREA
OBC COA INC

LANDSCAPE REQUIREMENTS
15 TREES PER DISTURBED ACRE REQUIRED X DISTURBED AREA (0.76 AC)=12 REQUIRED TREES

FOUNDATION PLANTING:
12% FACE OF BUILDING X LENGTH= 969 SF REQUIRED
2492.81SF PROVIDED

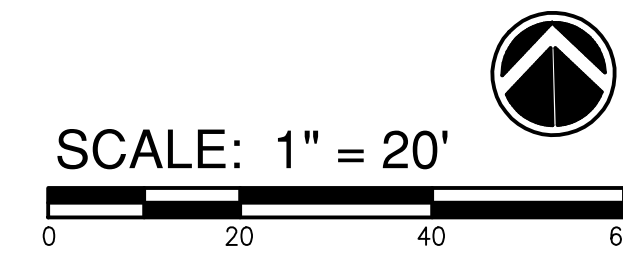
STREETYARD PLANTING:
2993 SF REQUIRED
1 CANOPY TREE PER EVERY 600 SF STREET YARD= 5 CANOPY TREES PROVIDED
6 SHRUBS PER EVERY 600 SF STREET YARD=30 SHRUBS PROVIDED
NOTE: STREET YARD SHRUBS ARE COMBINED WITH NORTH FOUNDATION PLANTING ON THIS PLAN. STREET YARD TREES HAVE BEEN INCLUDED AS 5 OF THE 12 TOTAL REQUIRED TREES PER DISTURBED ACRE FOR THE SITE.

MITIGATION TREES:
SEE SHEET C1 FOR TREE REMOVAL TABLE. AS PER Sec. 18-460
(7) REPLACEMENT TREES WILL BE REQUIRED.

PARKING LOT SCREENING:
SURFACE PARKING SCREENED BY AT LEAST 3' IN HEIGHT OF PLANT MATERIAL PER Sec. 18-483.

TOTAL PARKING LOT & DRIVE AISLE SQUARE FOOTAGE=8126 SF.
20% INTERIOR SHADE COVERAGE REQUIRED: 1625.2 SF PER Sec. 18-481.
SHADE COVERAGE PROVIDED: 1926.84 SF
CANOPY SHADE SF IS SHOWN ON PLAN.

SITE DATA TABLE	
EXISTING PARCEL ID#:	R06206-012-011-000
EXISTING PARCEL PIN#:	314608.78.9926.000
SITE ADDRESS:	5712 OLEANDER DRIVE
PARCEL OWNER:	WELLS REAL ESTATE HOLDINGS LLC
EXISTING PARCEL AREA:	0.75 AC (32,625 SF)
PROPOSED PARCEL USE:	OFFICE
CURRENT ZONING:	CB-COMMUNITY BUSINESS
CAMA LAND CLASSIFICATION:	WATERSHED RESOURCE PROTECTION
SOIL TYPE:	Se (HYDROLOGIC SOIL GROUP "A")
BUILDING SETBACKS CB:	FRONT SETBACK: 20' INTERIOR SIDE SETBACK: 10' CORNER SIDE SETBACK: 20' REAR SETBACKS: 10'
BUILDING SETBACKS PROPOSED:	FRONT SETBACK: 27' SIDE SETBACK EAST: 30' SIDE SETBACK WEST: 11' REAR SETBACKS: 100'
BUILDING AREA (FOOTPRINT):	4,455 SF PROPOSED 2,054 SF FUTURE ADDITION 6,509 SF TOTAL
MAX. LOT COVERAGE CB:	30%
PROPOSED LOT COVERAGE:	20.00% (INCLUDES FUTURE ADDITION)
BUILDING HEIGHT:	25'±
BUILDING CONSTRUCTION TYPE:	VB
TOTAL IMPERVIOUS AREA:	
EXISTING ASPHALT:	2,720 SF
PROPOSED BUILDING:	6,509 SF (FOOTPRINT)
PERVIOUS PAVEMENT PARKING AND DRIVE ISLE:	8,126 SF
PERVIOUS PAVEMENT SIDEWALK:	1,950 SF
CONCRETE CURB AND GUTTER:	850 SF
CONCRETE SIDEWALK:	840 SF
TOTAL FOR SITE:	20,995 SF
% IMPERVIOUS:	64.35%
TOTAL NEW ON-SITE IMPERVIOUS AREA (AFTER 75% CREDIT):	
PROPOSED BUILDING:	6,509 SF (FOOTPRINT)
PERVIOUS PAVEMENT PARKING AND DRIVE ISLE:	2,032 SF
PERVIOUS PAVEMENT SIDEWALK:	488 SF
CONCRETE CURB AND GUTTER:	850 SF
TOTAL FOR SITE:	*9,879 SF
% IMPERVIOUS:	30.28%
*DOES NOT INCLUDE REQUIRED CONCRETE SIDEWALK ALONG OLEANDER DR. THAT SHOULD BE IN THE ROW. CONCRETE SIDEWALK SHALL BE LOCATED WITHIN A PUBLIC/PEDESTRIAN ACCESS EASEMENT.	
PARKING REQUIREMENT	
PARKING REQ'D: OFFICE	1/200 MAX, 1/300 MIN.
TOTAL PARKING REQUIRED:	33 MAX, 22 MIN.
PARKING PROPOSED	27 TOTAL
ACCESSIBLE PARKING REQUIRED	2
ACCESSIBLE PARKING PROPOSED	2
BICYCLE PARKING REQUIRED	5
BICYCLE PARKING PROPOSED	5
LANDSCAPING REQUIREMENTS (REFER TO LANDSCAPE PLAN)	
15 TREES PER DISTURBED ACRE REQUIRED	
STREETYARD LANDSCAPING: 18 MULTIPLIER	
181.25-15 (18) = 2,993 SF REQUIRED	2,993 SF PROPOSED
FOUNDATION PLANTINGS: 12% FACE OF BUILDING X LENGTH	
TRASH REMOVAL WILL BE BY HANDCART	
WATER AND SEWER CAPACITY NEEDS	
PER 2T RULES: 25 GAL/EMPLOYEE (OFFICE USE)	
25 EMPLOYEES @ 25 GAL/EMPLOYEE/DAY=625 GPD	
DISTURBED AREA: 0.76 AC	



PLANT MATERIAL NOTES

1. ALL PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
2. CONTAINERIZED PLANTS SHALL HAVE A ROOT SYSTEM SUFFICIENT ENOUGH IN DEVELOPMENT TO HOLD THE SOIL INTACT WHEN REMOVED FROM THE CONTAINER. THE ROOT SYSTEM SHALL NOT BE ROOT BOUND, A CONDITION WHERE THE ROOT SYSTEM IS DENSE IN MASS, EXCESSIVELY INTERTWINED, AND HAS ESTABLISHED A CIRCULAR GROWTH PATTERN.
3. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
4. PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY UNLESS APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SHIPMENT.
5. ALL TREE PITS, SHRUB BEDS AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS.
6. TOPSOIL AMENDMENTS REQUIRED FOR SOIL MIXES SHALL BE PROVIDED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR MUST LOAD, HAUL, MIX AND SPREAD ALL TOPSOIL AND OTHER SOIL ADDITIVES AS REQUIRED ON SITE.
7. CONTRACTOR SHALL VERIFY AND/OR AMEND ALL PLANTING SOILS TO ENSURE PROPER SUITABILITY INCLUDING STATE RECOMMENDED QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENTS AND SOIL AMENDMENTS TO BE ADDED TO PRODUCE QUALITY PLANTING SOIL FOR ALL PLANT MATERIAL TO SURVIVE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL PLANTING PITS PERCOLATE PROPERLY PRIOR TO PLANTING INSTALLATION.
9. SHRUBS, BULBS, AND GROUNDCOVERS SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON PLANTING PLANS AND/OR IN THE PLANT SCHEDULE.
10. THE CONTRACTOR SHALL VERIFY EXTENT OF SEEDING OR SOD AREA WITH OWNER REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
11. LANDSCAPING WILL BE APPROVED BY THE CITY PLANNER AND ARBORIST PRIOR TO INSTALLATION. CONTRACTOR TO CONTACT THE CITY PLANNING DEPARTMENT. IF CONTRACTOR HAS COMPLIED THE LANDSCAPE PLAN PROVIDED IN THE BID DOCUMENTS AND REVISIONS ARE REQUIRED IN THE FIELD THE CONTRACT WILL BE ADJUSTED USING THE BID DOCUMENT PROVISIONS FOR PROJECT CHANGES.

TREE INSTALLATION NOTES

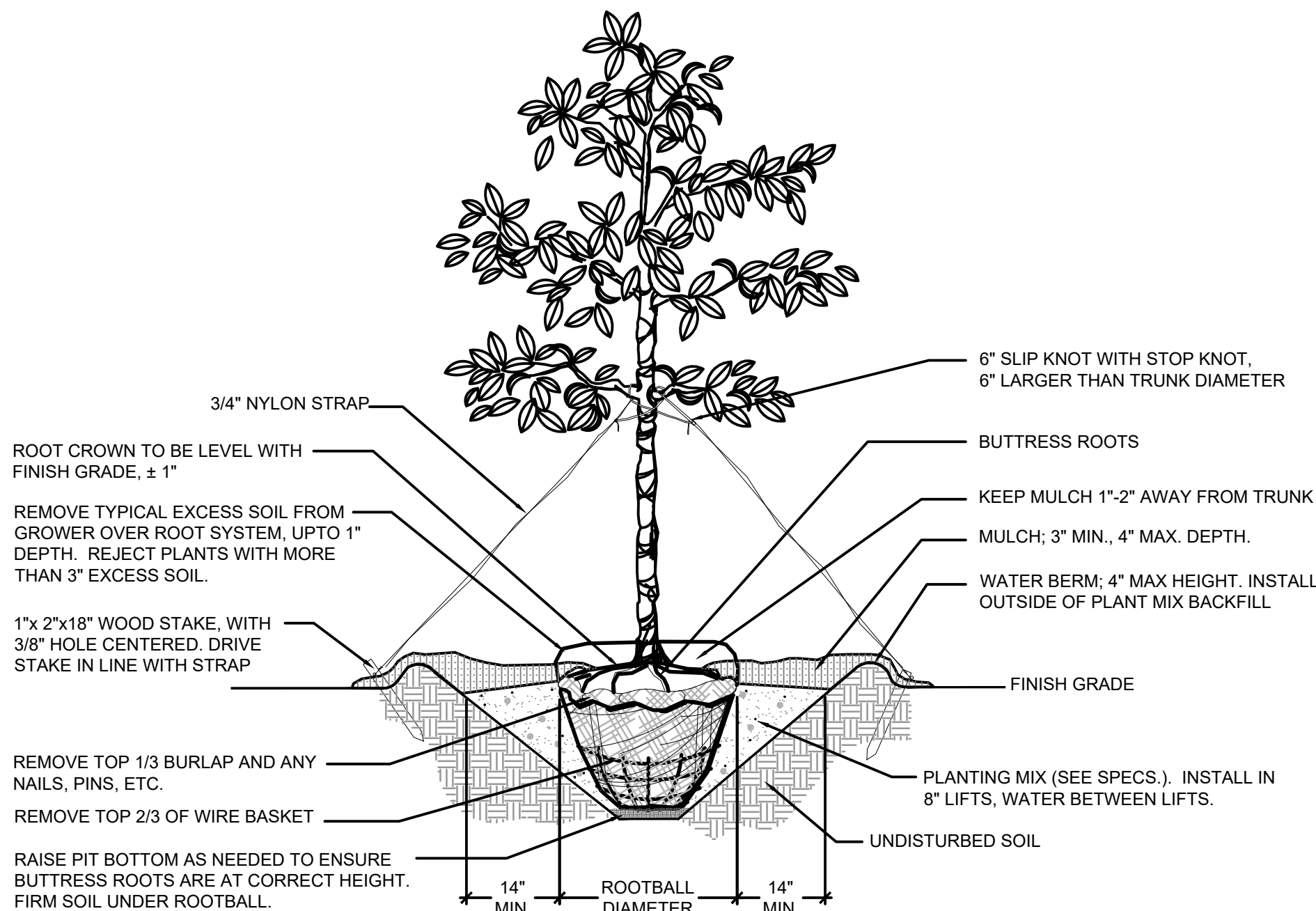
1. ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI, 1990, PART 1, "SHADE AND FLOWERING TREES").
2. TREES SUPPLIED MUST HAVE BEEN PROPERLY PLANTED AND GROWN IN THE NURSERY. THE ROOT CROWN (ALSO CALLED THE TRUNK FLARE) SHALL BE EVIDENT NEAR THE TOP OF THE GROUND. ANY EXCESS SOIL, UP TO 3 INCHES COVERING THE CROWN WILL HAVE TO BE REMOVED CAREFULLY BY HAND, IN ORDER TO PREVENT ROOT SCRAPES. THE TREE IS THEN TO BE PLANTED WITH THE ROOT CROWN IN PROPER RELATION TO THE SURROUNDING GRADE. ANY TREES WITH MORE THAN 3 INCHES OF SOIL ON TOP OF THE ROOT CROWN WILL BE REJECTED. THE NURSERY OWNERS MAY DIG OVERSIZE BALLS AND REMOVE THE SOIL IN ORDER FOR THE ROOT SYSTEM DIAMETER (WHICH IS THE REQUIRED ROOT BALL DIAMETER) TO MEET THE SPECIFICATION FOR THE TRUNK CALIPER REQUIRED.
3. BALL AND BURLAPPED (B&B) PLANTS MUST HAVE FIRM, NATURAL BALLS OF EARTH, OF DIAMETER NOT LESS THAN RECOMMENDED IN THE "TREE AND SHRUB TRANSPLANTING MANUAL", AND BE OF SUFFICIENT DEPTH TO INCLUDE THE FIBROUS AND FEEDING ROOTS. PLANTS MOVED WITH A BALL WILL NOT BE ACCEPTED IF THE BALL IS DRY, CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATIONS.
4. REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, STRAPPING, WIRE OR NYLON TWINE FROM ROOT BALL. AFTER SETTING IN HOLE, CUT AWAY 2/3 OF WIRE BASKET, IF ANY, AND TOP 1/3 OF BURLAP.
5. SOAK ROOT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.
6. CONSTRUCT 4" HIGH SAUCER (WATER BERM) OUTSIDE OF PLANT MIX BACK FILL.
7. WHERE TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.
8. NO EXISTING TREES SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER REPRESENTATIVE EXCEPT WHERE NOTED ON PLANS. NO GRUBBING SHALL OCCUR WITHIN EXISTING TREE AREAS.
9. THE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL PROPOSED TREES AND OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
10. ALL TREES SHALL BE STAKED AT TIME OF INSTALLATION IN ACCORDANCE WITH PLANTING DETAILS.
11. THE CONTRACTOR SHALL ENSURE THAT TREES REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
12. STAKES FOR TREE SUPPORT SHALL BE CONSTRUCTED OF 2"x2" x18" UNTREATED PINE. GUYING FABRIC SHALL BE "ARBOR TAPE" AS MANUFACTURED BY NEPTCO, PAWTUCKET, RI. (401) 722-5500 (OR APPROVED EQUAL). COLOR SHALL BE OLIVE DRAB.

SHRUB INSTALLATION NOTES

1. CUT ROOTS AS NECESSARY IN CONTAINERIZED PLANTS THAT ARE POT BOUND. REJECT PLANTS THAT HAVE GIRDLED ROOT OR ARE BOUND.
2. INSTALL TOP OF PLANT BALL 2" ABOVE ADJACENT GRADE.
3. TAMP PLANT SOIL MIX FIRMLY IN 8" LIFTS AROUND PLANT BALL.

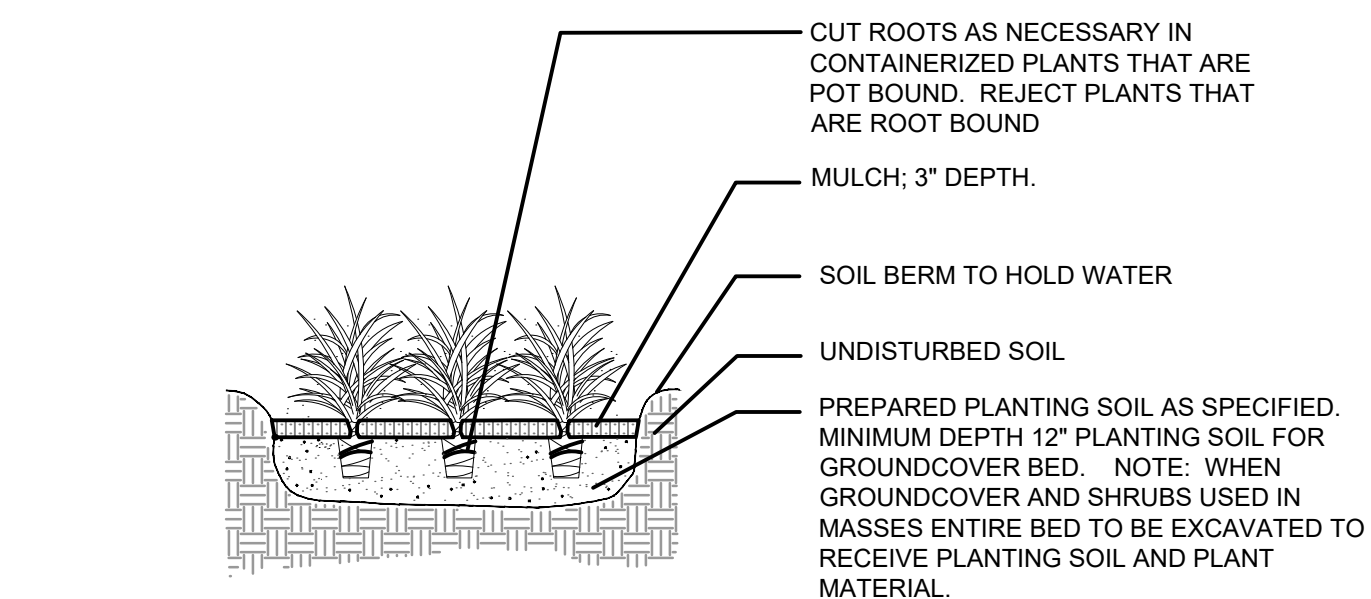
IRRIGATION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR PERMITTING, PROVIDING AND SUBMITTING ALL IRRIGATION PLANS, SPECIFICATIONS, AND PRODUCT MANUALS BASED UPON THE FINAL APPROVED LANDSCAPE PLANS.
2. ALL VALVES AND VALVE BOXES SHALL BE PLACED, WHERE POSSIBLE, IN PLANTED AREAS UNDER MULCH.
3. INSTALL ALL PIPING AS FAR FROM TREES AND ROOT BALLS AS POSSIBLE WHILE MAINTAINING SPRINKLER AND DRIP TUBE SPACING.
4. CONTRACTOR SHALL TEST DYNAMIC PRESSURE BEFORE STARTING WORK, REPORT ANY DEVIATION FROM PRESSURE REQUIRED TO OWNER'S REP. BEFORE CONTINUING.
5. INSTALL CONTROLLER AS DIRECTED BY OWNER'S REPRESENTATIVE. IRRIGATION SYSTEM SHOULD INCLUDE MULTIPLE ZONES CONTRACTOR SHALL SUBMIT LAYOUT PLAN ILLUSTRATING PROPOSED ZONES AND LAYOUT.
6. ALL ABOVE GROUND WIRING, INSIDE AND OUTSIDE OF BUILDING, SHALL BE INSTALLED IN RIGID, METALLIC CONDUIT FOR VANDALISM PROTECTION.
7. COORDINATE LOCATION OF ALL EXISTING AND FUTURE UTILITIES ON SITE AND CONTACT PROPER AUTHORITIES AND UTILITY COMPANIES BEFORE THE START OF WORK.
8. ONCE INSTALLED, CONTRACTOR IS RESPONSIBLE FOR AN ON-SITE WALK THRU WITH OWNER'S REP. AND PROVIDING AN OPERATIONAL MANUAL.



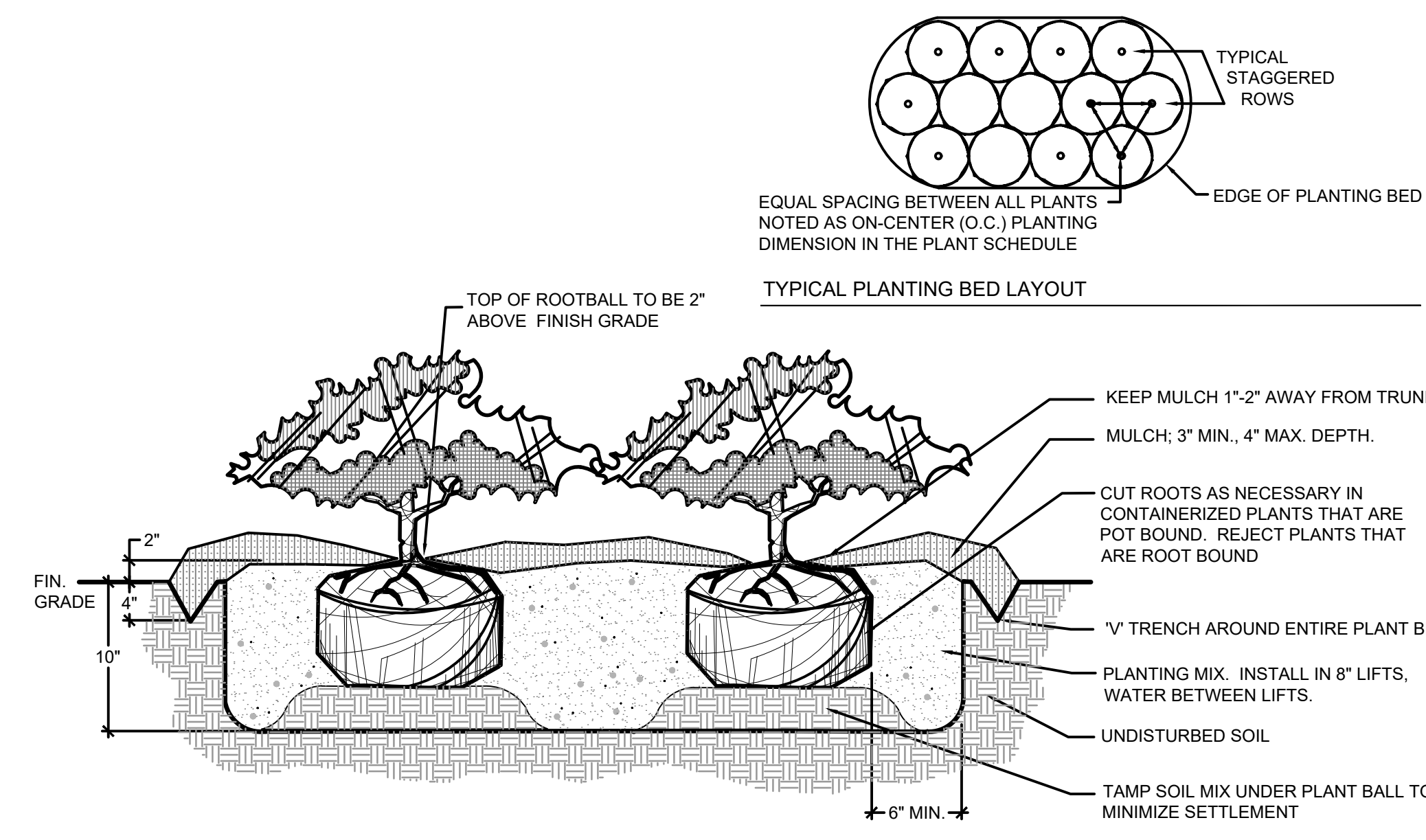
A SINGLE STEM TREE INSTALLATION DETAIL

SCALE: NTS



C GROUNDCOVER INSTALLATION DETAIL

SCALE: NTS



B SHRUB INSTALLATION DETAIL

SCALE: NTS