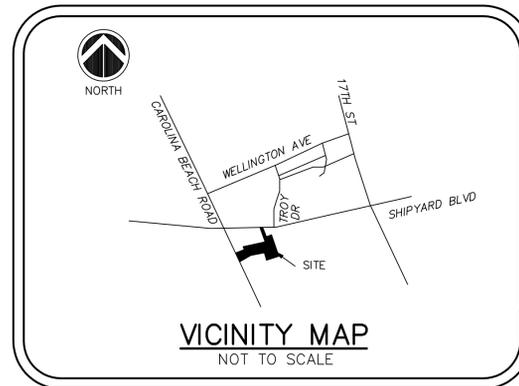
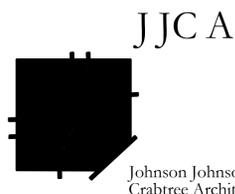


# DEVELOPMENT PLANS for PARTIAL HOSPITALIZATION CENTER WILMINGTON TREATMENT CENTER 2645-2651 CAROLINA BEACH ROAD Wilmington, North Carolina



CONTENTS	
INV	INVENTORY OF EXISTING SITE CONDITIONS
C100	DEMOLITION PLAN
C200	SITE PLAN
C210	SITE DETAILS
C211	SITE DETAILS
C212	SITE DETAILS
C213	SITE DETAILS
C214	SITE DETAILS
C300	SITE GRADING PLAN
C310	SITE GRADING DETAILS
C402	DRAINAGE PLAN
C410	DRAINAGE PLAN DETAILS
C411	DRAINAGE PLAN DETAILS
L100	LANDSCAPE PLAN Not Included
L.101	LANDSCAPE PLAN Not Included
L.102	LANDSCAPE PLAN Not Included
ARCHITECTURAL DRAWINGS	
A2.1	HOSPITAL ELEVATIONS
A2.2	HOSPITAL ELEVATIONS
A2.3	DORMATORY ELEVATIONS
A2.20	HOSPITAL PERSPECTIVE
A2.21	DORMATORY PERSPECTIVE

**ARCHITECT:**



4551 Trousdale Drive  
Nashville, TN 37204  
tel 615.837.0656  
fax 615.837.0657

**ENGINEER/LAND PLANNING:**

Ingram Civil Engineering Group, LLC  
240 Wilson Pike Circle Suite 200  
Brentwood, TN 37027  
(615)370-7964

**SURVEYOR:**

McKim&Creed  
243 N. Front Street  
WILMINGTON, NC 28401  
(910)343-8282

**OWNER:**



6100 Tower Circle, Suite 1000  
Franklin, TN 37067  
(910)254-5434  
Local Contact: Pamela Stalls



**Coastal Land Design, PLLC**

Civil Engineering / Landscape Architecture  
Land Planning / Construction Management  
NCBELS Firm License No: P-0369

P.O.Box 1172  
Wilmington, NC 28402  
www.cldeng.com  
Phone: 910-254-9333  
Fax: 910-254-0502

**WILMINGTON**  
NORTH CAROLINA

Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

**WILMINGTON**  
NORTH CAROLINA

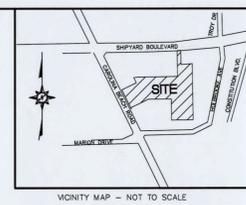
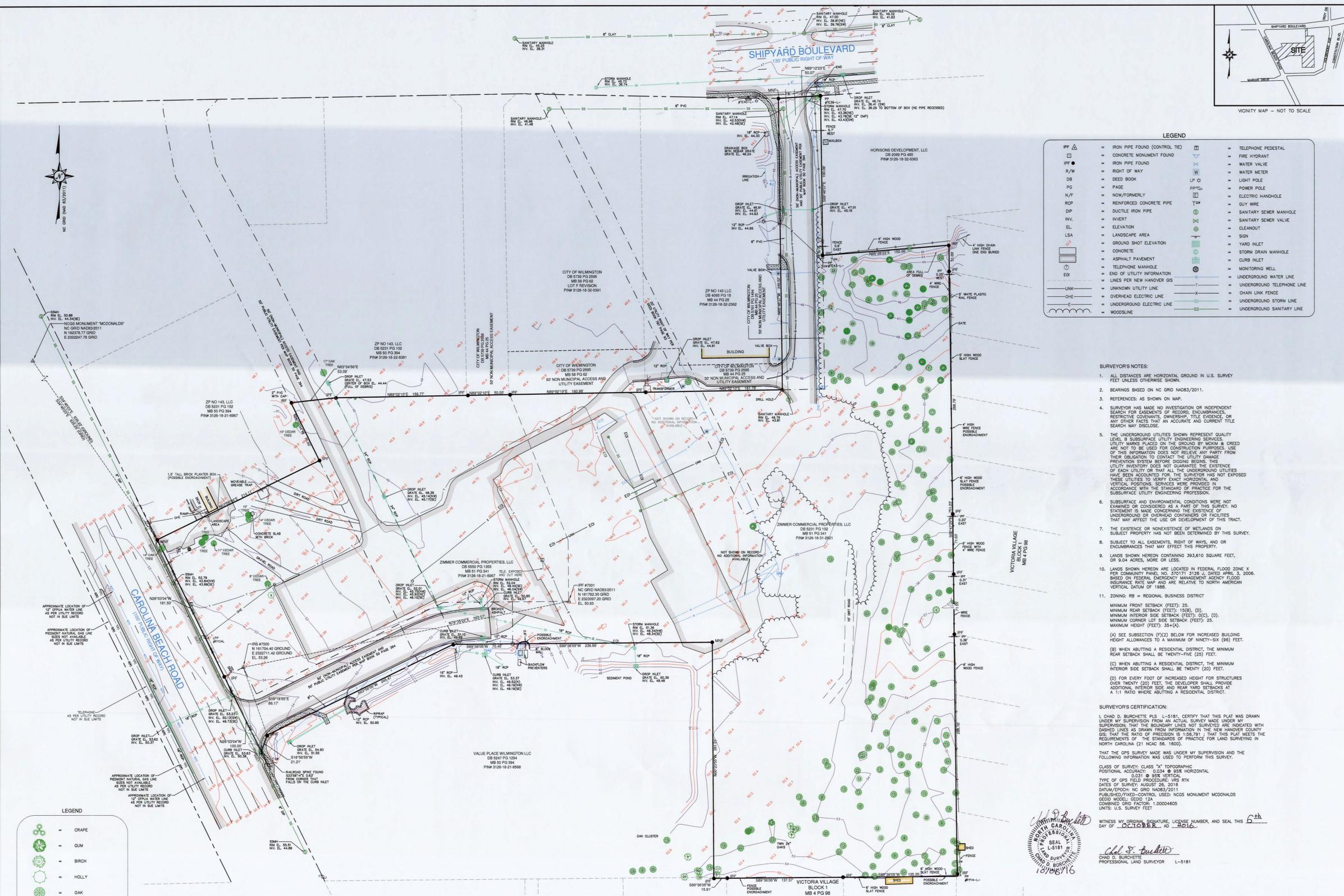
Public Services Engineering Division  
APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

PRELIMINARY DESIGN  
NOT FOR CONSTRUCTION



**LEGEND**

IPF $\Delta$	= IRON PIPE FOUND (CONTROL TIE)	IPF $\square$	= TELEPHONE PEDESTAL
IPF $\square$	= CONCRETE MONUMENT FOUND	IPF $\circ$	= FIRE HYDRANT
IPF $\bullet$	= IRON PIPE FOUND	IPF $\square$	= WATER VALVE
R/W	= RIGHT OF WAY	IPF $\square$	= WATER METER
DB	= DEED BOOK	IPF $\square$	= LIGHT POLE
PG	= PAGE	IPF $\square$	= POWER POLE
N/F	= NOW/FORMERLY	IPF $\square$	= ELECTRIC HANDHOLE
RCP	= REINFORCED CONCRETE PIPE	IPF $\square$	= GUY WIRE
DIP	= DUCTILE IRON PIPE	IPF $\square$	= SANITARY SEWER MANHOLE
INV.	= INVERT	IPF $\square$	= SANITARY SEWER VALVE
EL	= ELEVATION	IPF $\square$	= CLEANOUT
LSA	= LANDSCAPE AREA	IPF $\square$	= SIGN
—	= GROUND SHOT ELEVATION	IPF $\square$	= YARD INLET
—	= CONCRETE	IPF $\square$	= STORM DRAIN MANHOLE
—	= ASPHALT PAVEMENT	IPF $\square$	= CURB INLET
—	= TELEPHONE MANHOLE	IPF $\square$	= MONITORING WELL
—	= END OF UTILITY INFORMATION	IPF $\square$	= UNDERGROUND WATER LINE
—	= LINES PER NEW HANOVER GIS	IPF $\square$	= UNDERGROUND TELEPHONE LINE
—	= UNKNOWN UTILITY LINE	IPF $\square$	= CHAIN LINK FENCE
—	= OVERHEAD ELECTRIC LINE	IPF $\square$	= UNDERGROUND STORM LINE
—	= UNDERGROUND ELECTRIC LINE	IPF $\square$	= UNDERGROUND SANITARY LINE
—	= WOODLINE		

- SURVEYOR'S NOTES:**
- ALL DISTANCES ARE HORIZONTAL GROUND IN U.S. SURVEY FEET UNLESS OTHERWISE SHOWN.
  - BEARINGS BASED ON NC GRID NAD83/2011.
  - REFERENCES: AS SHOWN ON MAP.
  - SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
  - THE UNDERGROUND UTILITIES SHOWN REPRESENT QUALITY LEVEL 1 SURFACE UTILITY ENGINEERING SERVICES. UTILITY MARKS PLACED ON THE GROUND BY MCKIM & CREED ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES. USE OF THIS INFORMATION DOES NOT RELIEVE ANY PARTY FROM THEIR OBLIGATION TO CONTACT THE UTILITY DAMAGE PREVENTION SYSTEM BEFORE DIGGING BEGINS. THIS UTILITY INVENTORY DOES NOT GUARANTEE THE EXISTENCE OF EACH UTILITY OR THAT ALL THE UNDERGROUND UTILITIES HAVE BEEN ACCOUNTED FOR. THE SURVEYOR HAS NOT EXPOSED THESE UTILITIES TO VERIFY EXACT HORIZONTAL AND VERTICAL POSITIONS. SERVICES WERE PROVIDED IN ACCORDANCE WITH THE STANDARD OF PRACTICE FOR THE SURFACE UTILITY ENGINEERING PROFESSION.
  - SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
  - THE EXISTENCE OR NONEXISTENCE OF WETLANDS ON SUBJECT PROPERTY HAS NOT BEEN DETERMINED BY THIS SURVEY.
  - SUBJECT TO ALL EASEMENTS, RIGHTS OF WAYS, AND ENCUMBRANCES THAT MAY AFFECT THIS PROPERTY.
  - LANDS SHOWN HEREON CONTAINING 393,610 SQUARE FEET, OR 9.04 ACRES, MORE OR LESS.
  - LANDS SHOWN HEREON ARE LOCATED IN FEDERAL FLOOD ZONE X FEET COMMUNITY PANEL NO. 370171 3126 U. DATED APRIL 1, 2006. BASED ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP AND ARE RELATIVE TO NORTH AMERICAN VERTICAL DATUM OF 1988.
  - ZONING: RB = REGIONAL BUSINESS DISTRICT  
 MINIMUM FRONT SETBACK (FEET): 25  
 MINIMUM REAR SETBACK (FEET): 15(0), (0)  
 MINIMUM INTERIOR SIDE SETBACK (FEET): (0), (0)  
 MINIMUM CORNER LOT SIDE SETBACK (FEET): 25  
 MAXIMUM HEIGHT (FEET): 35+ (4)  
 (A) SEE SUBSECTION (F)(2) BELOW FOR INCREASED BUILDING HEIGHT ALLOWANCES TO A MAXIMUM OF NINETY-SIX (96) FEET.  
 (B) WHEN ABUTTING A RESIDENTIAL DISTRICT, THE MINIMUM REAR SETBACK SHALL BE TWENTY-FIVE (25) FEET.  
 (C) WHEN ABUTTING A RESIDENTIAL DISTRICT, THE MINIMUM INTERIOR SIDE SETBACK SHALL BE TWENTY (20) FEET.  
 (D) FOR EVERY FOOT OF INCREASED HEIGHT FOR STRUCTURES OVER TWENTY (20) FEET, THE DEVELOPER SHALL PROVIDE ADDITIONAL INTERIOR SIDE AND REAR YARD SETBACKS AT A 1:1 RATIO WHERE ABUTTING A RESIDENTIAL DISTRICT.

**SURVEYOR'S CERTIFICATION:**

I, CHAD D. BURCHETTE, PLS L-5181, CERTIFY THAT THIS PLAN WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, THAT THE BOUNDARY LINES NOT SURVEYED ARE INDICATED WITH DASHED LINES AS DRAWN FROM INFORMATION IN THE NEW HANOVER COUNTY GIS THAT THE DATE OF PRECISION IS 1/28/21; THAT THIS PLAN MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 26, 1600).

THAT THE GPS SURVEY WAS MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THIS SURVEY:

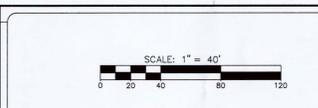
CLASS OF SURVEY: CLASS "A" TOPOGRAPHIC  
 POSITIONAL ACCURACY: 0.024 @ 95% HORIZONTAL  
 0.031 @ 95% VERTICAL  
 TYPE OF GPS FIELD PROCEDURE: VRS RTK  
 DATES OF SURVEY: AUGUST 26, 2016  
 DATUM/EPOCH: NC GRID NAD83/2011  
 PUBLISHED/FIXED-CONTROL USED: NCGS MONUMENT MCDONALDS  
 GEOID MODEL: GDS02 12A  
 COMBINED GRID FACTOR: 1.00004605  
 UNITS: U.S. SURVEY FEET

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER, AND SEAL THIS DAY OF OCTOBER AD 2016.

*Chad D. Burchette*  
 CHAD D. BURCHETTE  
 PROFESSIONAL LAND SURVEYOR L-5181

**LEGEND**

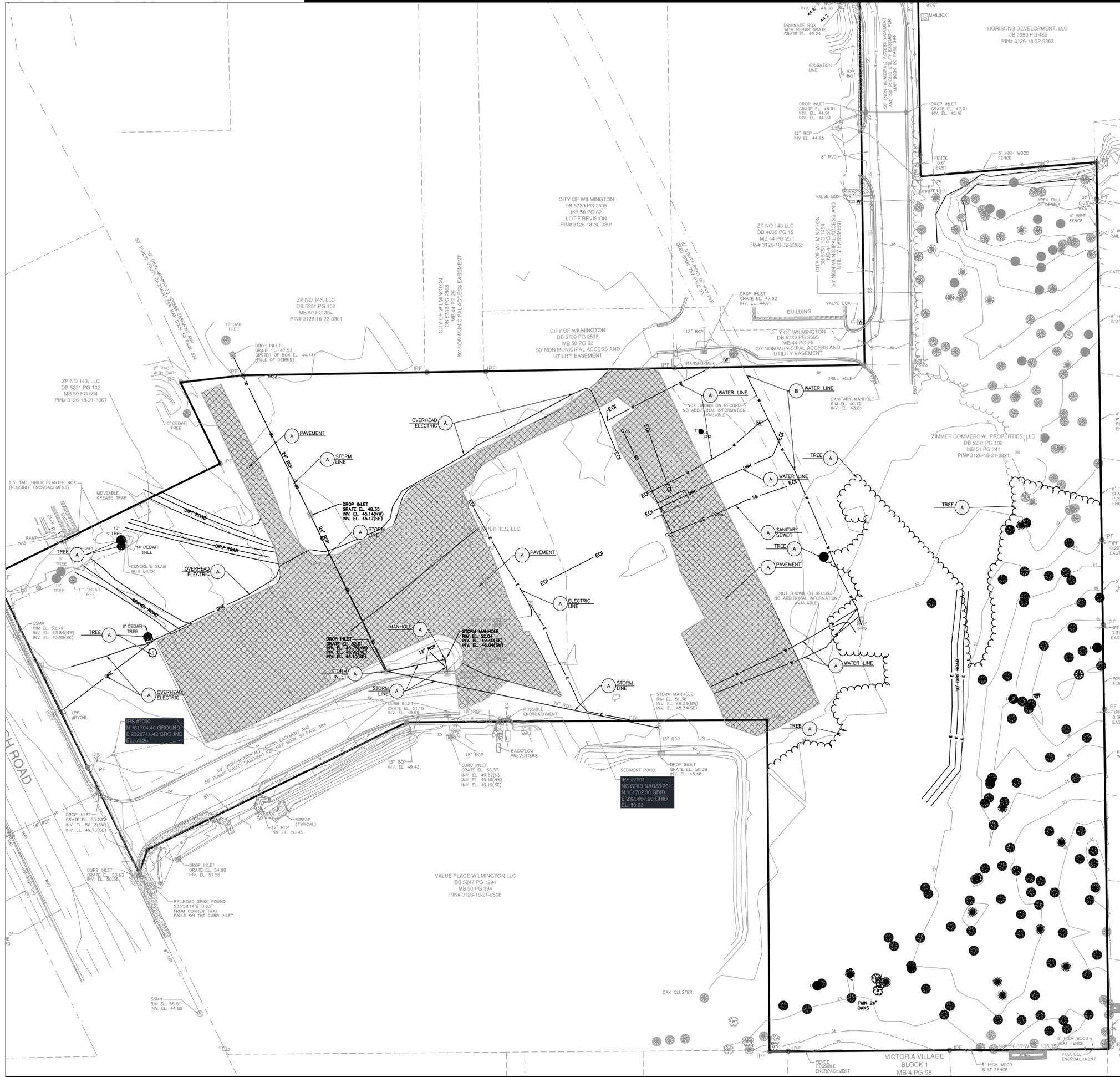
	= CRAPE
	= OAK
	= BIRCH
	= HOLLY
	= MAGNOLIA
	= MAPLE
	= MIMOSA
	= PINE



**MCKIM & CREED**  
 243 NORTH FRONT STREET  
 WILMINGTON, NORTH CAROLINA 28401  
 TELEPHONE: (910) 343-1048  
 FAX: (910) 251-8282  
 NORTH CAROLINA FIRM LICENSE NUMBER: F-1222

**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 FOR  
**WILMINGTON TREATMENT CENTER SITE NO. 2**  
 2651 & 2645 CAROLINA BEACH ROAD  
 ZIMMER COMMERCIAL PROPERTIES  
 CITY OF WILMINGTON, NEW HANOVER COUNTY, NORTH CAROLINA  
 SEPTEMBER 28, 2016 1" = 40'

JOB NUMBER:	04379-0003
SCALE:	1" = 40'
CAD NUMBER:	VA101-043790003_WTC2.DWG
PLS:	JW
PARTY CHIEF:	JW
CAD TECH:	FR/PS
FIELD BOOK/PAGE:	FR/PS
DRAWING NUMBER:	2016-008
<b>SHEET 1 OF 1</b>	



**GENERAL DEMOLITION NOTES**

1. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE CITY OF WILMINGTON/NEW HANOVER COUNTY STANDARD SITE WORK SPECIFICATIONS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS, AS NOTED. SEE SITE WORK SPECIFICATIONS.
3. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
4. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
5. ENGINEER'S NOTICE TO CONTRACTOR: THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
6. SITE LAYOUT FOR WILMINGTON TREATMENT CENTER SITE NO. 2 BY INGRAM CIVIL ENGINEERING GROUP, LLC, BASED ON SITE SURVEY BY MCKIM & CREED ON 05-16-2016. ORIGINAL TOPOGRAPHICAL INFORMATION IS BASED ON A SURVEY BY MCKIM & CREED ON 05-16-2016. THE ENGINEER, THE OWNER, OR ANY OF THE OWNER'S CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION.
7. ALL NOTED DISTANCES WITH REGARD TO ITEMS TO BE DEMOLISHED ARE APPROXIMATE.

**DEMOLITION NOTES**

- A TO BE REMOVED
- B TO BE RELOCATED. SEE XXXXXXXX FOR MORE INFORMATION

**LEGEND: DEMOLITION**

- EXISTING PAVEMENT TO BE SAWCUT & REMOVED
- EXISTING BUILDING TO BE REMOVED

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

**DEMOLITION PLAN**



JJCA

New Partial Hospitalization Center for:  
**Wilmington Treatment Center**  
Wilmington, NC

**ACADIA**  
HEALTHCARE

**INGRAM CIVIL ENGINEERING GROUP, LLC**  
240 WILSON FIRE CIRCLE, STE. 200  
BENTWOOD, TENNESSEE 37027  
615.370.7964 OFFICE  
615.370.1273 FAX  
STATE OF NORTH CAROLINA  
PROFESSIONAL ENGINEER  
LICENSE # 027243  
CURTIS P. INGRAM

PROJECT NUMBER  
**15678.01**  
DATE  
**October 19, 2016**

**C100**  
DEMOLITION PLAN

Johnson Johnson  
Crabtree Architects PC  
4551 Trousdale Drive  
Nashville, TN 37204  
Tel: 615.837.0656  
Fax: 615.837.0657

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_



Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

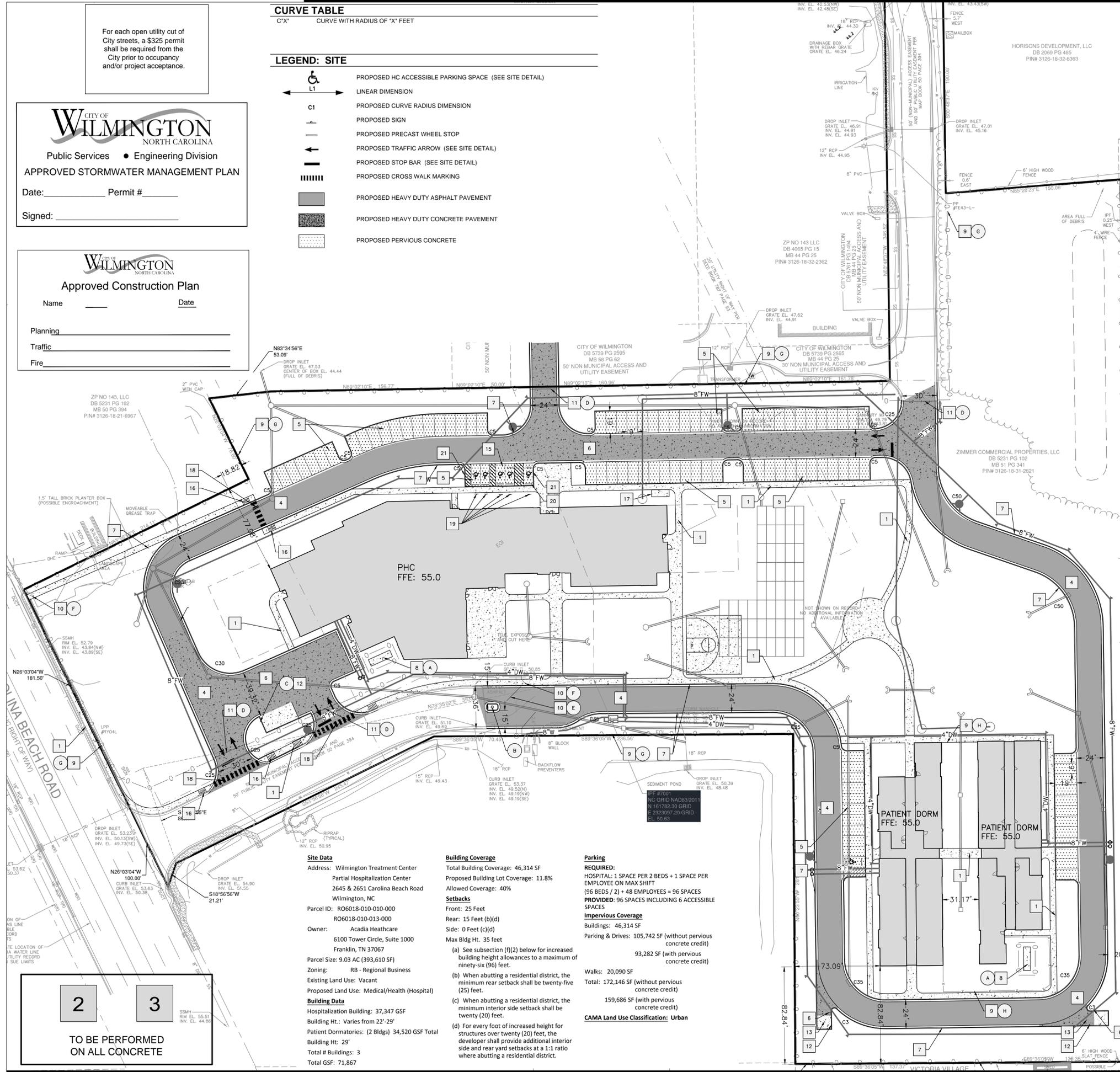
Fire \_\_\_\_\_

CURVE TABLE

C"X" CURVE WITH RADIUS OF "X" FEET

LEGEND: SITE

- PROPOSED HC ACCESSIBLE PARKING SPACE (SEE SITE DETAIL)
- LINEAR DIMENSION
- PROPOSED CURVE RADIUS DIMENSION
- PROPOSED SIGN
- PROPOSED PRECAST WHEEL STOP
- PROPOSED TRAFFIC ARROW (SEE SITE DETAIL)
- PROPOSED STOP BAR (SEE SITE DETAIL)
- PROPOSED CROSS WALK MARKING
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED PERVIOUS CONCRETE



GENERAL SITE NOTES

1. SITE LAYOUT FOR WILMINGTON TREATMENT CENTER SITE NO. 2 BY INGRAM CIVIL ENGINEERING GROUP, LLC, BASED ON SITE SURVEY BY MCKIM & CREED ON 05-16-2016.
2. ORIGINAL TOPOGRAPHICAL INFORMATION IS BASED ON A SURVEY BY MCKIM & CREED ON 05-16-2016. THE ENGINEER, THE OWNER, OR ANY OF THE OWNER'S CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION.
3. ALL CIVIL/SITE WORK ELEMENTS INDICATED TO BE CONSTRUCTED ON THE PLANS ARE TO BE BUILT IN STRICT ACCORDANCE WITH THE STANDARDS ADOPTED BY THE CITY OF WILMINGTON/NEW HANOVER COUNTY, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL SITE WORK MUST ALSO COMPLY WITH THE CITY OF WILMINGTON/NEW HANOVER COUNTY ENVIRONMENTAL REQUIREMENTS AND FEDERAL EPA REQUIREMENTS.
4. WRITTEN DIMENSIONS PREVAIL. DO NOT SCALE THESE DRAWINGS. PRINTED DIMENSIONS WHICH ARE OMITTED OR IN CONFLICT SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER FOR REVIEW AND RESPONSE. DIMENSIONS ARE FROM FACE OF CURB/ EDGE OF PAVEMENT AND FACE OF BUILDING, UNLESS NOTED OTHERWISE.
5. DIMENSIONS LOCATING THE BUILDING IN RELATIONSHIP TO THE PROPERTY LINES HAVE BEEN PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. WHERE POSSIBLE, COORDINATES CAN BE USED TO ESTABLISH PHYSICAL LENGTHS ALONG THE BUILDING PERIMETER. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FROM STRUCTURAL AND ARCHITECTURAL DRAWINGS THE ACTUAL EXTENT OF THE BUILDING ON THE PROPERTY. BUILDING LAYOUT SHALL BE BASED SOLELY ON DIMENSIONAL INFORMATION PROVIDED ON STRUCTURAL AND ARCHITECTURAL DRAWINGS. DISCREPANCIES WHICH IMPACT SITE LAYOUT SHOULD BE IMMEDIATELY REPORTED TO THE ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL SITE FEATURES, (BUILDINGS, ROADS, PARKING, PADS, WALKS, ETC.) AND WILL EMPLOY A LAND SURVEYOR LICENSED TO PRACTICE IN THE PROJECT'S REGION OF CONSTRUCTION TO STAKE OUT AND MAINTAIN ALL REQUIRED CONTROL POINTS THROUGHOUT THE LIFE OF THE PROJECT. THE SURVEYOR SHALL CERTIFY TO THE ENGINEER, IN WRITING, THAT THE LAYOUT IN THE FIELD SUBSTANTIALLY CONFORMS TO THE LAYOUT INDICATED ON THE CONTRACT DOCUMENTS. LAYOUT DISCREPANCIES OR CHANGES SHOULD BE SO NOTED TO THE ENGINEER.
7. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS, MONUMENTS, HUBS, AND STAKED LOT CORNERS DURING THE CONSTRUCTION OF THE WORK AND SHALL BEAR ANY COST ASSOCIATED WITH REPAIR.
8. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS, AND PAY ALL PERMIT FEES. THE CONTRACTOR SHALL CONFORM TO ALL STATE AND LOCAL CODES AND ORDINANCES AND RECEIVE APPROPRIATE APPROVALS WHERE REQUIRED PRIOR TO COMMENCEMENT OF THE WORK.
9. MATERIALS AND PROCESSES OF CONSTRUCTION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. WHILE THE ENGINEER HAS PROVIDED, FOR THE CONVENIENCE OF THE CONTRACTOR, DRAWINGS OUTLINING CERTAIN REQUIRED OSHA MINIMUM SAFETY PRACTICES, THE ENGINEER DOES NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION OR FOR VERIFYING THAT SUCH MEASURES ARE IMPLEMENTED ON SITE. MAINTAINING A SAFE ENVIRONMENT DURING THE PROMULGATION OF THE WORK IS THE RESPONSIBILITY OF THE CONTRACTOR, THE ENGINEER, THE OWNER AND OTHER CONSULTANTS, HAVE NO EXPERTISE, NOR ACCEPT ANY LIABILITY, IMPLIED OR OTHERWISE, FOR MATERIALS AND PROCESSES OF CONSTRUCTION.
10. THE CONTRACTOR SHALL NOT COMMENCE ANY WORK WHICH IS NOT UNDER THE CONTROL OR OWNERSHIP OF THE OWNER WITHOUT WRITTEN PERMISSION FROM THE PROPERTY'S OWNER OR CONTROLLING INTEREST. WHERE CONTROLLING INTEREST IS A LOCAL, STATE, OR FEDERAL AGENCY, THEN APPROVAL FOR CONSTRUCTION SHALL CONSTITUTE AUTHORITY TO COMMENCE WORK.
11. WHERE NOT SPECIFICALLY NOTED OTHERWISE, ALL CONCRETE FINISHES SHALL BE SLIP RESISTANT PER TECHNICAL SPECIFICATIONS.
12. ALL ACCESSIBLE PARKING SPACES, INDICATED WITH THE GRAPHIC ACCESSIBLE SYMBOL, DENOTE ACCESSIBLE PARKING SPACES. THESE SPACES ARE DESIGNED TO CONFORM TO ADA AND NORTH CAROLINA ACCESSIBILITY STANDARD SPECIFICATIONS. ALL INDICATED SPACES SHALL RECEIVE THE PAINTED SYMBOL AND APPROPRIATE IDENTIFICATION SIGNAGE. WHERE REQUIREMENTS ARE DIFFERENT OR IN EXCESS OF THESE, THE CONTRACTOR WILL ALLOW FOR THOSE ADDITIONAL REQUIREMENTS IN HIS PRICE AND PROMPTLY SUBMIT THEM TO THE ENGINEER.
13. THE CONTRACTOR IS RESPONSIBLE FOR USING THE ONE-CALL SYSTEM OR OTHER MEANS TO CONTACT AND VERIFY LOCATIONS OF ALL UTILITIES. THE CONTRACTOR IS FULLY RESPONSIBLE FOR REPAIRS TO DAMAGED UTILITIES.
14. THE CONTRACTOR IS TO CONTROL TRAFFIC FLOW DURING TIME OF CONSTRUCTION. ANY AND ALL TRAFFIC CONTROL IMPLEMENTED DURING THIS PROJECT SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
15. ALL WORK WITHIN PUBLIC RIGHT-OF-WAY MUST BE IN ACCORDANCE WITH CITY OF WILMINGTON/NEW HANOVER COUNTY AND NC D.O.T. REGULATIONS.

SITE NOTES

- A 20'x6' GENERATOR PAD WITH FENCE
- B GATE KEYPAD/CARD READER IN CONCRETE ISLAND
- C COMPACTOR PAD WITH ENCLOSURE
- D 6' HIGH BY 30' WIDE AUTOMATED CANTILEVER GATE
- E 6' HIGH BY 30' WIDE AUTOMATED DOUBLE LEAF SWING GATE
- F 6' HIGH BY 4' WIDE SINGLE LEAF SWING GATE
- G 6' HIGH IMPASSE II FENCE
- H 4' HIGH IMPASSE II FENCE

SITE DETAILS

- 1 CONCRETE SIDEWALK
- 2 CONCRETE JOINTS
- 3 CONCRETE JOINT SEALANTS
- 4 HEAVY DUTY ASPHALT PAVEMENT
- 5 PERVIOUS CONCRETE PAVEMENT
- 6 HEAVY DUTY CONCRETE PAVEMENT
- 7 CONCRETE CURB AND GUTTER
- 8 CONCRETE MECHANICAL PAD
- 9 IMPASSE II FENCE
- 10 IMPASSE II SWING GATE
- 11 TRANSPORT II CANTILEVER GATE
- 12 DUMPSTER PAD WITH ENCLOSURE
- 13 WOOD DUMPSTER SCREEN FENCE
- 14 ACCESSIBLE SYMBOL
- 15 ACCESSIBLE PARKING SPACES LAYOUT
- 16 ACCESSIBLE CURB RAMP
- 17 BIKE RACK
- 18 CROSSWALK
- 19 ACCESSIBLE SIGN
- 20 WHEEL STOP
- 21 CURB TRANSITION (ASPHALT UP)

Site Data

Address: Wilmington Treatment Center  
 Partial Hospitalization Center  
 2645 & 2651 Carolina Beach Road  
 Wilmington, NC  
 Parcel ID: RO6018-010-010-000  
 RO6018-010-013-000  
 Owner: Acadia Healthcare  
 6100 Tower Circle, Suite 1000  
 Franklin, TN 37067  
 Parcel Size: 9.03 AC (393,610 SF)  
 Zoning: RB - Regional Business  
 Existing Land Use: Vacant  
 Proposed Land Use: Medical/Health (Hospital)  
**Building Data**  
 Hospitalization Building: 37,347 GSF  
 Building Ht.: Varies from 22'-29'  
 Patient Dormitories: (2 Bldgs) 34,520 GSF Total  
 Building Ht.: 29'  
 Total # Buildings: 3  
 Total GSF: 71,867

Building Coverage

Total Building Coverage: 46,314 SF  
 Proposed Building Lot Coverage: 11.8%  
 Allowed Coverage: 40%

Setbacks

- Front: 25 Feet
- Rear: 15 Feet (b)(d)
- Side: 0 Feet (c)(d)
- Max Bldg Ht. 35 feet
- (a) See subsection (f)(2) below for increased building height allowances to a maximum of ninety-six (96) feet.
- (b) When abutting a residential district, the minimum rear setback shall be twenty-five (25) feet.
- (c) When abutting a residential district, the minimum interior side setback shall be twenty (20) feet.
- (d) For every foot of increased height for structures over twenty (20) feet, the developer shall provide additional interior side and rear yard setbacks at a 1:1 ratio where abutting a residential district.

Parking

REQUIRED:  
 HOSPITAL: 1 SPACE PER 2 BEDS + 1 SPACE PER EMPLOYEE ON MAX SHIFT  
 (96 BEDS / 2) + 48 EMPLOYEES = 96 SPACES  
 PROVIDED: 96 SPACES INCLUDING 6 ACCESSIBLE SPACES

Impervious Coverage

Buildings: 46,314 SF  
 Parking & Drives: 105,742 SF (without pervious concrete credit)  
 93,282 SF (with pervious concrete credit)  
 Walks: 20,090 SF  
 Total: 172,146 SF (without pervious concrete credit)  
 159,686 SF (with pervious concrete credit)

CAMA Land Use Classification: Urban

2 TO BE PERFORMED ON ALL CONCRETE

SITE PLAN



JJCA

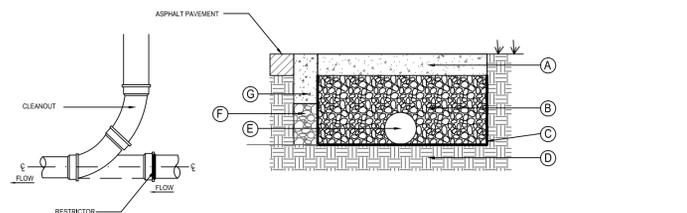


New Partial Hospitalization Center for:  
 Wilmington Treatment Center  
 Wilmington, NC



PROJECT NUMBER  
 15678.01  
 DATE  
 October 19, 2016

C200  
 SITE PLAN



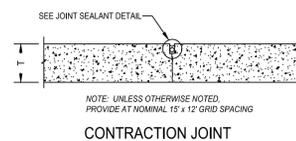
- LIGHT DUTY PAVEMENT STORAGE SECTION**
- (A) 6" PERMEABLE CONCRETE LAYER
  - (B) WASHED #57 STONE, APPROXIMATE 40% VOID SPACE, REFER TO SHEET C402 FOR AGGREGATE DEPTH.
  - (C) MIRAFIX 140N NONWOVEN GEOTEXTILE FABRIC OR EQUIVALENT. WRAP FABRIC UP ALL SIDES
  - (D) SUBGRADE, MINIMAL COMPACTION
  - (E) 6" N12 HDPE PERFORATED PIPE W/POLYESTER SOCK
  - (F) 8" GRANULAR AGGREGATE BASE.
  - (G) 6" WIDE CONCRETE STRIP. EXTEND TO DEPTH OF 8" ASPHALT CRUSHED STONE BASE COURSE.

SEE SPECIFICATIONS FOR MATERIAL REQUIREMENTS

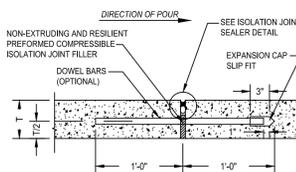
**PERVIOUS PAVEMENT SECTION  
(NOT TO SCALE)**

**NOTE:** A GEOTECH REPORT WITH PAVEMENT RECOMENDATIONS WAS NOT PROVIDED TO THE ENGINEER FOR DESIGN PURPOSES, SECTIONS ARE BASED ON STANDARD ENGINEERING PRACTICE.

5



**CONTRACTION JOINT**



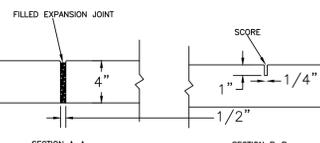
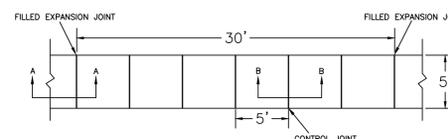
**ISOLATION JOINT**

- NOTE:**
- COORDINATE ALL JOINTS WITH TECHNICAL SPECIFICATIONS
  - DOWEL BARS ARE NOT TO BE USED UNLESS SPECIFICALLY NOTED.

T = PAVEMENT THICKNESS  
TE = THICKNESS OF ADJACENT PAVEMENT

**CONCRETE JOINT DETAILS (TYP)  
(NOT TO SCALE)**

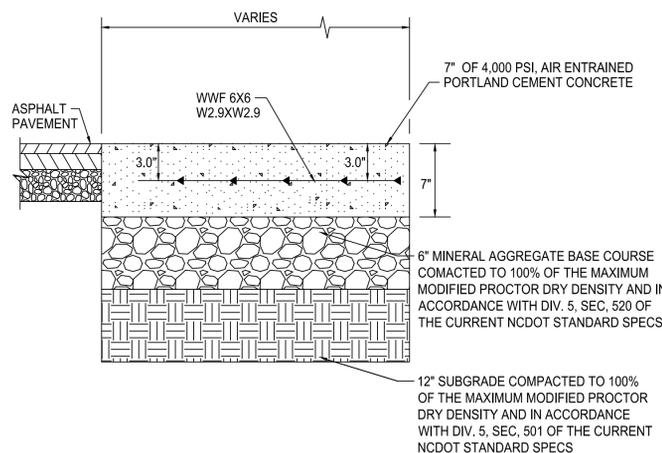
3



- NOTES:**
- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
  - SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
  - MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
  - CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
  - MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
  - 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS
  - MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
  - MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
  - MIN GRADE FOR PROPER DRAINAGE IS 1/4" IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

**CONCRETE SIDEWALK  
(NOT TO SCALE)**

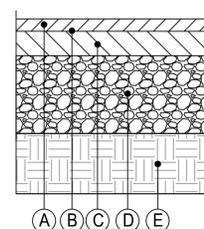
1



**CONCRETE PAVEMENT-HEAVY DUTY  
(NOT TO SCALE)**

**NOTE:** A GEOTECH REPORT WITH PAVEMENT RECOMENDATIONS WAS NOT PROVIDED TO THE ENGINEER FOR DESIGN PURPOSES, SECTIONS ARE BASED ON STANDARD ENGINEERING PRACTICE.

6

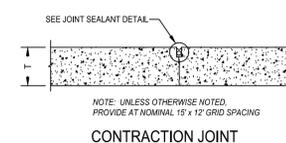


- (A) 1.5" ASPHALTIC SURFACE AND IN ACCORDANCE WITH DIV. 6, SEC. 600 OF THE CURRENT NCDOT STANDARD SPECS COURSE
- (B) TACK COAT
- (C) 2.5" ASPHALTIC BINDER AND IN ACCORDANCE WITH DIV. 6, SEC. 600 OF THE CURRENT NCDOT STANDARD SPECS
- (D) 8" MINERAL AGGREGATE BASE COURSE COMPACTED TO 100% OF THE MAXIMUM MODIFIED PROCTOR DRY DENSITY AND IN ACCORDANCE WITH DIV. 5, SEC. 520 OF THE CURRENT NCDOT STANDARD SPECS
- (E) 12" SUBGRADE COMPACTED TO 100% OF THE MAXIMUM STANDARD PROCTOR DRY DENSITY AND IN ACCORDANCE WITH DIV. 5, SEC. 501 OF THE CURRENT NCDOT STANDARD SPECS

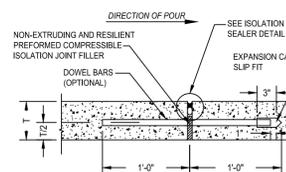
**ASPHALT PAVEMENT SECTION (HEAVY DUTY)  
(NOT TO SCALE)**

**NOTE:** A GEOTECH REPORT WITH PAVEMENT RECOMENDATIONS WAS NOT PROVIDED TO THE ENGINEER FOR DESIGN PURPOSES, SECTIONS ARE BASED ON STANDARD ENGINEERING PRACTICE.

4



**CONTRACTION JOINT**



**ISOLATION JOINT**

- NOTE:**
- COORDINATE ALL JOINTS WITH TECHNICAL SPECIFICATIONS
  - DOWEL BARS ARE NOT TO BE USED UNLESS SPECIFICALLY NOTED.

T = PAVEMENT THICKNESS  
TE = THICKNESS OF ADJACENT PAVEMENT

**CONCRETE JOINT DETAILS (TYP)  
(NOT TO SCALE)**

2

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Public Services • Engineering Division  
**APPROVED STORMWATER MANAGEMENT PLAN**

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_



**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

JJCA



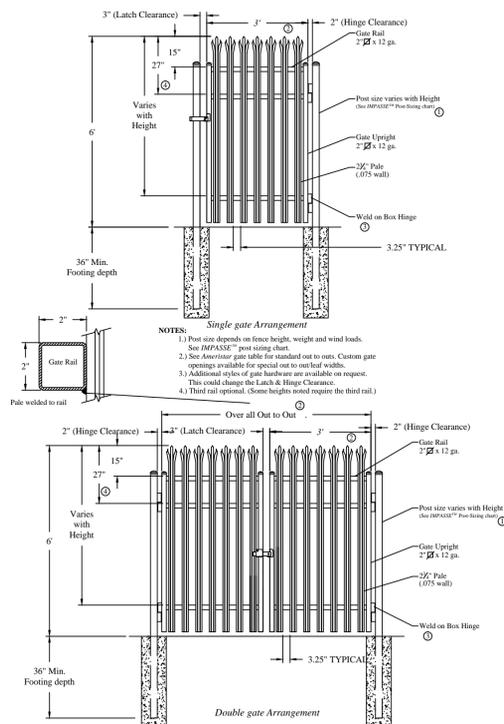
Johnson Johnson  
Crabtree Architects PC  
4551 Trousdale Drive  
Nashville, TN 37204  
615.837.0656  
615.837.0657

New Partial Hospitalization Center for:  
**Wilmington Treatment Center**  
Wilmington, NC



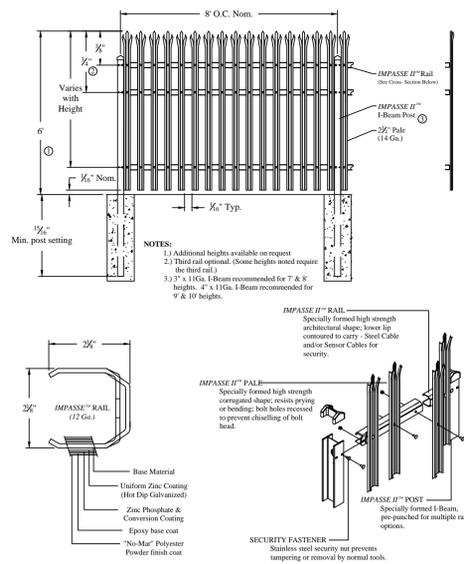
PROJECT NUMBER  
**15678.01**  
DATE  
**October 19, 2016**

**C210**  
SITE  
DETAILS



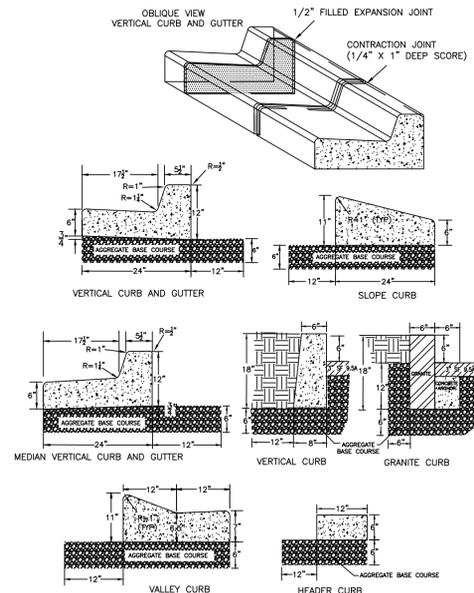
10

IMPASSE II GATE (SINGLE AND DOUBLE LEAF)



9

IMPASSE II FENCE



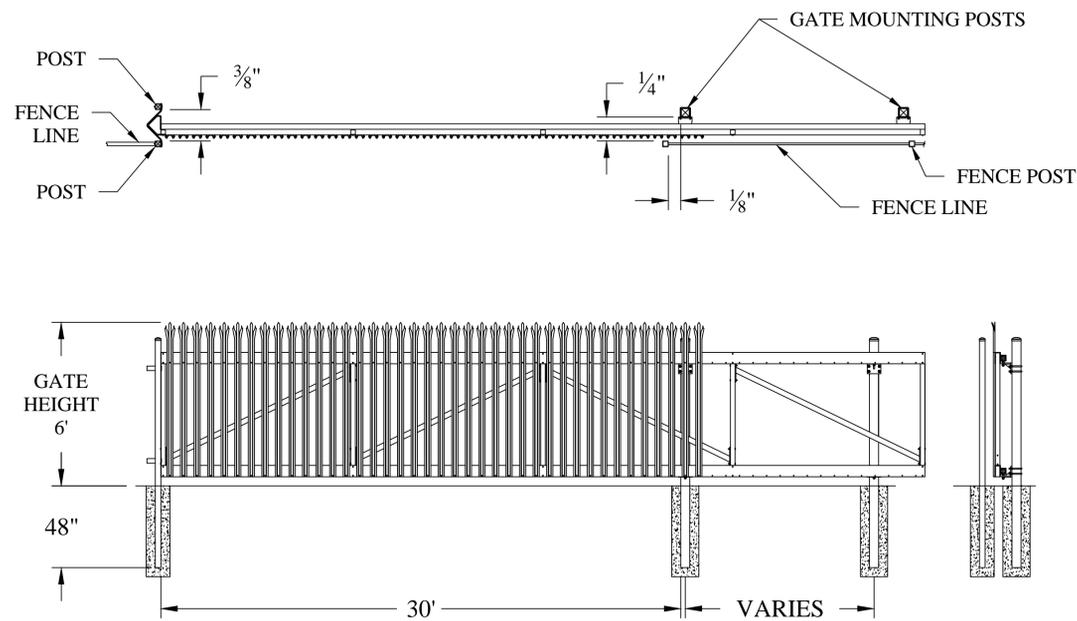
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CURBING  
(NOT TO SCALE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

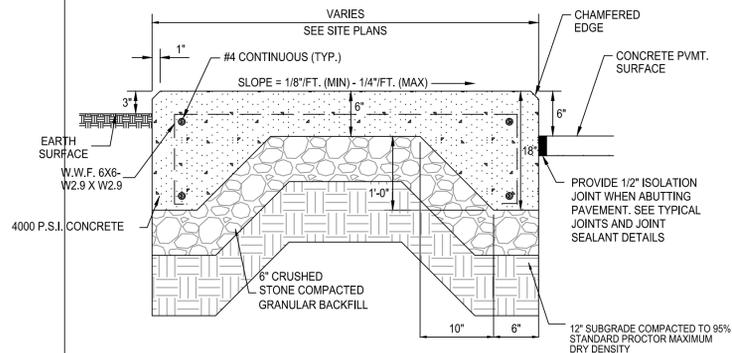
**WILMINGTON**  
NORTH CAROLINA  
Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_



11

TRANSPORT II CANTILEVER GATE WITH TRIDENT TOP

\*PROVIDE MOTORIZED GATE OPERATOR



8

COORDINATE WITH TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT.  
CONCRETE UTILITY PAD  
(NOT TO SCALE)

JJCA

New Partial Hospitalization Center for:  
**Wilmington Treatment Center**  
Wilmington, NC

**ACADIA**  
HEALTHCARE

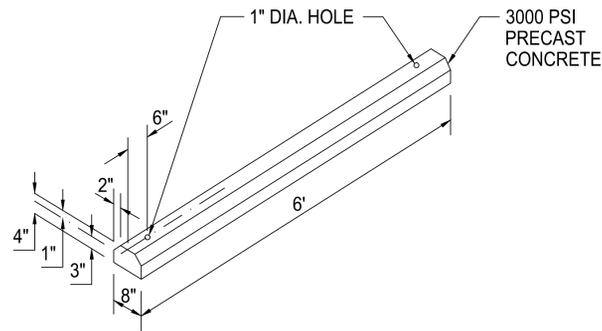
**INGRAM CIVIL ENGINEERING GROUP, LLC**  
240 WILSON FIRE CIRCLE, STE. 200  
BENTWOOD, TENNESSEE 37027  
615.370.7964 OFFICE  
615.370.1275 FAX  
STATE OF NORTH CAROLINA  
PROFESSIONAL ENGINEER  
LICENSE # 027243  
CURTIS P. INGRAM

PROJECT NUMBER  
**15678.01**  
DATE  
**October 19, 2016**

**C211**  
SITE  
DETAILS

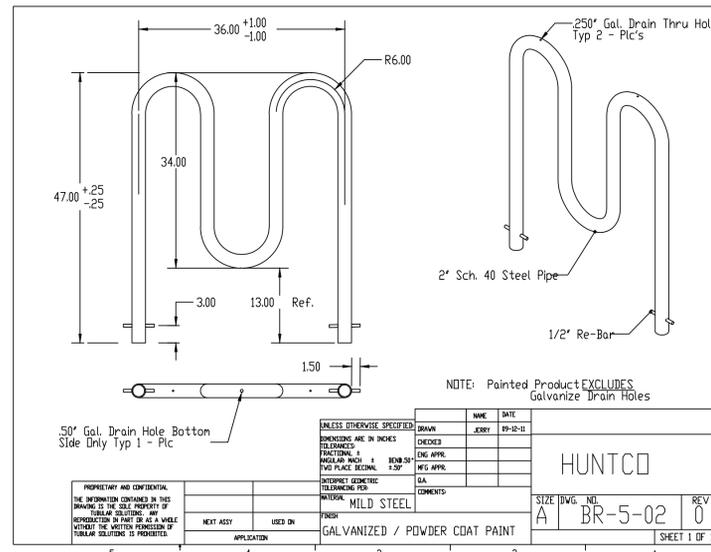
Johnson Johnson Architects P.C.  
4551 Trousdale Drive  
Nashville, TN 37204  
615.837.0656  
615.837.0657





**WHEEL STOP**  
(NOT TO SCALE)

20



17

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_



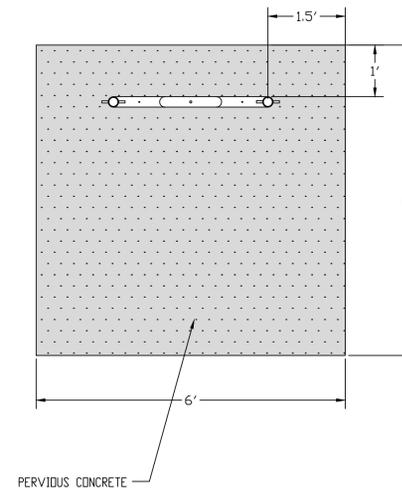
Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

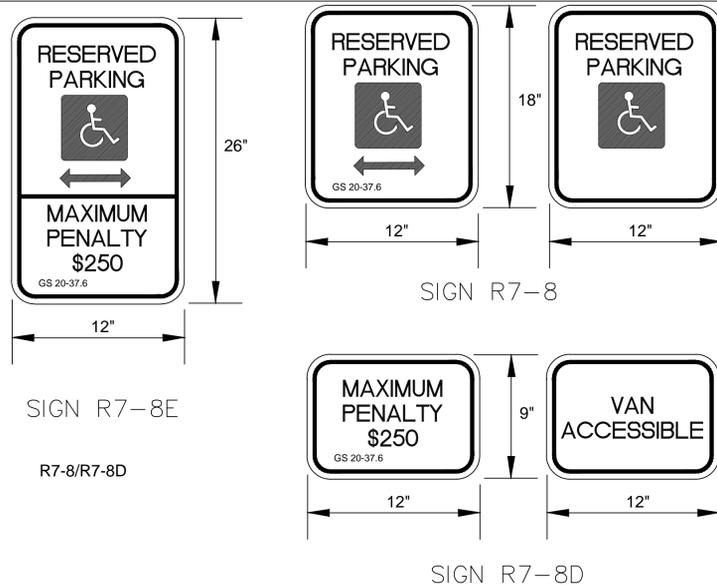
Fire \_\_\_\_\_



JJCA

New Partial Hospitalization Center for:  
Wilmington Treatment Center  
Wilmington, NC

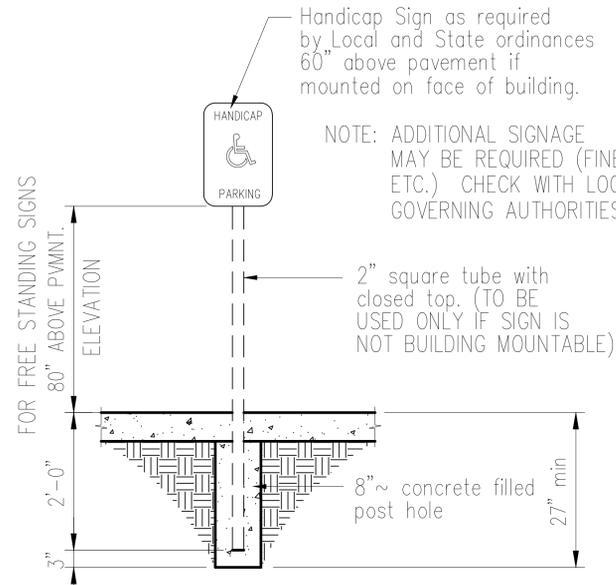
Johnson Johnson  
Crabtree Architects P.C.  
4551 Trousdale Drive  
Nashville, TN 37204  
tel 615.837.0656  
fax 615.837.0657



**HANDICAPPED SIGN DETAIL**

NOT TO SCALE

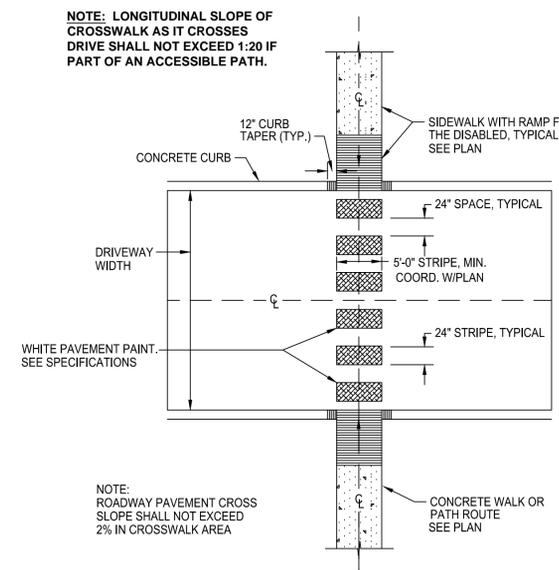
19



**TYPICAL HANDICAP SIGN**

NOT TO SCALE

18

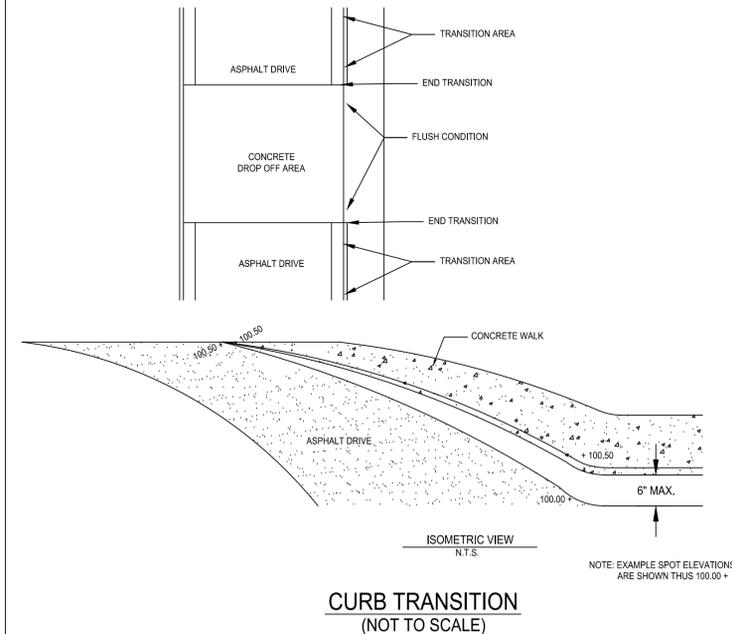


**PAINTED CROSSWALK**  
(NOT TO SCALE)



PROJECT NUMBER  
15678.01  
DATE  
October 19, 2016

**C213**  
SITE  
DETAILS



21

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CITY OF WILMINGTON**  
NORTH CAROLINA

Public Services • Engineering Division

**APPROVED STORMWATER MANAGEMENT PLAN**

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

**CITY OF WILMINGTON**  
NORTH CAROLINA

**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

**JJCA**

Johnson Johnson  
Crabtree Architects P.C.

4551 Trousdale Drive  
Nashville, TN 37204

ref 615.837.0656  
fax 615.837.0657

New Partial Hospitalization Center for:  
**Wilmington Treatment Center**  
Wilmington, NC

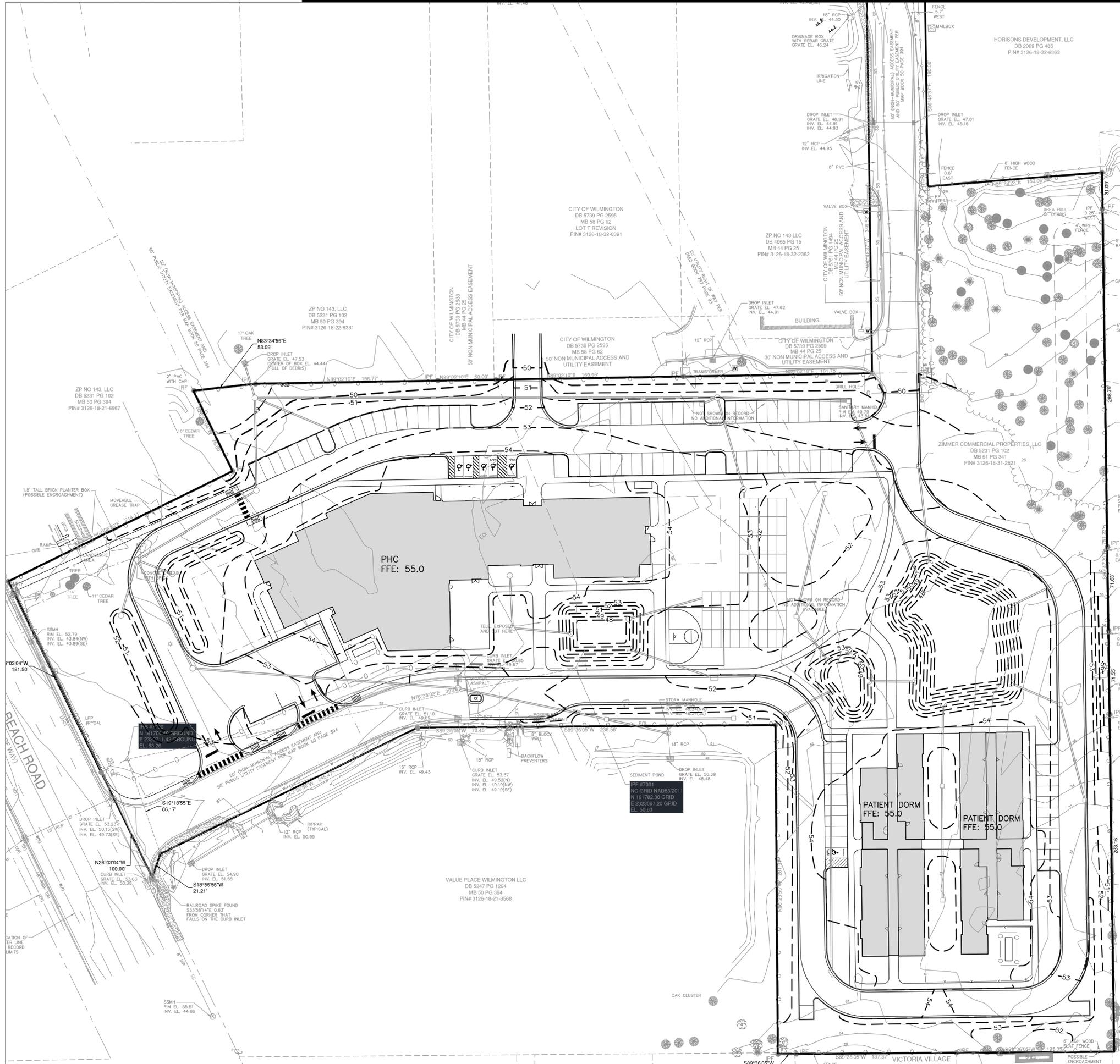
**ACADIA**  
HEALTHCARE

**INGRAM CIVIL ENGINEERING GROUP, LLC**  
240 WILSON FIRE CIRCLE, STE. 200  
BRENTWOOD, TENNESSEE 37027  
615.370.7964 OFFICE  
615.370.1275 FAX  
STATE OF NORTH CAROLINA  
PROFESSIONAL ENGINEER  
LICENSE # 027243  
CURTIS P. INGRAM

PROJECT NUMBER  
**15678.01**

DATE  
**October 19, 2016**

**C214**  
SITE  
DETAILS



**GENERAL GRADING NOTES**

1. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
2. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND SIX INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY LOCATIONS OF ANY UNDERGROUND UTILITIES. THE CONTRACTOR IS TO VERIFY LOCATION OF OVERHEAD UTILITIES. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
4. THE CONTRACTOR IS TO CONTROL TRAFFIC FLOW DURING TIME OF CONSTRUCTION. ANY AND ALL TRAFFIC CONTROL IMPLEMENTED DURING THIS PROJECT SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
5. ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CITY OF WILMINGTON/NEW HANOVER COUNTY AND THE NC D.O.T. REGULATIONS.
6. CONTRACTOR TO COORDINATE LOCATION OF TOP SOIL STOCKPILE AREA WITH OWNER. SILT FENCE SHALL BE PLACED AROUND PERIMETER OF THE STOCKPILE FOR EROSION AND SEDIMENT CONTROL.
7. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS, AND PAY ALL PERMIT FEES. THE CONTRACTOR SHALL CONFORM TO ALL STATE AND LOCAL CODES AND ORDINANCES AND RECEIVE APPROPRIATE APPROVALS WHERE REQUIRED PRIOR TO COMMENCEMENT OF THE WORK.
8. ALL LANDSCAPED SLOPES SHALL BE THREE FEET (3') HORIZONTAL TO ONE FOOT (1') VERTICAL OR FLATTER.
9. CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF A DETAILED ENGINEERING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO EARTHWORK AND DRAINAGE. SHOULD CONTRACTOR HAVE QUESTIONS WITH THIS INTENT, HE SHALL CONTACT THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
10. SLOPE GROUND AWAY FROM BUILDING AT TWO PERCENT (2%) MINIMUM.

**GRADING NOTES**



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
**APPROVED STORMWATER MANAGEMENT PLAN**  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

**CITY OF WILMINGTON**  
NORTH CAROLINA  
**Approved Construction Plan**  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

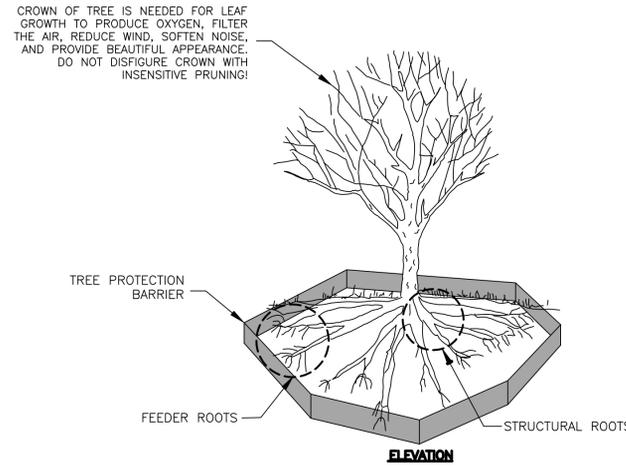


JJCA  
New Partial Hospitalization Center for:  
**Wilmington Treatment Center**  
Wilmington, NC



PROJECT NUMBER  
**15678.01**  
DATE  
**October 19, 2016**

**C300**  
GRADING PLAN

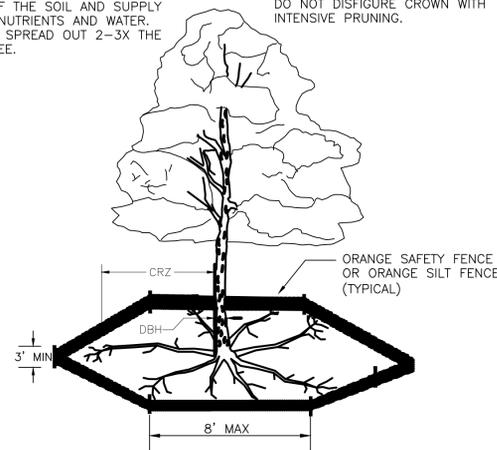


**TREE PROTECTION DURING CONSTRUCTION**

1. CLEARLY MARK THE TREES TO BE SAVED PRIOR TO CONSTRUCTION AND ERECT A PROTECTIVE BARRIER AT THE CRZ. TREE PROTECTION BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
2. CRITICAL ROOT ZONE (CRZ) DISTANCE SHALL BE DETERMINED BY DIAMETER OF THE TREE AT BREAST HEIGHT.
3. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO HEAVY MATERIALS SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED.
4. CUT AND FILL WITHIN DIAMETER OF TREE CROWN.
5. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.

NOTE: THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.

NOTE: CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISFIGURE CROWN WITH INSENSITIVE PRUNING.



- NOTES:**
1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
  2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
  3. IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
  4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
  5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
  6. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_



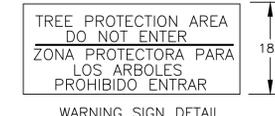
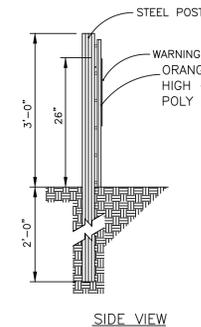
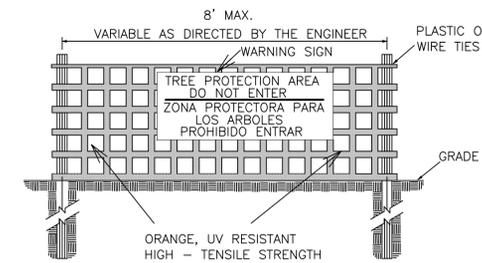
Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_



**NOTES:**

1. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
4. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
5. TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
6. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

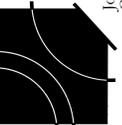


PROJECT NUMBER  
**15678.01**  
DATE  
**October 19, 2016**

**C310**  
GRADING  
DETAILS

JJCA

New Partial Hospitalization Center for:  
**Wilmington Treatment Center**  
Wilmington, NC



Johnson Johnson  
Crabtree Architects PC

4551 Trousdale Drive  
Nashville, TN 37204  
tel 615.837.0656  
fax 615.837.0657

PIPE	LENGTH (FT.)	SIZE (IN.)	TYPE	SLOPE (%)	Q.cap. (cfs)	NOTE
P1	30	24	RCP	0.50		
P2	71	12	RCP	1.99		
P3	79	24	RCP	0.52		
P4	180	24	RCP	0.49		
P5	104	18	RCP	0.58		
P6	228	18	RCP	1.12		
P7	8	12	RCP	11.62		
P8	130	18	RCP	0.53		
P9	54	18	RCP	0.54		
P10	109	12	RCP	0.50		
P11	45	15	RCP	0.49		
P12	49	15	RCP	0.49		
P13	65	18	RCP	2.51		
P14	75	12	RCP	0.08		
P15	396	15	RCP	0.50		
P16	15	12	RCP	0.33		
P17	81	15	RCP	0.47		
P18	8	18	RCP	0.50		
P19	113	12	RCP	0.48		
P20	160	12	RCP	1.56		
P21	108	18	RCP	0.49		
P22	45	12	RCP	0.49		
P23	43	12	RCP	0.49		
P24	241	12	RCP	0.50		
P25	37	24	RCP	0.50		
P26	97	15	RCP	0.50		
P27	68	15	RCP	0.67		
P28	100	12	RCP	0.68		
P29	81	12	RCP	0.66		
P30	44	12	RCP	4.05		
P31	37	12	RCP	0.62		
P32	81	12	RCP	0.50		
P33	32	12	RCP	0.50		
P34	50	12	RCP	0.50		

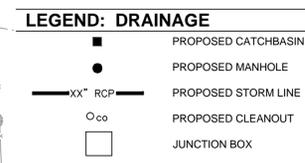


**GENERAL DRAINAGE NOTES**

- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- CONTRACTOR HAS THE OPTION TO BID THE FOLLOWING MATERIAL FOR THE STORM SEWER SYSTEM, EXCEPT WHERE OTHERWISE NOTED: RCP OR SIPP, AS INDICATED ON THIS PLAN, WHERE THE WORD PIPE IS USED. ALL PIPES SHALL HAVE A MAXIMUM ROUGHNESS COEFFICIENT ("N") OF .013 AND SHALL MEET OR EXCEED THE PIPE MANUFACTURERS REQUIREMENTS FOR MINIMUM AND MAXIMUM COVER. CONTRACTOR SHALL REFER TO THE SITE WORK SPECIFICATIONS SECTION FOR STORM SEWER SYSTEMS FOR ACCEPTABLE TYPE AND MATERIAL.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY LOCATIONS OF ANY UNDERGROUND UTILITIES. THE CONTRACTOR IS TO VERIFY LOCATION OF OVERHEAD UTILITIES. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.
- THE CONTRACTOR IS TO CONTROL TRAFFIC FLOW DURING TIME OF CONSTRUCTION. ANY AND ALL TRAFFIC CONTROL IMPLEMENTED DURING THIS PROJECT SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CITY OF WILMINGTON/NEW HANOVER COUNTY.
- THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS, AND PAY ALL PERMIT FEES. THE CONTRACTOR SHALL CONFORM TO ALL STATE AND LOCAL CODES AND ORDINANCES AND RECEIVE APPROPRIATE APPROVALS WHERE REQUIRED PRIOR TO COMMENCEMENT OF THE WORK.
- ALL NEW STRUCTURES SHALL HAVE ANY SEDIMENT REMOVED PRIOR TO ACCEPTANCE.
- CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF A DETAILED ENGINEERING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO EARTHWORK AND DRAINAGE. SHOULD CONTRACTOR HAVE QUESTIONS WITH THIS INTENT, HE SHALL CONTACT THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- ADJUST ALL CASTINGS TO MATCH FINISH GRADES.

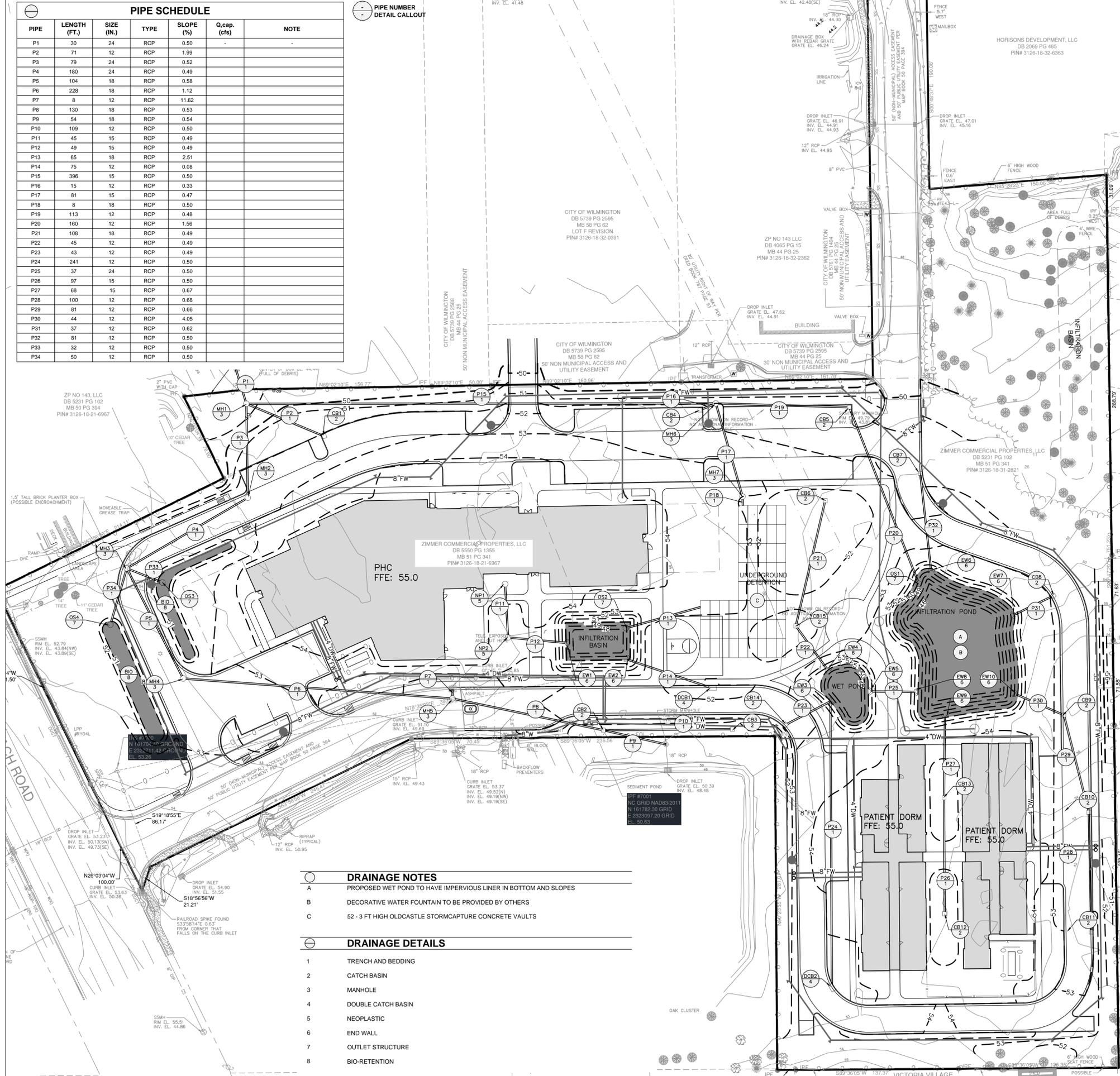
STRUCTURE TYPE AND NUMBER	DETAIL CALLOUT	NOTE
CB		CATCH BASIN
DCB		DOUBLE CATCH BASIN
EW		ENDWALL
CO		CLEAN OUT
MH		MANHOLE

STORM DRAINAGE STRUCTURES			
STRUCTURE	RIM ELEV.	INVERT ELEV.	NOTE
CB1	52.50	44.59	
CB2	50.50	48.05	
CB3	50.50	48.59	
CB4	51.90	46.63	
CB5	51.25	47.12	
CB6	51.25	49.75	
CB7	51.50	49.50	
CB8	52.50	50.50	
CB9	52.50	50.50	
CB10	52.50	50.50	
CB11	52.50	50.50	
CB12	53.00	49.82	
CB13	53.00	49.34	
CB14	62.50	49.21	
MH1	48.75	44.59	
MH2	45.00	45.00	
MH3	45.58	45.58	
MH4	46.18	46.18	
MH5	51.03	48.74	MATCH EXISTING GRADE
MH6	53.50	46.58	
MH7	53.50	46.96	
MH8	51.50	49.22	
DCB1	51.50	49.00	
DCB2	53.00	50.20	
NP1	53.90	48.78	
NP2	53.00	48.56	
EW1	-	48.62	
EW2	-	48.62	
EW3	-	49.00	
EW4	-	49.00	
EW5	-	49.00	
EW6	-	49.00	
EW7	-	49.00	
EW8	-	49.00	
EW9	-	49.00	
EW10	-	49.00	
OS1	51.25	47.92	
OS2	52.25	48.63	
OS3	51.75	48.00	
OS4	51.75	48.00	



- DRAINAGE NOTES**
- A PROPOSED WET POND TO HAVE IMPERVIOUS LINER IN BOTTOM AND SLOPES
  - B DECORATIVE WATER FOUNTAIN TO BE PROVIDED BY OTHERS
  - C 52-3 FT HIGH OLDCASTLE STORMCAPTURE CONCRETE VAULTS

- DRAINAGE DETAILS**
- 1 TRENCH AND BEDDING
  - 2 CATCH BASIN
  - 3 MANHOLE
  - 4 DOUBLE CATCH BASIN
  - 5 NEOPLASTIC
  - 6 END WALL
  - 7 OUTLET STRUCTURE
  - 8 BIO-RETENTION

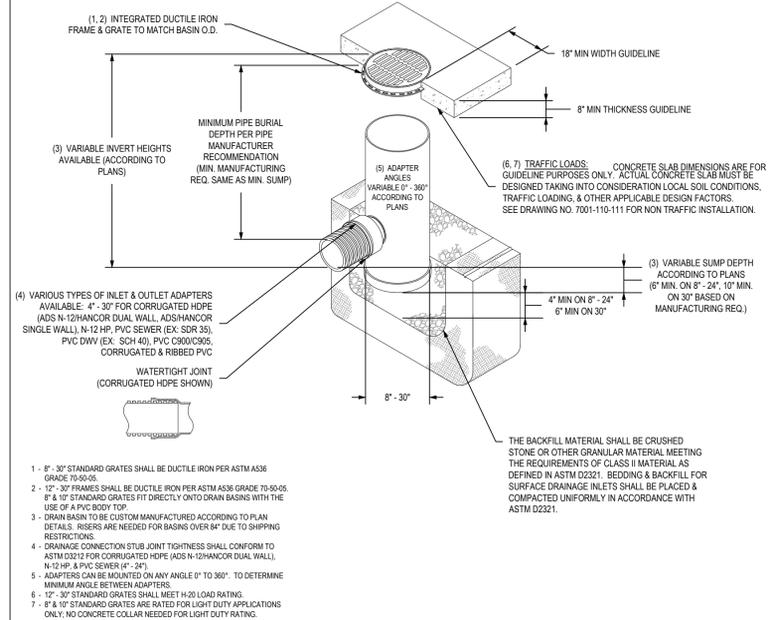


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 Wilmington Treatment Center  
 Wilmington, NC

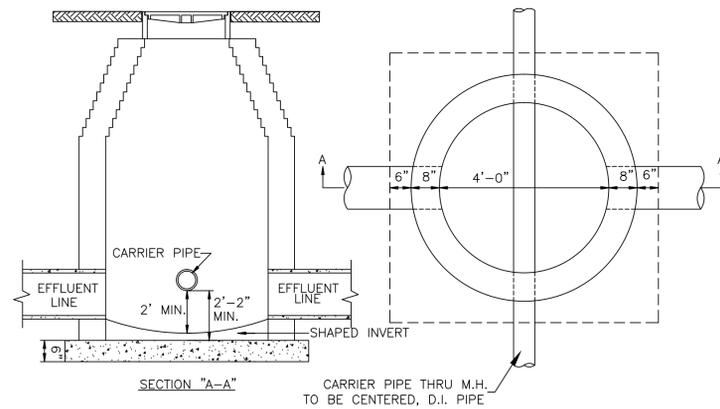


PROJECT NUMBER  
 15678.01  
 DATE  
 October 19, 2016

**C402**  
 DRAINAGE  
 PLAN

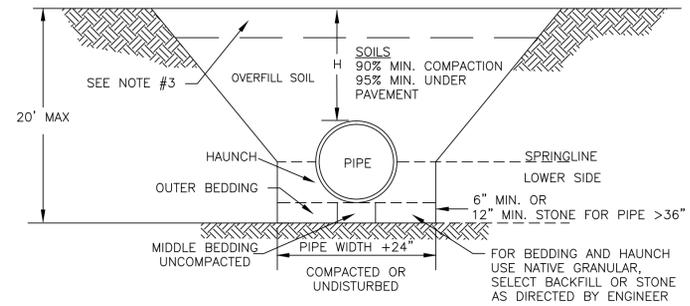


**NP 5** NYLOPLAST DRAIN BASIN WITH GRATE (NOT TO SCALE)



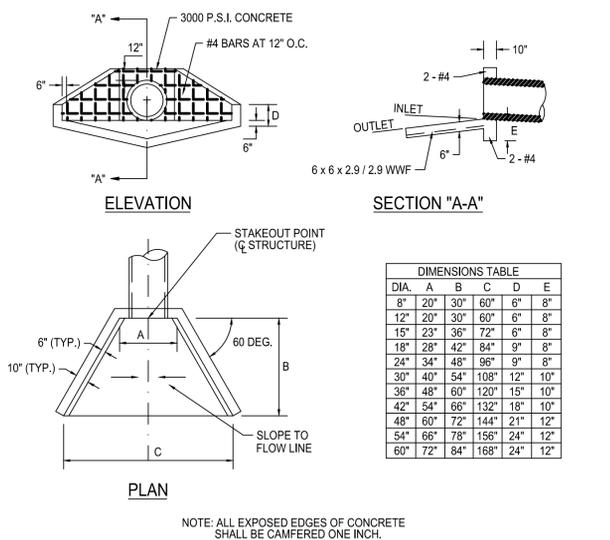
**MANHOLE** (NOT TO SCALE)

**MH 3**



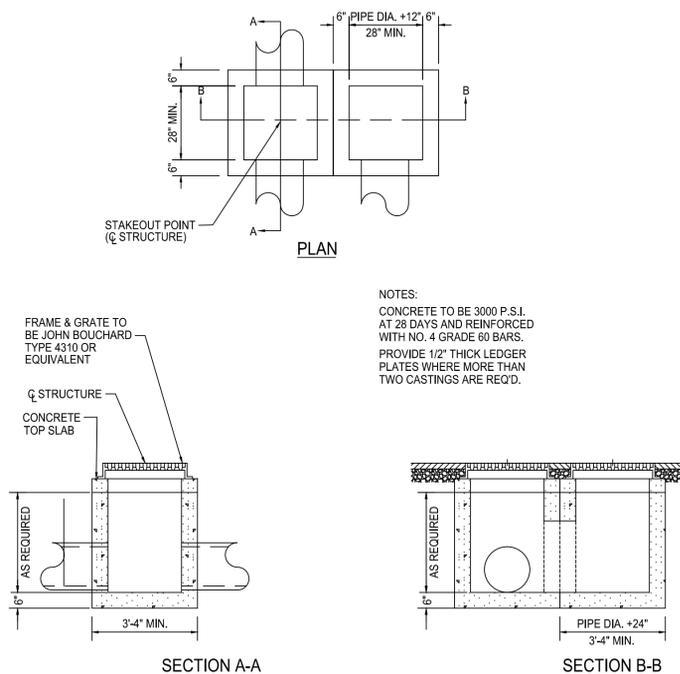
**TRENCH AND BEDDING** (NOT TO SCALE)

**TB 1**



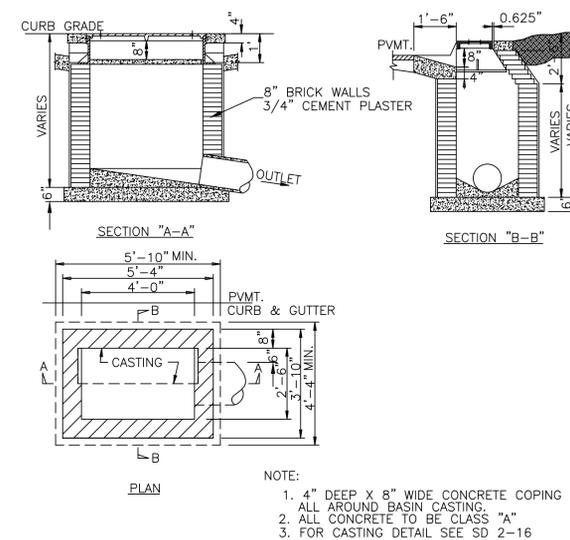
**WINGED ENDWALL/HEADWALL** (NOT TO SCALE)

**EW 6**



**CATCH BASIN-2 SINGLE PRECAST AREA INLETS** (NOT TO SCALE)

**DCB 4**



**CATCH BASIN** (NOT TO SCALE)

**CB 2**

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 Wilmington Treatment Center  
 Wilmington, NC  
 Johnson Johnson Crabtree Architects PC  
 4551 Trousdale Drive  
 Nashville, TN 37204  
 615.837.0656  
 615.837.0657

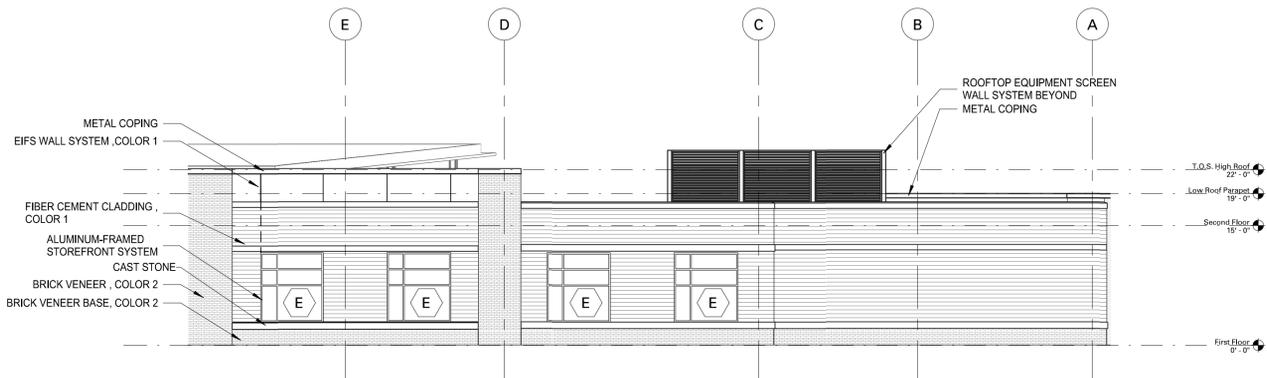
ACADIA HEALTHCARE

INGRAM CIVIL ENGINEERING GROUP, LLC  
 240 WILSON FIRE CIRCLE, STE. 200  
 BRENTWOOD, TENNESSEE 37027  
 615.370.7964 OFFICE  
 615.370.1273 FAX  
 STATE OF NORTH CAROLINA  
 PROFESSIONAL ENGINEER  
 LICENSE # 9227243  
 CURTIS P. INGRAM

PROJECT NUMBER  
 15678.01  
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**C410**  
 DRAINAGE  
 DETAILS





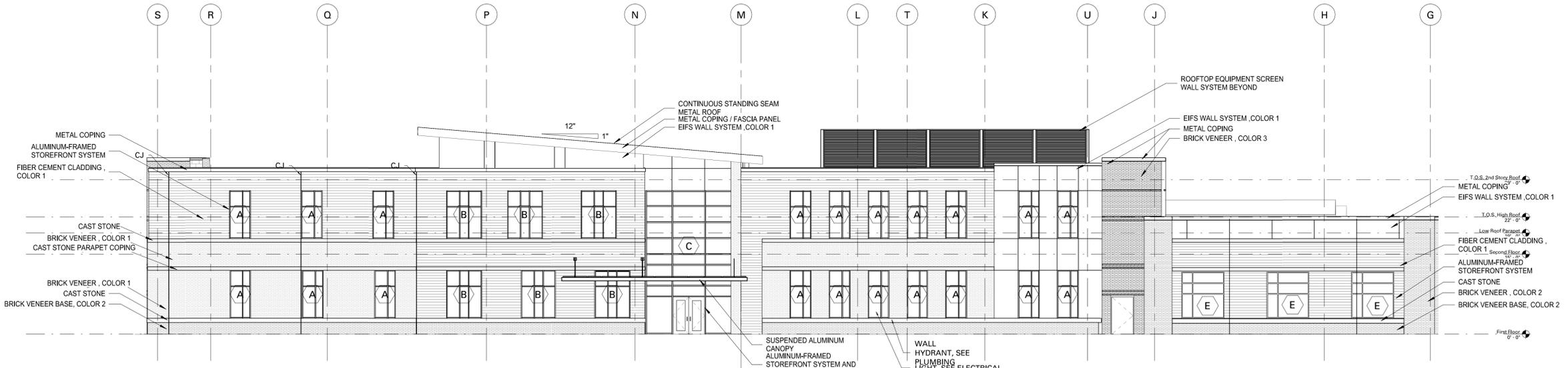
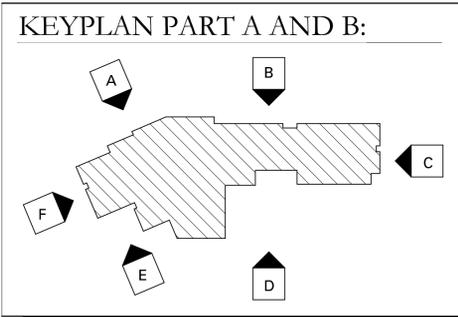
**1 NORTH ELEVATION - PART A**  
A1.1A-d SCALE: 3/32" = 1' - 0"

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

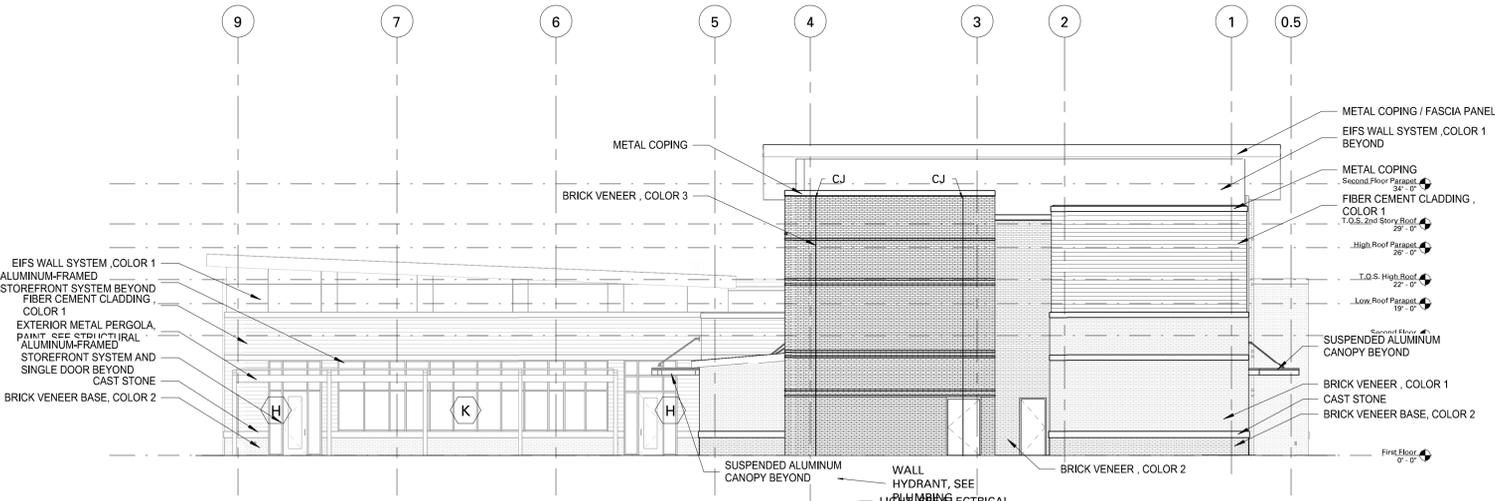
**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
**APPROVED STORMWATER MANAGEMENT PLAN**  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

**MATERIAL LEGEND:**

BRICK COLOR #1	EIFS COLOR #1	EIFS COLOR #3
BRICK COLOR #2	EIFS COLOR #2	
BRICK COLOR #3		



**2 NORTH ELEVATION - PART B**  
A1.1A-d SCALE: 3/32" = 1' - 0"



**3 EAST ELEVATION**  
A1.1B-d SCALE: 3/32" = 1' - 0"

JJCA

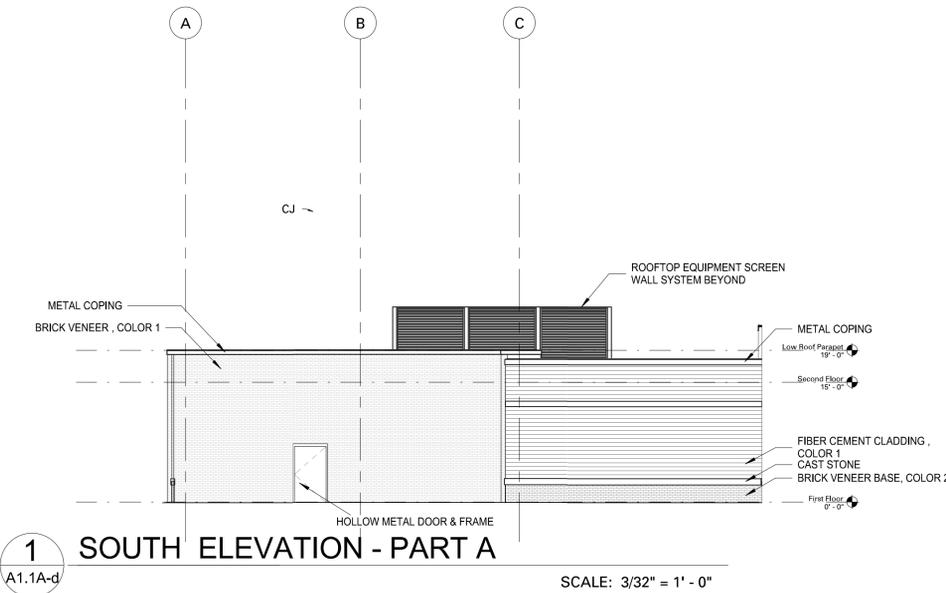


New Partial Hospitalization Center for:  
**Wilmington Treatment Center**  
Wilmington, NC

Johnson Johnson  
Crabtree Architects, LLC  
4551 Trousdale Drive  
Nashville, TN 37204  
tel 615.837.0656  
fax 615.837.0657

PROJECT NUMBER  
**15678.01**  
DATE  
**October 19, 2016**

**A2.1**  
BUILDING  
ELEVATIONS



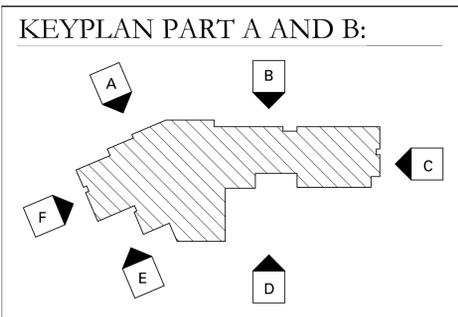
**1 SOUTH ELEVATION - PART A**  
A1.1A-d SCALE: 3/32" = 1' - 0"

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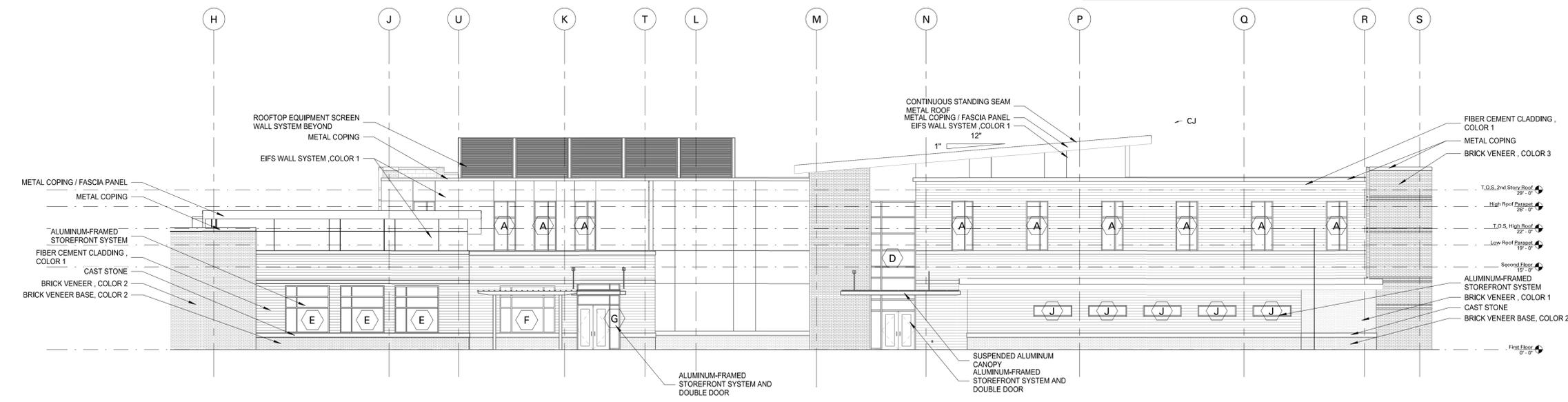
**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
**APPROVED STORMWATER MANAGEMENT PLAN**  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

**MATERIAL LEGEND:**

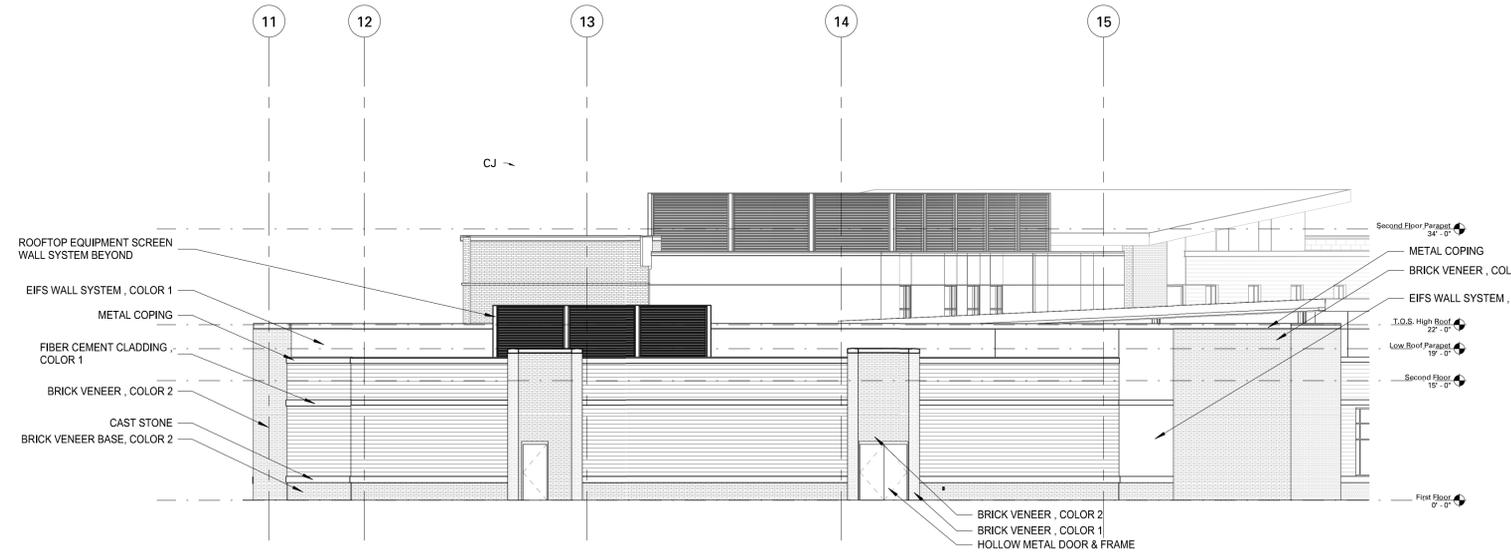
BRICK COLOR #1	EIFS COLOR #1	EIFS COLOR #3
BRICK COLOR #2	EIFS COLOR #2	
BRICK COLOR #3		



**CITY OF WILMINGTON**  
NORTH CAROLINA  
**Approved Construction Plan**  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_



**2 SOUTH ELEVATION - PART B**  
A1.1A-d SCALE: 3/32" = 1' - 0"



**3 SOUTHWEST ELEVATION**  
A1.1A-d SCALE: 3/32" = 1' - 0"

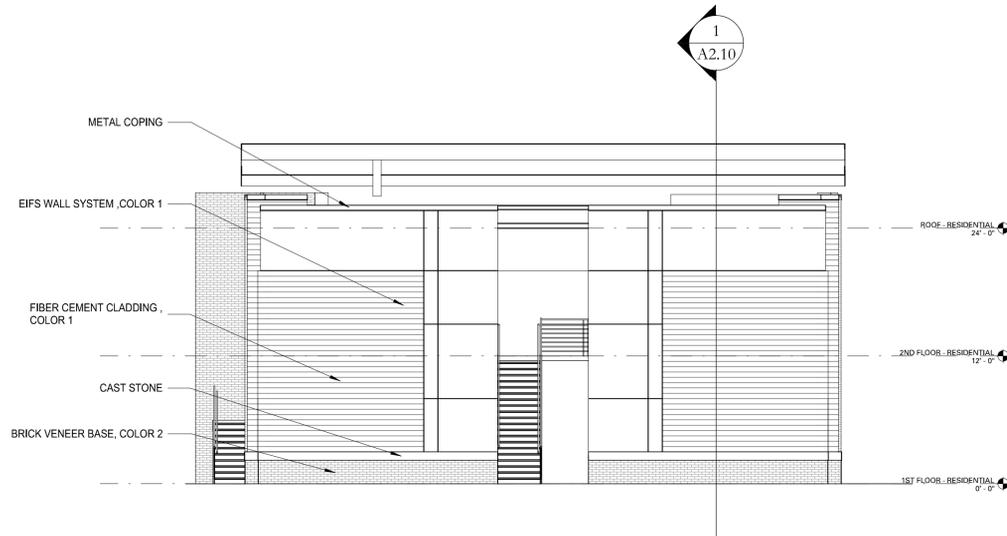


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Wilmington, NC

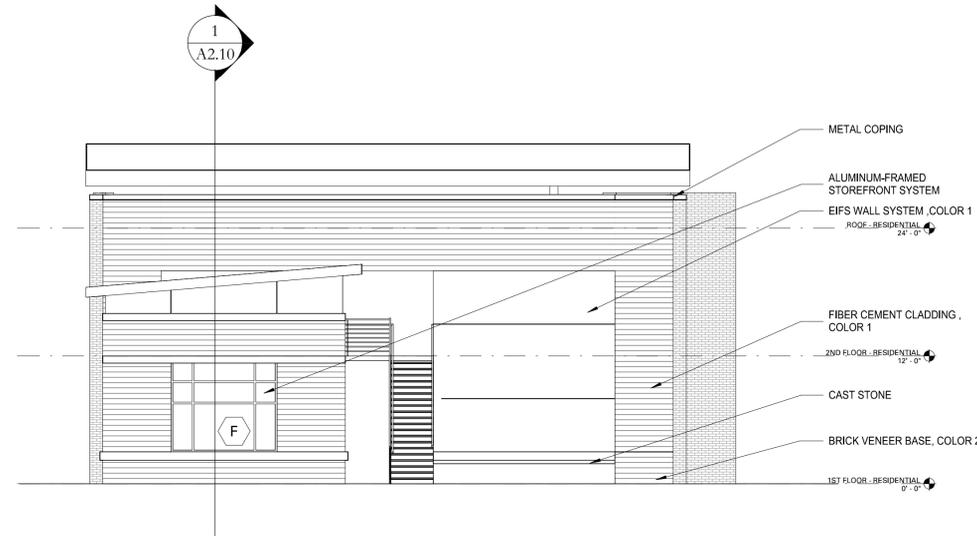
Johnson Johnson Crabtree Architects, LLC  
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**A2.2**  
BUILDING  
ELEVATIONS



**2 BLDG ELEVATION SOUTH (or) NORTH**  
A1.1-n



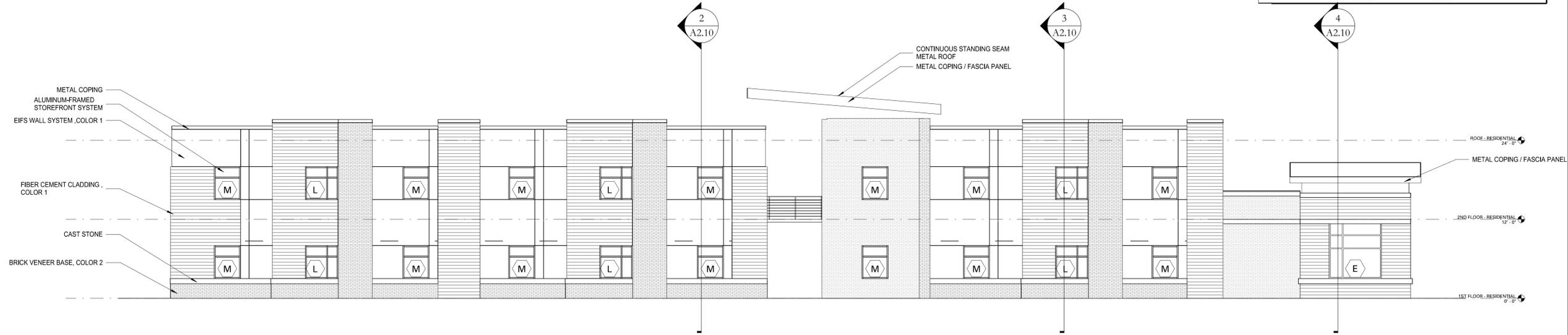
**4 BLDG ELEVATION NORTH (or) SOUTH**  
A1.1-n

**MATERIAL LEGEND:**

BRICK COLOR #1	EIFS COLOR #1	EIFS COLOR #3
BRICK COLOR #2	EIFS COLOR #2	
BRICK COLOR #3		

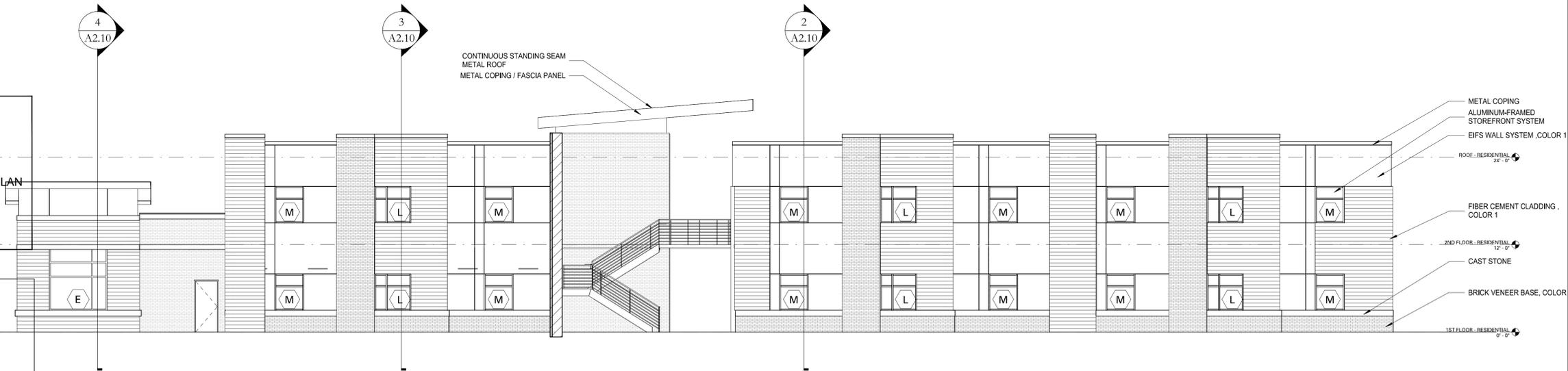
  

**KEYPLAN PART C:**



**1 BLDG ELEVATION EAST (or) WEST**

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



**3 BLDG ELEVATION WEST (or) EAST**  
A1.1-n

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

**JJCA**  
Johnson Johnson Crabtree Architects, LLC  
4551 Trousdale Drive  
Nashville, TN 37204  
tel 615.837.0656  
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New Patient Dormitories for:  
**Wilmington Treatment Center**  
Wilmington, NC

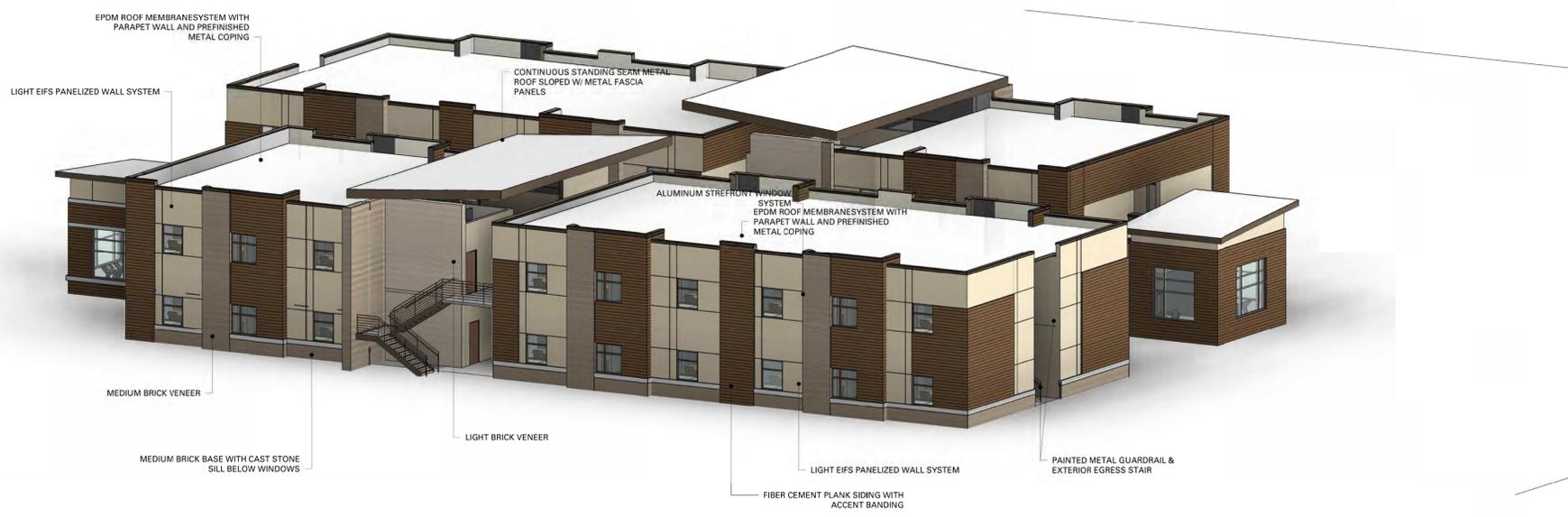
PROJECT NUMBER  
**15678.01**  
DATE  
**October 19, 2016**

**A2.3**  
BUILDING  
ELEVATIONS





TYPICAL RESIDENTIAL UNIT - AERIAL NORTHWEST



TYPICAL RESIDENTIAL UNIT - AERIAL SOUTHWEST



TYPICAL RESIDENTIAL UNIT - NORTHWEST PERSPECTIVE



TYPICAL RESIDENTIAL UNIT - SOUTHWEST PERSPECTIVE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

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**A2.21**  
EXTERIOR  
BUILDING AXONS