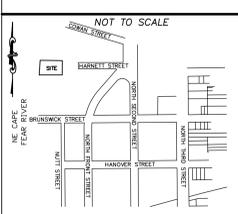
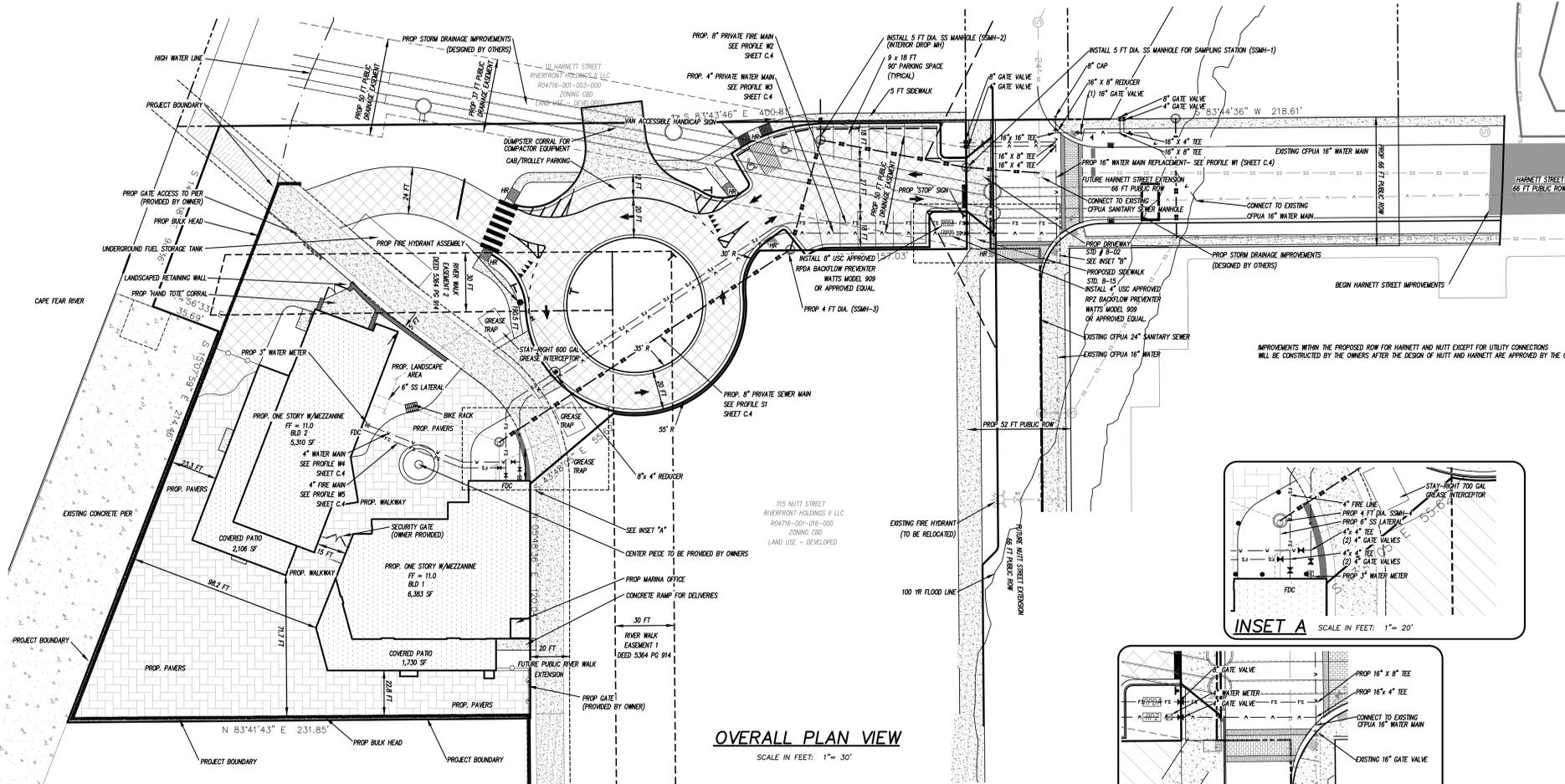


LOCATION MAP

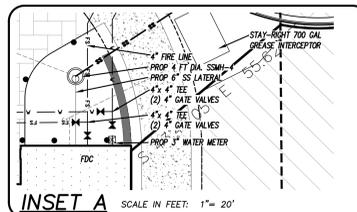


For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

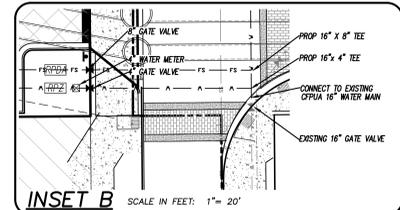
STORMWATER MANAGEMENT PLAN
APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____



OVERALL PLAN VIEW
 SCALE IN FEET: 1" = 30'



INSET A SCALE IN FEET: 1" = 20'



INSET B SCALE IN FEET: 1" = 20'

SITE & BUILDING DATA:

TOTAL LOT AREA = 81,404 SF (1.87 AC)
 PROPERTY ADDRESS IS 14 & 18 HARNETT STREET
 PORTION OF PID = R0476-001-015-000

EXISTING DATA:
 EXISTING BUILDINGS ON SITE = N/A
 EXISTING FOUNDATIONS = N/A
 EXISTING SIDEWALK = N/A
 0 SF OF SOLID SF
 EXISTING GLOB IMPERVIOUS

PROPOSED ON-SITE DATA:
 PROPOSED ASPHALT AREA: 21,022 SF
 PROPOSED SIDEWALK AREA: 2,988 SF
 PROPOSED PAVEMENT AREA: 17,509 SF
 PROPOSED RIVERWALK AREA: 1,110 SF
 PROPOSED FUTURE AREA: 3,894 SF
 TOTAL PROPOSED IMPERVIOUS AREA: 44,023 SF

PROPOSED OFF-SITE DATA:
 PROPOSED NUTT ST. IMPROVEMENTS: 30,083 SF
 PROPOSED HARNETT ST. IMPROVEMENTS: 13,680 SF
 FUTURE (PER 33 PROJECT): 14,413 SF
 EXISTING RIVERWALK: 6,739 SF
 EXISTING NUTT STREET IMPROVEMENTS: 945 SF
 TOTAL OFF-SITE IMPERVIOUS AREA: 201,670 SF

IMPERVIOUS PERMITTED IN FAB STORMWATER PERMIT BUT SITE SPECIFIC PLAN SUBMITTED UNDER SEPARATE REVIEW
 *181,773 SF OF OFF-SITE IMPERVIOUS BEING TREATED IN SW BMP.
 64,092 SF / 81,404 SF = 0.787 OR 78% IMPERVIOUS

BUILDING DATA:
 PROPOSED CONSTRUCTION TYPE = # 8
 NUMBER OF BUILDINGS = 2
 BUILDING HEIGHT
 BLACKENY = 33'
 HDA = 34' 8"

NUMBER OF STORES = 1 PLUS MEZZANINE
 SF BY BUILDING / FLOOR = BUILDING 1 BUILDING 2
 6,383 SF 5,310 SF
 MEZZANINE = 2,430 SF 2,534 SF
 COVER PATIO = 1,700 SF 2,108 SF

GROSS BUILDING AREA = 16,169 (BOLDS 1 & 2)
 PROPOSED BUILDING AREA = 16,169 SF
 LOT COVERAGE: 16,169 SF / 81,404 SF = 0.198
 PROPOSED 20% BUILDING LOT COVERAGE

BUILDING SETBACKS:
 BUILDING 1
 NORTH SETBACK: 0 FT
 SOUTH SETBACK: 18 FT
 EAST SETBACK: 22.6 FT
 WEST SETBACK: 0 FT
 BUILDING 2
 NORTH SETBACK: 0 FT
 SOUTH SETBACK: 17.7 FT
 EAST SETBACK: 5 FT
 WEST SETBACK: 0 FT

PARKING DATA:
 OFF-STREET PARKING = N/A
 PARKING PROVIDED = N/A
 PARKING PROVIDED = 17 SPACES
 1 HANDICAP SPACE REQUIRED
 2 HANDICAP SPACES PROVIDED

GENERAL NOTES:

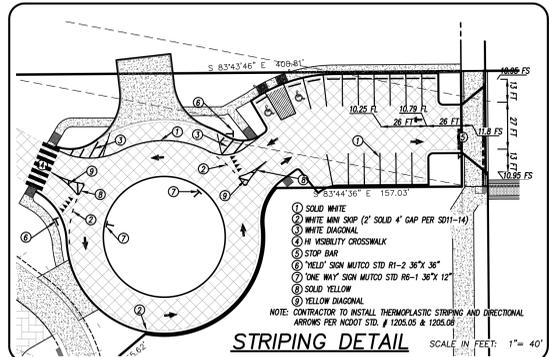
- NEW HANOVER COUNTY PARCEL NUMBERS:
 PORTION OF PID = R0476-001-015-000
- TOTAL PROJECT AREA: 81,404 s.f. (1.87 ac.)
- EXISTING ZONING DISTRICT: CSD
- LAND CLASSIFICATION: CONSERVATION RESOURCE
- THIS SITE IS LOCATED IN ZONE AE (EL 9) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY PLAN NUMBER 37203H00 K, DATED: 6/2/06.
- BASE FLOOD ELEV. = 9.5 FT (FREEDBOARD = MIN FF OF 1.0)
- BASE FLOOD ELEV. = 9.5 FT (FREEDBOARD = MIN FF OF 1.0)
- THIS SITE IS LOCATED IN ZONE AE (EL 9) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY PLAN NUMBER 37203H00 K, DATED: 6/2/06.
- BASE FLOOD ELEV. = 9.5 FT (FREEDBOARD = MIN FF OF 1.0)
- BASE FLOOD ELEV. = 9.5 FT (FREEDBOARD = MIN FF OF 1.0)
- AS-BUILT BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO COASTAL SITE DESIGN, PC BY MICHAEL UNDERWOOD AND ASSOCIATES
- STORMWATER DRAINS TO CAPE FEAR RIVER, SC 18-71
- SITE IS UNDER CSD CODE DESIGN APPLIED PRIOR TO THE ADOPTED REMOVAL OF AUGUST 2008 SUBJECT TO THE DEVELOPERS AGREEMENT.
- THIS PROJECT IS LOCATED IN AN URBAN WATERFRONT AREA

PARKING NOTES:

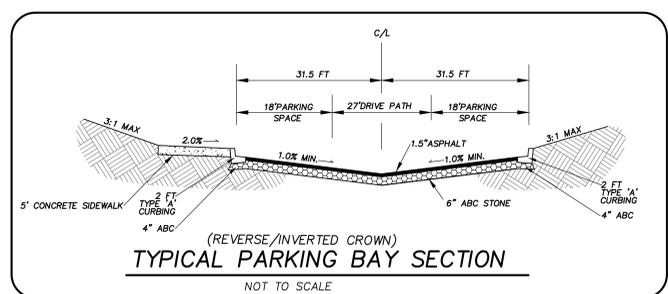
- NO PARKING REQUIRED IN CSD ZONING
- MINIMUM PARKING REQUIRED: 0 SPACES, TOTAL PROVIDED: 17 SPACES
- NO LOADING SPACES REQUIRED IN CSD ZONING
- MINIMUM LOADING SPACES REQUIRED: 0 SPACES, TOTAL PROVIDED: 0 SPACES
- WHEEL STOPS MUST BE PLACED PER CITY OF WILMINGTON STANDARD DETAIL 315-113
- 1 VAN ACCESSIBLE HANDICAP SPACE REQUIRED; 2 HANDICAP SPACES PROVIDED

DEVELOPMENT NOTES:

- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCO STANDARDS
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOD AT 1-800-432-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB AND OTHER SIDEWALK PANELS, PAVEMENT, ETC., THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
- SOLID WASTE DISPOSAL WILL BE DUMPSTER SERVICE
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON ZONING ORDINANCE
- APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF PROPOSED SIGNAGE FOR THIS SITE. A SEPARATE SIGN PERMIT MUST BE OBTAINED.
- APPLICABLE STREET FRONTAGES SHALL HAVE NATURAL VEGETATIVE SCREENING MEETING CITY REQUIREMENTS
- THE DEVELOPMENT SHALL COMPLY WITH ALL CITY TECHNICAL STANDARDS AND DEVELOPMENT REGULATIONS.
- ALL EQUIPMENT SHALL BE PLACED IN THE INTERIOR YARDS AND SCREENED FROM THE RIGHT-OF-WAY. THE UNITS WILL BE SCREENED FROM PUBLIC VIEW FROM ALL SIDES OF THE BUILDING.
- NO IRRIGATION CURRENTLY SPECIFIED, IF SO DESIRED THE IRRIGATION CONTROL MODULE MUST BE OBTAINED BY A RAIN SENSOR.



STRIPING DETAIL SCALE IN FEET: 1" = 40'



TYPICAL PARKING BAY SECTION
 NOT TO SCALE

LEGEND

—	EXISTING BOUNDARY	—	EXISTING / PROPOSED STORM SEWER & CATCH BASIN
—	CENTERLINE OF RIGHT OF WAY	—	EXIST. IRON PIPE
—	CONTOUR LINE & ELEVATION	—	WATER METER SERVICE CONNECTION
—	EXIST. SANITARY SEWER & MANHOLE	—	EXIST. CONCRETE MONUMENT
—	EXISTING WATERLINE	—	HANDICAP RAMP (HS)
—	PROPOSED BUILDING FOOTPRINT	—	40.9 EX. ELEV. & DESCRIPTION

WATER & SEWER USAGE NOTES:

CURRENT WATER USAGE = 0 GPD
 PROPOSED WATER USAGE 26,560 GPD
 CURRENT SEWER USAGE = 0 GPD
 PROPOSED SEWER USAGE 26,560 GPD
 * DETERMINED BY 664 SEATS X 40 GAL/SEAT

FIRE & LIFE SAFETY NOTES:

- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPED FIRE HYDRANTS OR FDIC'S. A 3 FT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- UNDERGROUND FIRE LINE MUST BE PERMITTED AND INSPECTED BY THE CITY OF WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT OF WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0898 FOR ADDITIONAL INFORMATION.
- FIRE INSPECTOR MUST WITNESS THE HYDROSTATIC TESTING. MINIMUM TESTING TIME IS TWO HOURS.
- A 24 HOUR MINIMUM NOTIFICATION IS NEEDED PRIOR TO ANY OF THE ABOVE TEST(S) OR INSPECTIONS BEING PERFORMED.
- FDIC CONNECTIONS CAN BE NO FURTHER THAN 40 FT FROM FIRE HYDRANT ACCESS.
- FDIC CONNECTIONS CAN BE NO FURTHER THAN 150 FT FROM A FIRE HYDRANT.
- NEWLY INSTALLED FIRE HYDRANTS MUST BE OPERATIONAL PRIOR TO COMBUSTIBLE CONSTRUCTION MATERIALS BEING BROUGHT ON-SITE

UTILITY NOTES:

- PROJECT SHALL COMPLY WITH THE CITY OF WILMINGTON AND OFPIA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE SET AND ACTIVATED ON NEW MAINS UNTIL ALL REQUIREMENTS ARE MET. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR SERVES WATER FOR CONSTRUCTION BEHOLDERS SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ALL COMMERCIAL WATER SERVICES AND ALL IRRIGATION SYSTEMS SUPPLIED BY OFPIA WATER SHALL HAVE A BACKFLOW PREVENTION DEVICE ACCEPTABLE TO THE OFPIA AND APPROVED BY USDOCCOR OR ASSE. CALL 789-8848 FOR INFORMATION.
- WHEN PUMP WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STRAPPED TO THE PIPES WITH DUCT TAPE. THE INSULATED WIRE IS TO BE STRIPPED TO BARE WIRE AND SECURED TO ALL MAINS AND FITTINGS. THE WIRE IS TO BE ASSURED AT ALL FIRE HYDRANTS AND WATER METER BOXES TO ADD IN FUTURE LOCATION OF FACILITIES.
- 30" MINIMUM COVER OVER ALL WATER MAINS.
- ANY SEPARATE CONNECTION FOR IRRIGATION SHALL COMPLY WITH CITY AND OFPIA CROSS-CONNECTION REQUIREMENTS WITH APPROVED BACKFLOW PREVENTION DEVICES.
- AT LOCATIONS WHERE WATER MAIN CROSSES UNDER SANITARY SEWER, DUCTILE IRON PIPE SHALL BE USED ALONG WITH PROVIDING 24" MINIMUM OF VERTICAL SEPARATION.
- WATER SERVICES CAN NOT BE ACTIVATED ON NEW WATER MAINS UNTIL ENGINEER'S CERTIFICATION AND APPLICANT'S APPLICANT'S CERTIFICATION HAVE BEEN PROVIDED TO INCENR AND FINAL APPROVAL ISSUED.

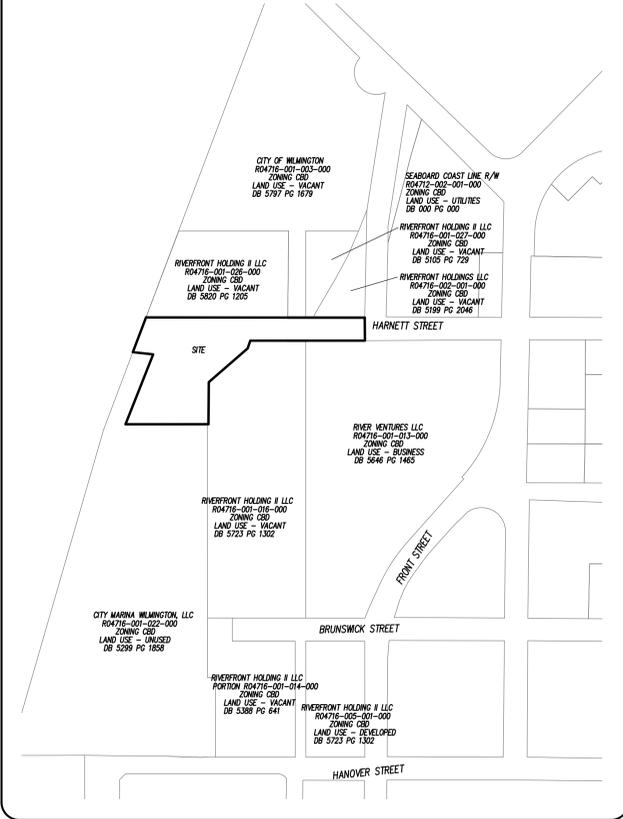
TRAFFIC ENGINEERING NOTES:

- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION FOR REVIEW AND APPROVAL PRIOR TO RECORDING OF THE FINAL PLAN. PLAN SHALL ADHERE TO 15-117.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCO STANDARDS.
- OPEN CUT NOTES:
 A. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-343-3888 FOR MORE DETAILS.
 B. CONTRACTOR TO COORDINATE WITH CITY OF WILMINGTON FOR ACCEPTABLE HOURS OF CONSTRUCTION AND TRAFFIC CONTROL DURING INSTALLATION OF UTILITIES IN CITY ROADS.
 C. SUTABLE COMPACTOR AND APPROVED STONE & BASE COURSES TO BE INSTALLED IN PLACE OF OPEN CUT.
 D. OPEN CUT TO BE SAW CUT.
 E. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR MUTCO STANDARDS.
 F. ALL SIGNAGE SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON SIGNAGE MANUAL. THE SUBGRADER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBGRADER SHALL PAY THE COST OF SIGN INSTALLATION. CONTACT TRAFFIC ENGINEERS AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
 G. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
 H. CONTACT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
 I. TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 J. ANY BROKEN OR MISSING SIDEWALK PANELS AND CURBS WILL BE REPLACED.
 K. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCO STANDARDS.
 L. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCO STANDARDS.
 M. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREA SHALL BE WHITE.
 N. INSTALL REFLECTORS PER CITY AND MUTCO STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKINGS LAYOUT PRIOR TO ACTUAL STRIPING.
 O. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON PLAN.

ENVIRONMENTAL NOTES:

- NO LAND DISTURBANCE IS PERMITTED OUTSIDE THE DESIGNATED LIMITS OF DISTURBANCE FOR SITE IMPROVEMENTS OTHER THAN WHAT IS NECESSARY TO THE INTO EXISTING CONTIGUOUS OR MEET LANDSCAPING REQUIREMENTS.
- CONTAMINATED SOILS REVEALED IN BROWNWOOD AGREEMENT TO BE DEPOSITED OF PID OWNERS WASTE MANAGEMENT PLAN.

ADJACENT PROPERTY OWNER DETAIL
 SCALE IN FEET: 1" = 200'

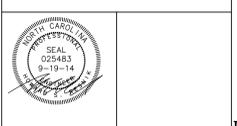


CJMW
 ARCHITECTURE
 119 Brookstown Ave, Suite 100
 Winston-Salem, NC 27101
 p. 336.724.1503
 www.cjmw.com

CSD
 LICENSE # C-2710
 COASTAL SITE DESIGN, PC
 LAND PLANNING
 COMMERCIAL / RESIDENTIAL
 P.O. BOX 4041
 WILMINGTON, NC 28406
 (910) 791-4441

NOT FOR CONSTRUCTION

PERMIT SET



revisions

1.	REVISED SITE DATA TABLE
2.	NUTT ST. WATER LINE REPLACEMENT 7-16-14
3.	REVISED IMPERVIOUS CHART 8-28-14
4.	REVISED DUMPSTER LOCATION 9-19-14

RIVERFRONT FOOD & BEVERAGE COMPLEX

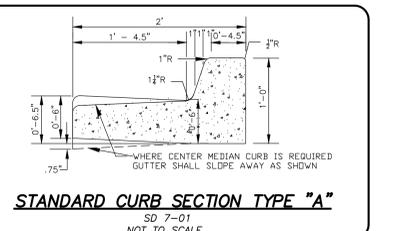
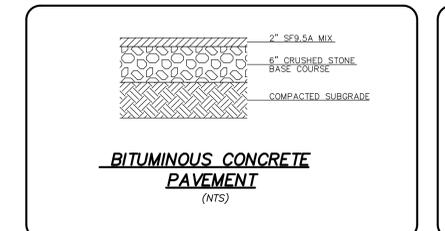
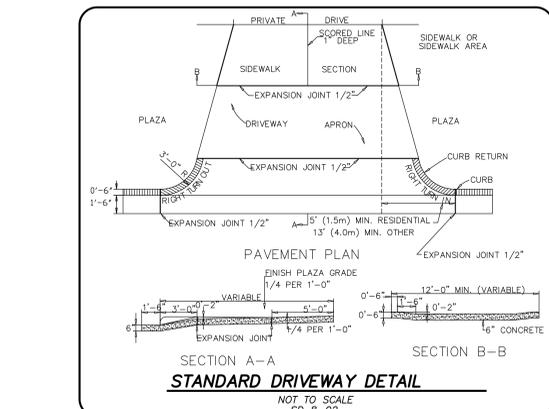
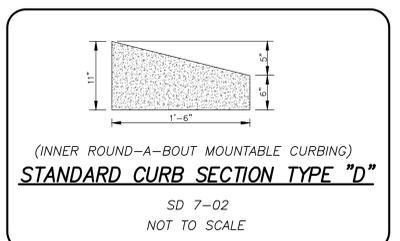
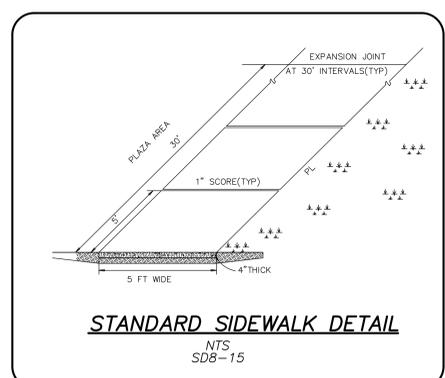
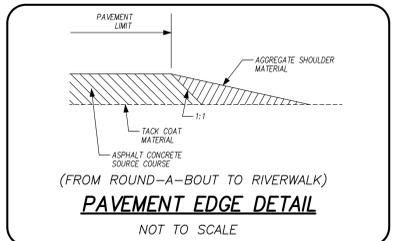
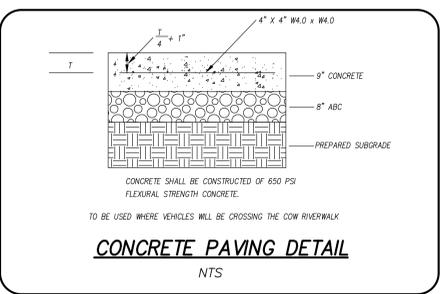
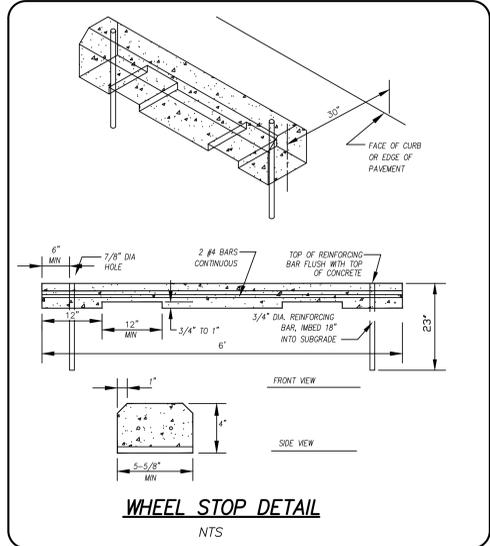
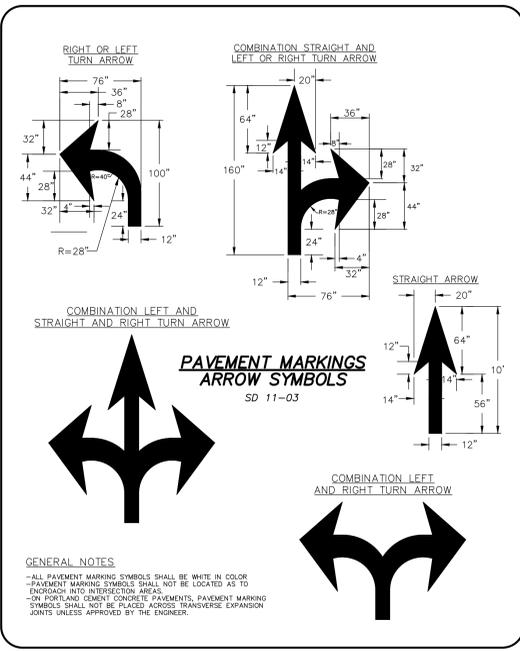
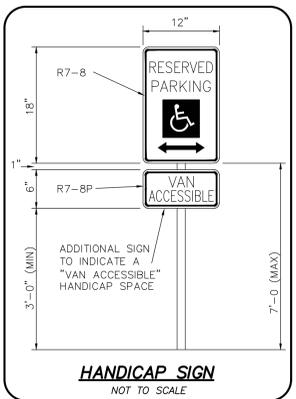
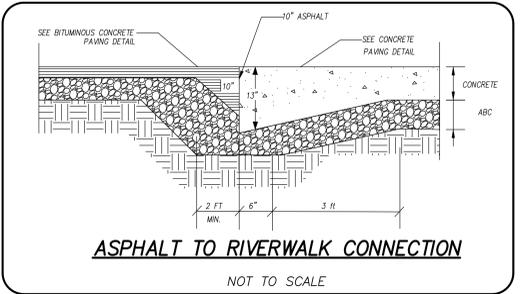
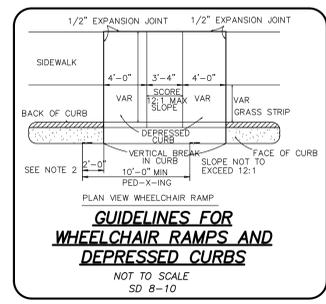
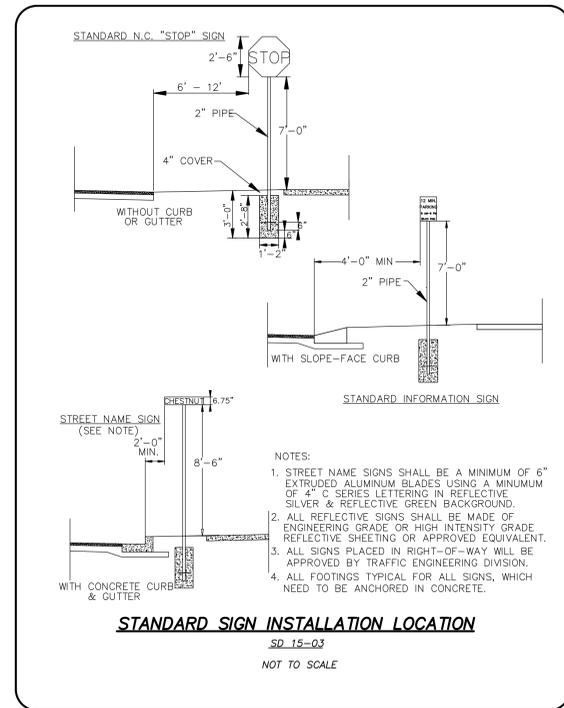
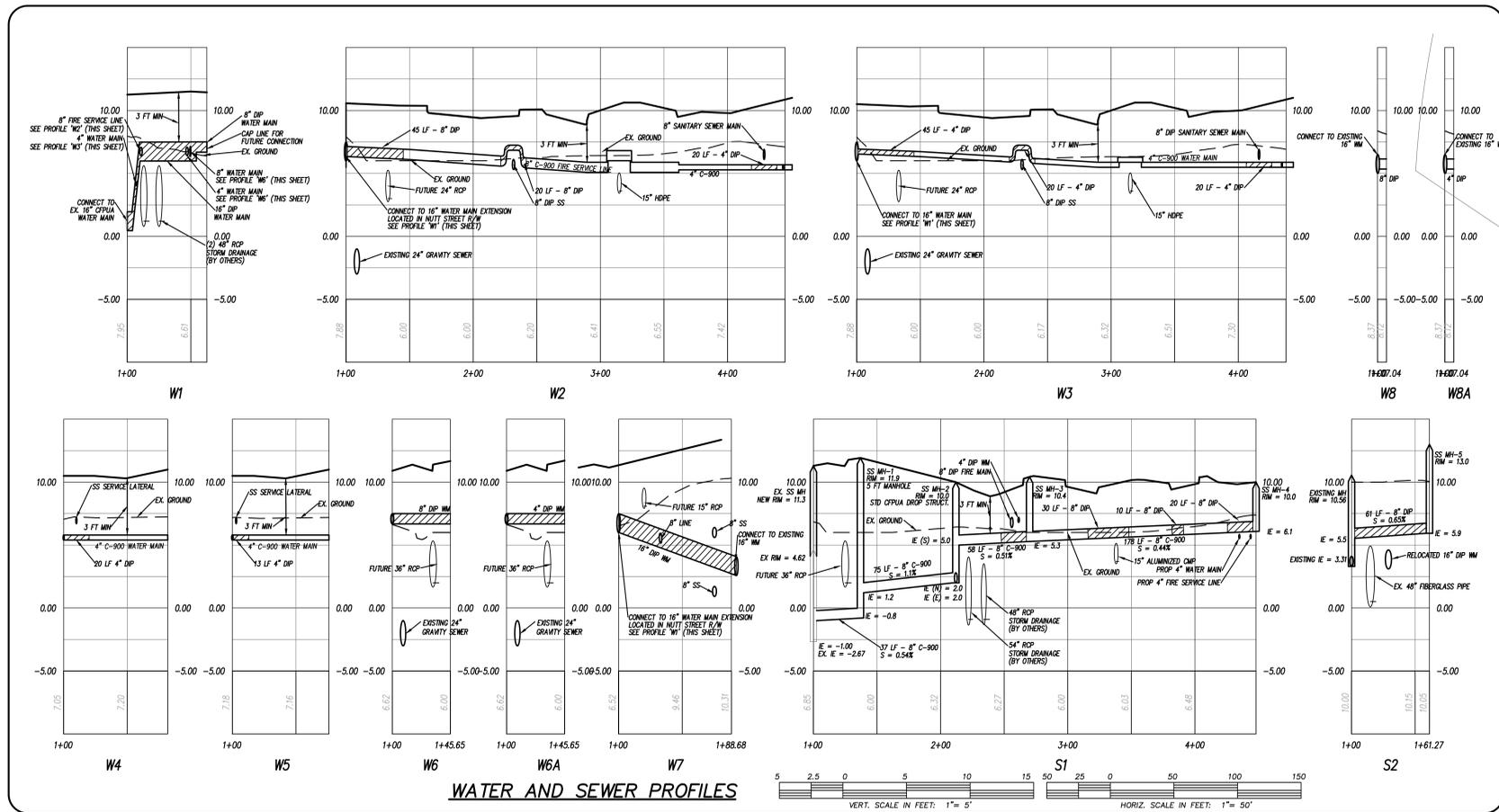
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 CJMW Architecture, PA

CIVIL - SITE PLAN

sheet

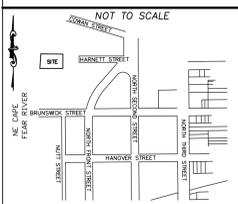
C.3

date: September 27, 2013
 commission: 12-0050
 drawn by: RLW



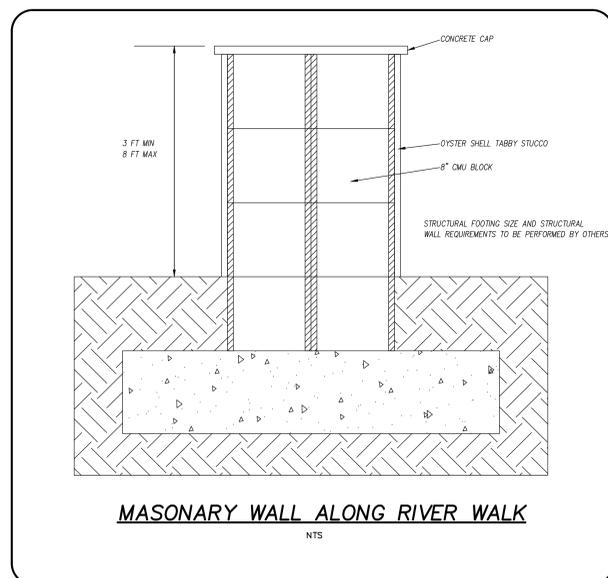
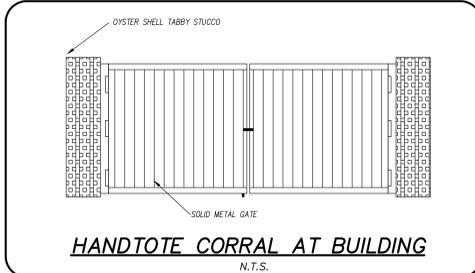
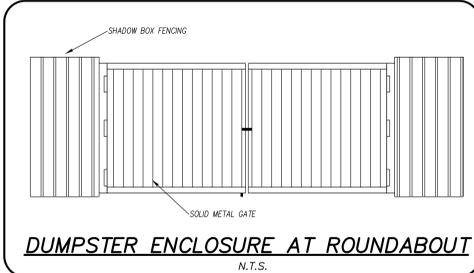
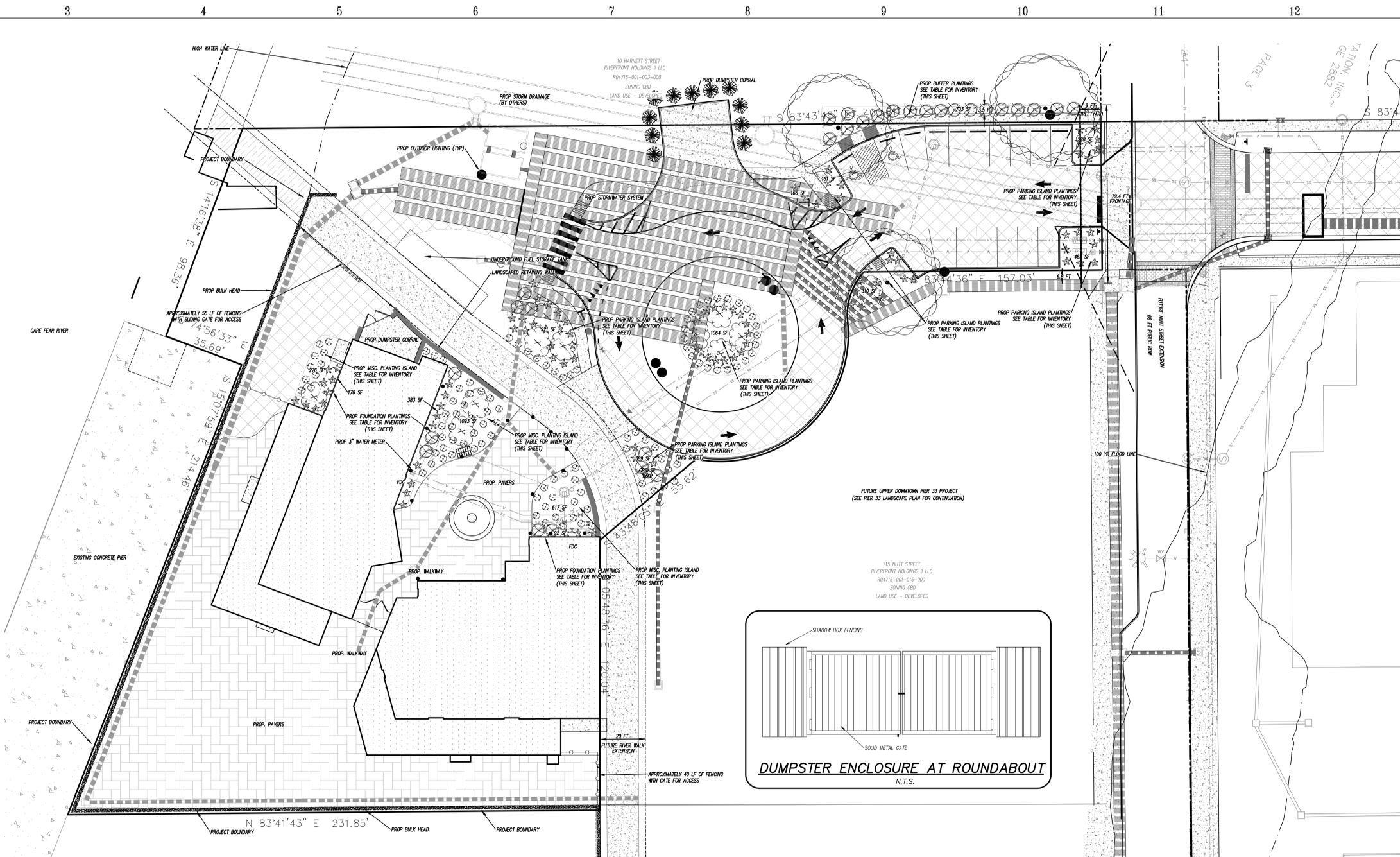
revisions
 1. REVISED W1 7-16-14

LOCATION MAP



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

STORMWATER MANAGEMENT PLAN APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____

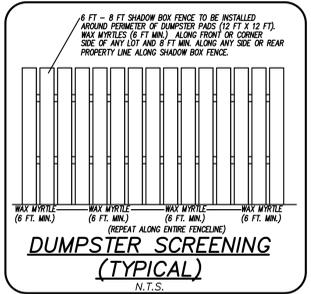


LANDSCAPE CALCULATIONS:

- STREETWAY LANDSCAPING:
 1 TREE AND 6 SHRUBS PER 600 SF;
 75.4 FT * 9 FT STREETWAY = 715 SF
 *REQUIRED STREETWAY TREES NOT PROVIDED PER CONFLICT WITH SIGHT TRIANGLES. TREES INDICATED ELSEWHERE OR PAID IN LIEU TO THE TREE FUND.
- FOUNDATION LANDSCAPING:
 3,548 SF BLDG FACE * 12% = 426 SF RECD FOUNDATION LANDSCAPING;
 600 SF FOUNDATION LANDSCAPING PROVIDED.
- PARKING ISLAND LANDSCAPING:
 1 CANOPY TREE AND SHRUBBERY * 7 INTERIOR PARKING ISLANDS
 7 CANOPY TREES AND SHRUBS RECD;
 CANOPY TREES / SHADE TREES PLACED THROUGHOUT PARKING AREA TO AVOID CONFLICT WITH DESIGNED UTILITIES.
- TREES & SHRUBS IN THE SETBACK AREA SHALL BE MAINTAINED BY THE OWNER TO ENSURE THAT THE MATERIAL LIVES & PROSPERS.
 SHRUBBERY PROVIDED FOR MAXIMUM OPACITY OF VEHICLE HEADLIGHTS.
- PARKING AREA SCREENING:
 TOTAL PROJECT LIMITS = 81,403 SF, TOTAL LANDSCAPED AREA = 6,383 SF
 6,383 / 81,403 = 0.0785 OR 7.8%
 128' * 6' (MINIMUM LANDSCAPED AREA)
 -ONE (1) TREE AND SIX (6) SHRUBS RECD FOR EVERY FIFTEEN (15) PARKING SPACES.
 1 / 15 = 0.0667 TREES PER PARKING SPACE, 6 / 15 = 0.4 SHRUBS PER PARKING SPACE.
 17 PARKING SPACES PROVIDED; 17 * 0.0667 = 1.13 TREES RECD, 1 SHADE TREE PROVIDED
 17 * 0.4 = 6.8 SHRUBS RECD, 128 VARIOUS SHRUBS PROVIDED
- STREET TREE CALCULATIONS (SEC. 18-196(C)(2)) AS FOLLOWS:
 -ONE (1) STREET TREE FOR EVERY THIRTY (30) FEET OF PROPERTY FRONTAGE.
 PROPOSED PROPERTY FRONTAGE = 78 FT (MINUS 51 FT OF DRIVEWAYS); 78 - 51 = 28 FT ADJUSTED PROPERTY FRONTAGE = 28 FT; 28 / 30 = 0.93 OR 1 TREE STREET TREE.
 STREET TREES RECD: 1
 STREET TREES PROVIDED: 1 (SIGHT DISTANCE TRIANGLES PROHIBIT THE PLACEMENT OF STREET TREES ALONG PROPOSED PROPERTY FRONTAGE. STREET TREE REQUIREMENTS SHALL BE MET BY MEANS OF A PAYMENT IN LIEU TO THE CITY OF WILMINGTON TREE FUND.)

Proposed Plant Table

Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
0	☉	Quercus virginiana	Southern Live Oak	3"-CAL. MIN.	PLACEMENT AS SHOWN
BUFFER & SCREENING PLANTINGS					
18	☉	ILEX ORENATA	JAPANESE HOLLY	36" MIN.	8' O.C.
3	☉	Quercus virginiana	Southern Live Oak	3"-CAL. MIN.	
PARKING ISLANDS					
46	☉	ABELIA GRANDIFOLIA	GLOSSY ABELIA	15-18" MIN.	4' O.C.
9	☉	PRUNUS X 'OKAME'	FLOWERING CHERRY	6-8", 3"-CAL.	
78	☉	LIGUSTRUM JAPONICUM	WAX-LEAF LIGUSTRUM	36" MIN.	
6	☉	ILEX ORENATA	JAPANESE HOLLY	36" MIN.	
FOUNDATION PLANTINGS					
18	☉	LIGUSTRUM JAPONICUM	WAX-LEAF LIGUSTRUM	36" MIN.	
5	☉	ILEX ORENATA	JAPANESE HOLLY	36" MIN.	
DUMPSTER SCREENING					
11	☉	Myrica cerifera	WAX MYRTLE	4-5', 10 Gal	6-8" O.C.
MISC. PLANTING ISLANDS					
61	☉	ABELIA GRANDIFOLIA	GLOSSY ABELIA	15-18" MIN.	4' O.C.
3	☉	PRUNUS X 'OKAME'	FLOWERING CHERRY	6-8", 3"-CAL.	
4	☉	LIGUSTRUM JAPONICUM	WAX-LEAF LIGUSTRUM	36" MIN.	
Grosses					
N/A			St. Augustine		MISC. AREAS
O.C. = "ON CENTER" CAL. = "CALIPER AT 6" ABOVE GRADE" GAL. = "GALLON CONTAINER"					



- LANDSCAPE NOTES:**
- APPLICABLE STREET FRONTAGES SHALL HAVE NATURAL VEGETATIVE SCREENING MEETING CITY REQUIREMENTS.
 - HVAC EQUIPMENT SHALL BE PLACED IN THE INTERIOR YARDS AND SCREENED FROM THE RIGHT-OF-WAY. THE UNITS WILL BE SCREENED FROM PUBLIC VIEW FROM ALL SIDES OF THE BUILDING.
 - NO IRRIGATION CURRENTLY SPECIFIED, IF SO DESIRED THE IRRIGATION CONTROL MIDDLE MUST BE EQUIPPED BY A RAIN SENSOR.
 - LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS OR FDC'S. A 3 FT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
 - PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 - ALL OTHER AREAS TO BE SIZED.
 - ALL DUMPSTER AREAS TO BE SCREENED ON ALL SIDES.
 - EXISTING SIGNIFICANT TREES HAVE BEEN LOCATED BY A FIELD SURVEY.
 - PLANTINGS TO BE MATCHED AS CLOSELY AS POSSIBLE. ANY SUBSTITUTIONS AND ALTERATIONS TO THIS PLAN ARE TO BE APPROVED BY THE CITY OF WILMINGTON.
 - LIGHTING PLAN BY OTHERS.
 - ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' - 10'.

Approved Construction Plan

Name _____ Date _____

Planning _____

Public Utilities _____

Traffic _____

File _____

SCALE IN FEET: 1" = 20'



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 (910) 791-4441

NOT FOR CONSTRUCTION

PERMIT SET



- revisions
1. ADDED ADDITIONAL LANDSCAPE CALCULATIONS.
 2. ADDED ADDITIONAL LANDSCAPE CALCULATIONS.
 3. REVISED LANDSCAPE & CALCULATIONS PER ADVISOR.
 4. REVISED LANDSCAPE & CALCULATIONS 8-19-14

RIVERFRONT FOOD & BEVERAGE COMPLEX

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CIVIL - LANDSCAPE PLAN

sheet

LP1

date: September 27, 2013
 commission: 12-0050
 drawn by: RLW