

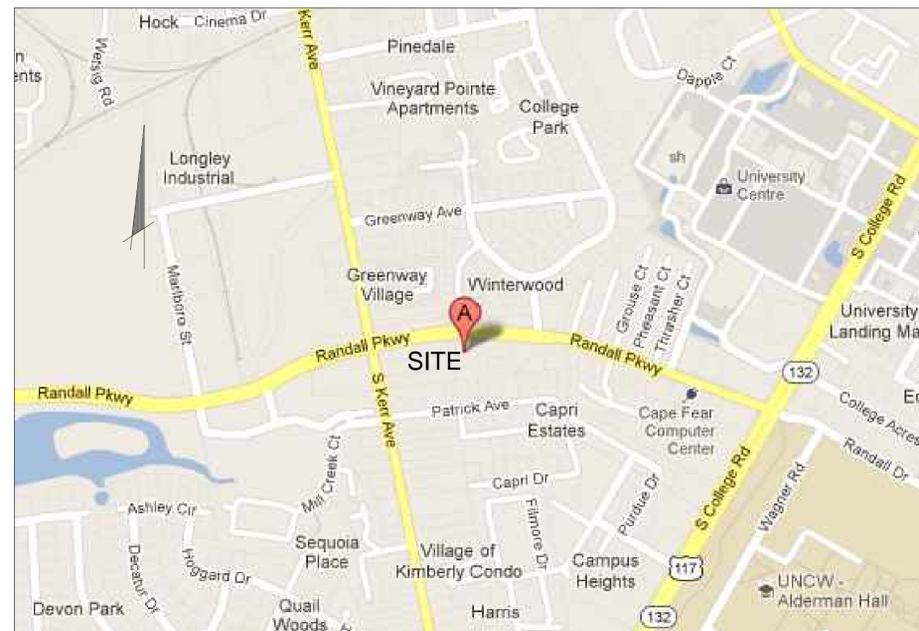
The Solstice Lofts

4810 Randall Parkway

City of Wilmington, New Hanover County, North Carolina
Major Site Plan Submittal

DEVELOPMENT DATA

PROJECT:	The Solstice Lofts
PLAN TYPE:	MAJOR SITE PLAN
ENGINEER:	CHANDLER ENGINEERING, PA JIM CHANDLER, PE 309 S. FUQUAY AVENUE FUQUAY-VARINA, NC 27526 PHONE: 919-552-4845 FAX: 919-552-6962 EMAIL: jim@chandlerengineeringpa.com
OWNER/DEVELOPER:	THE LOFTS AT RANDALL LLC CATHERINE CONNORS - MANAGER 106 MUIR WOODS DRIVE CARY, NC 27513 PHONE: 919-380-0446 EMAIL: cathy.connors@solsticepartners.net
PROPERTY ADDRESS:	4810 RANDALL PARKWAY 4629 PATRICK AVENUE 363 S. KERR AVENUE 369 S. KERR AVENUE 375 S. KERR AVENUE
PARCEL NUMBER:	313711-67-9382.000 313711-77-1253.000 313711-67-6311.000 313711-67-6221.000 313711-67-6150.000
REFERENCE:	DB 4073, PG 784 DB 5503, PG 1266 DB 5567, PG 479 DB 5298, PG 1819
ZONING:	MF-L (CD)
PROPOSED USE:	MULTI-FAMILY
EXISTING TRACT AREA:	5.57 ACRES



VICINITY MAP - 1"=1000'

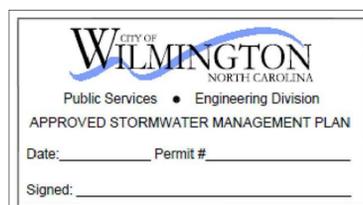
SHEET INDEX

- C1.01 - SITE INVENTORY/TREE PRESERVATION/DEMOLITION PLAN
- C2.01 - SITE LAYOUT PLAN
- C3.01 - SITE GRADING PLAN
- C4.01 - SITE SEDIMENTATION AND EROSION CONTROL PLAN
- C5.01 - SITE UTILITY PLAN
- C6.01 - SITE PLANTING PLAN
- C6.02 - DETAILED PLANTING PLAN
- C7.01 - SITE DETAILS
- C7.02 - SITE DETAILS
- L1.0 - LIGHTING PLAN
- A1.08 - ACCESSORY PLANS
- A5.01 - RESIDENTIAL BUILDING ELEVATIONS
- A5.02 - OFFICE/POOL HOUSE ELEVATIONS
- SP-1 - SWIMMING POOL LAYOUT
- SP-2 - SWIMMING POOL DETAILS

CONDITIONAL DISTRICT ZONING CONDITIONS

1. The use and development of the subject property shall comply with all regulations and requirements imposed by the Land Development Code, the City of Wilmington Technical Standards and Specifications Manual and any other applicable federal, state or local law, ordinance or regulation, as well as any condition stated below. In the event of a conflict, the more stringent requirement or higher standard shall apply.
2. Approval of this rezoning request does not constitute technical approval of the site plan. Final approval by the Technical Review Committee and the issuance of all required permits must occur prior to release of the project for construction.
3. If, for any reason, any condition for approval is found to be illegal or invalid or if the applicant should fail to accept any condition following approval, the approval of the site plan for the district shall be null and void and of no effect and proceedings shall be instituted to rezone the property to its previous zoning classification.
4. The use and development of the subject property shall be in accordance with the plan as submitted 2/21/14 and approved. The permitted use shall be restricted to a maximum 54-unit multi-family residential development.
5. Ingress and egress to the site shall be provided by two, right-in/right-out driveways from Randall Parkway.
6. All existing protected trees not impacted by essential site improvements shall be preserved or mitigated.
7. Access to the site shall be restricted to Randall Parkway.
8. The use of the Patrick Avenue access for construction, pedestrian or any other use associated with the multi-family residential development shall be prohibited.
9. A 10-foot wide multi-use path shall be provided along Randall Parkway and South Kerr Avenue.
10. A minimum of 70 bicycle parking spaces shall be provided on the site.
11. Exterior site lighting shall be installed so as not to shine directly onto adjacent parcels and shall be limited to full cutoff type fixtures.
12. A conceptual site lighting plan shall be submitted prior to construction release.
13. Any freestanding signs on the site shall be monument style with landscaping around the base of the sign, no pole signs shall be permitted and internal illumination shall be prohibited.
14. The use of pine straw as ground cover shall be prohibited within ten (10) feet of any combustible exterior construction.
15. Tree protection fencing shall be installed along all protected trees with signage of no material storage in English and Spanish.
16. All applicable city, state and federal regulations shall be followed.

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4810 Randall Parkway
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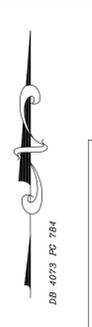


Approved Construction Plan	
Name	Date
Planning _____	
Traffic _____	
Fire _____	

chandler engineering pa
309 S. Fuquay Avenue, Fuquay-Varina, NC 27526
Phone: 919-552-4845 Fax: 919-552-6962

CALL 48 HOURS BEFORE YOU DIG
1-800 632-4949
NORTH CAROLINA ONE-CALL CENTER

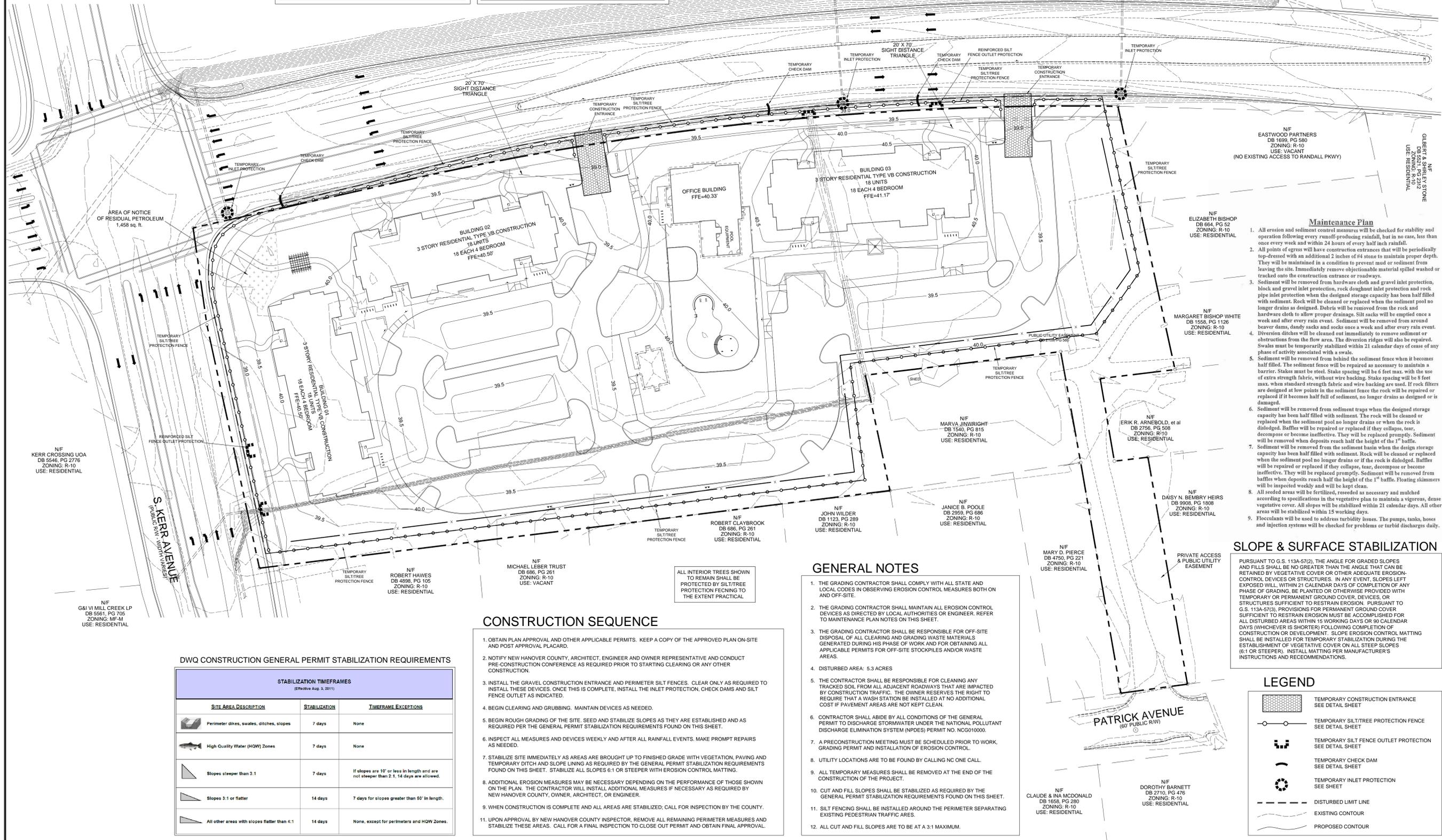




CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE



- Maintenance Plan**
- All erosion and sediment control measures will be checked for stability and operation following every runoff-producing rainfall, but in no case, less than once every week and within 24 hours of every half inch rainfall.
 - All points of egress will have construction entrances that will be periodically top-dressed with an additional 2 inches of #4 stone to maintain proper depth. They will be maintained in a condition to prevent mud or sediment from leaving the site. Immediately remove objectionable material spilled, washed or tracked onto the construction entrance or roadways.
 - Sediment will be removed from hardware cloth and gravel inlet protection, block and gravel inlet protection, rock doughnut inlet protection and rock pipe inlet protection when the designed storage capacity has been half filled with sediment. Rock will be cleaned or replaced when the sediment pool no longer drains as designed. Debris will be removed from the rock and hardware cloth to allow proper drainage. Silt sacks will be emptied once a week and after every rain event. Sediment will be removed from around beaver dams, dandy sacks and socks once a week and after every rain event.
 - Diversion ditches will be cleaned out immediately to remove sediment or obstructions from the flow area. The diversion ridges will also be repaired. Swales must be temporarily stabilized within 21 calendar days of cease of any phase of activity associated with a swale.
 - Sediment will be removed from behind the sediment fence when it becomes half filled. The sediment fence will be repaired as necessary to maintain a barrier. Stakes must be steel. Stake spacing will be 6 feet max. with the use of extra strength fabric, without wire backing. Stake spacing will be 8 feet max. when standard strength fabric and wire backing are used. If rock filters are designed at low points in the sediment fence, the rock will be repaired or replaced if it becomes half full of sediment, no longer drains as designed or is damaged.
 - Sediment will be removed from sediment traps when the designed storage capacity has been half filled with sediment. The rock will be cleaned or replaced when the sediment pool no longer drains or when the rock is dislodged. Baffles will be repaired or replaced if they collapse, tear, decompose or become ineffective. They will be replaced promptly. Sediment will be removed from the sediment basin when the design storage capacity has been half filled with sediment. Rock will be cleaned or replaced when the sediment pool no longer drains or if the rock is dislodged. Baffles will be repaired or replaced if they collapse, tear, decompose or become ineffective. They will be replaced promptly. Sediment will be removed from baffles when deposits reach half the height of the 1" baffles. Floating skimmers will be inspected weekly and will be kept clean.
 - All seeded areas will be fertilized, reseeded as necessary and mulched according to specifications in the vegetative plan to maintain a vigorous, dense vegetative cover. All slopes will be stabilized within 21 calendar days. All other areas will be stabilized within 15 working days.
 - Flocculants will be used to address turbidity issues. The pumps, tanks, hoses and injection systems will be checked for problems or turbid discharges daily.

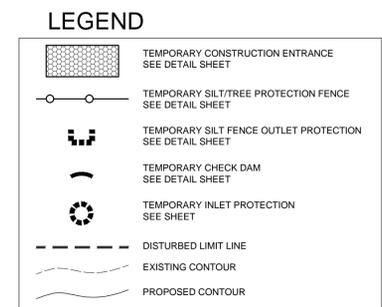
- SLOPE & SURFACE STABILIZATION**
- PURSUANT TO G.S. 113A-57(2), THE ANGLE FOR GRADED SLOPES AND FILL SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION-CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 21 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PURSUANT TO G.S. 113A-57(3), PROVISIONS FOR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE ACCOMPLISHED FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT. SLOPE EROSION CONTROL MATTING SHALL BE INSTALLED FOR TEMPORARY STABILIZATION DURING THE ESTABLISHMENT OF VEGETATIVE COVER ON ALL STEEP SLOPES (6:1 OR STEEPER). INSTALL MATTING PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

- GENERAL NOTES**
- THE GRADING CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF-SITE.
 - THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AS DIRECTED BY LOCAL AUTHORITIES OR ENGINEER. REFER TO MAINTENANCE PLAN NOTES ON THIS SHEET.
 - THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL CLEARING AND GRADING WASTE MATERIALS GENERATED DURING HIS PHASE OF WORK AND FOR OBTAINING ALL APPLICABLE PERMITS FOR OFF-SITE STOCKPILES AND/OR WASTE AREAS.
 - DISTURBED AREA: 5.3 ACRES
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY TRACKED SOIL FROM ALL ADJACENT ROADWAYS THAT ARE IMPACTED BY CONSTRUCTION TRAFFIC. THE OWNER RESERVES THE RIGHT TO REQUIRE THAT A WASH STATION BE INSTALLED AT NO ADDITIONAL COST IF PAVEMENT AREAS ARE NOT KEPT CLEAN.
 - CONTRACTOR SHALL ABIDE BY ALL CONDITIONS OF THE GENERAL PERMIT TO DISCHARGE STORMWATER UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT NO. NC0010000.
 - A PRECONSTRUCTION MEETING MUST BE SCHEDULED PRIOR TO WORK, GRADING PERMIT AND INSTALLATION OF EROSION CONTROL.
 - UTILITY LOCATIONS ARE TO BE FOUND BY CALLING NC ONE CALL.
 - ALL TEMPORARY MEASURES SHALL BE REMOVED AT THE END OF THE CONSTRUCTION OF THE PROJECT.
 - CUT AND FILL SLOPES SHALL BE STABILIZED AS REQUIRED BY THE GENERAL PERMIT STABILIZATION REQUIREMENTS FOUND ON THIS SHEET.
 - SILT FENCING SHALL BE INSTALLED AROUND THE PERIMETER SEPARATING EXISTING PEDESTRIAN TRAFFIC AREAS.
 - ALL CUT AND FILL SLOPES ARE TO BE AT A 3:1 MAXIMUM.

- CONSTRUCTION SEQUENCE**
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS. KEEP A COPY OF THE APPROVED PLAN ON-SITE AND POST APPROVAL PLACARD.
 - NOTIFY NEW HANOVER COUNTY, ARCHITECT, ENGINEER AND OWNER REPRESENTATIVE AND CONDUCT PRE-CONSTRUCTION CONFERENCE AS REQUIRED PRIOR TO STARTING CLEARING OR ANY OTHER CONSTRUCTION.
 - INSTALL THE GRAVEL CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCES. CLEAR ONLY AS REQUIRED TO INSTALL THESE DEVICES. ONCE THIS IS COMPLETE, INSTALL THE INLET PROTECTION, CHECK DAMS AND SILT FENCE OUTLET AS INDICATED.
 - BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED.
 - BEGIN ROUGH GRADING OF THE SITE. SEED AND STABILIZE SLOPES AS THEY ARE ESTABLISHED AND AS REQUIRED PER THE GENERAL PERMIT STABILIZATION REQUIREMENTS FOUND ON THIS SHEET.
 - INSPECT ALL MEASURES AND DEVICES WEEKLY AND AFTER ALL RAINFALL EVENTS. MAKE PROMPT REPAIRS AS NEEDED.
 - STABILIZE SITE IMMEDIATELY AS AREAS ARE BROUGHT UP TO FINISHED GRADE WITH VEGETATION, PAVING AND TEMPORARY DITCH AND SLOPE LINING AS REQUIRED BY THE GENERAL PERMIT STABILIZATION REQUIREMENTS FOUND ON THIS SHEET. STABILIZE ALL SLOPES 6:1 OR STEEPER WITH EROSION CONTROL MATTING.
 - ADDITIONAL EROSION MEASURES MAY BE NECESSARY DEPENDING ON THE PERFORMANCE OF THOSE SHOWN ON THE PLAN. THE CONTRACTOR WILL INSTALL ADDITIONAL MEASURES IF NECESSARY AS REQUIRED BY NEW HANOVER COUNTY, OWNER, ARCHITECT, OR ENGINEER.
 - WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED, CALL FOR INSPECTION BY THE COUNTY.
 - UPON APPROVAL BY NEW HANOVER COUNTY INSPECTOR, REMOVE ALL REMAINING PERIMETER MEASURES AND STABILIZE THESE AREAS. CALL FOR A FINAL INSPECTION TO CLOSE OUT PERMIT AND OBTAIN FINAL APPROVAL.

DWQ CONSTRUCTION GENERAL PERMIT STABILIZATION REQUIREMENTS

STABILIZATION TIMEFRAMES (Effective Aug. 3, 2011)		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
Perimeter dikes, swales, ditches, slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.



chandler engineering pa
300 S. Fungway Avenue, Fungway-Varna, NC 27526
Phone: 919-552-4845 Fax: 919-552-6962

SEALS

REVISIONS

NO.	DATE	COMMENTS

MAJOR SITE PLAN

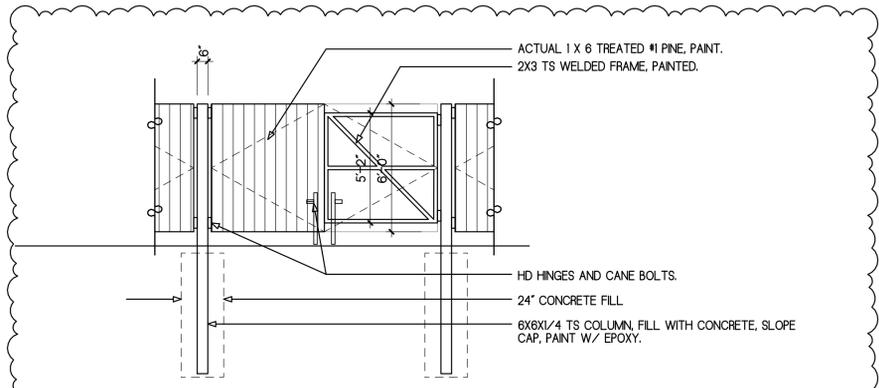
The Solstice Lofts
4810 Randall Parkway
Wilmington, North Carolina

REVIEWED BY: JFC
DATE: 6/19/14
PROJECT NUMBER: 13-006
COUNTY: NEW HANOVER
ZONING: MF-L (CD)
TOWNSHIP: WILMINGTON

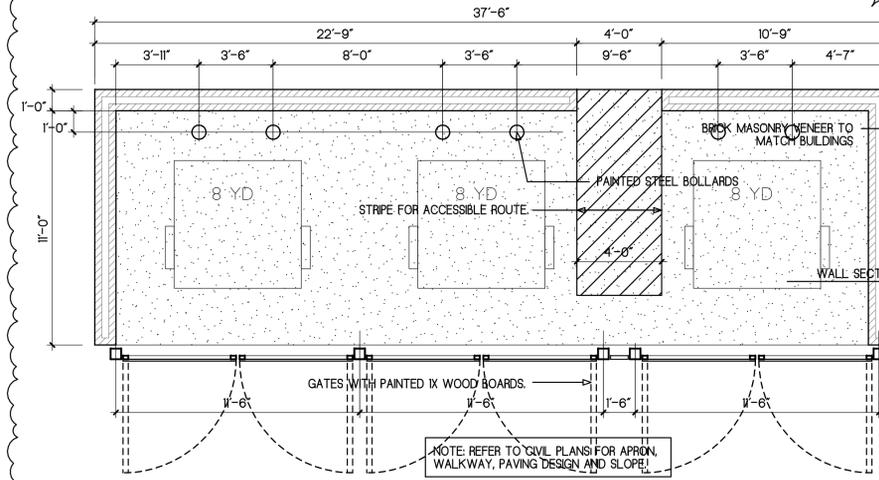
SITE SEDIMENTATION AND EROSION CONTROL PLAN

C4.01

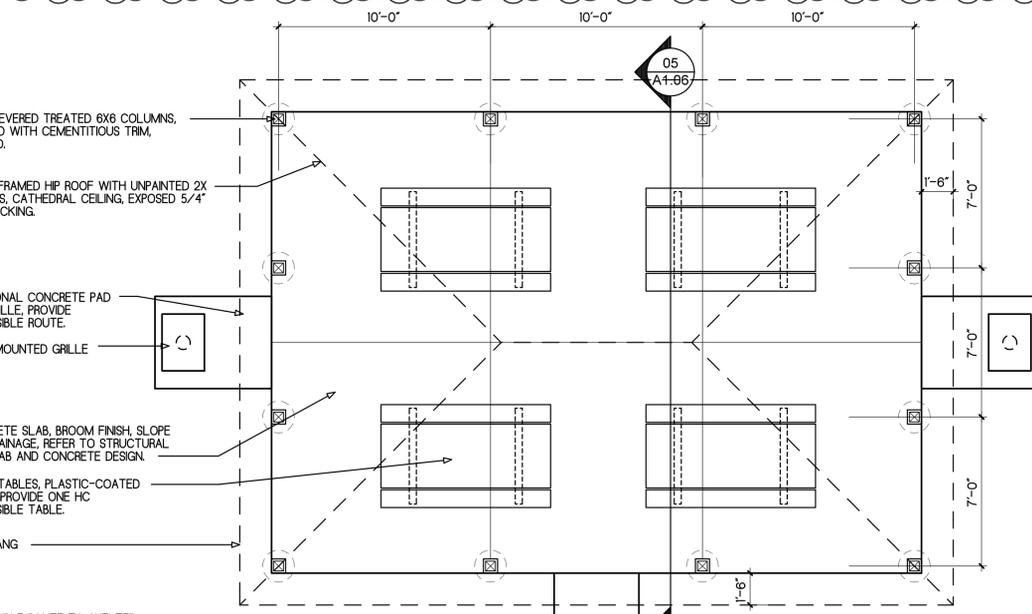
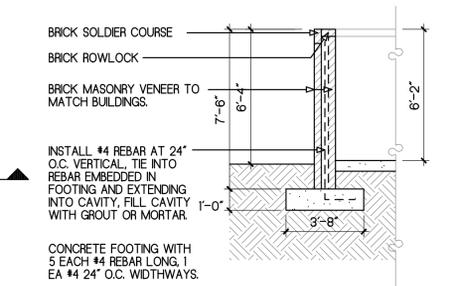
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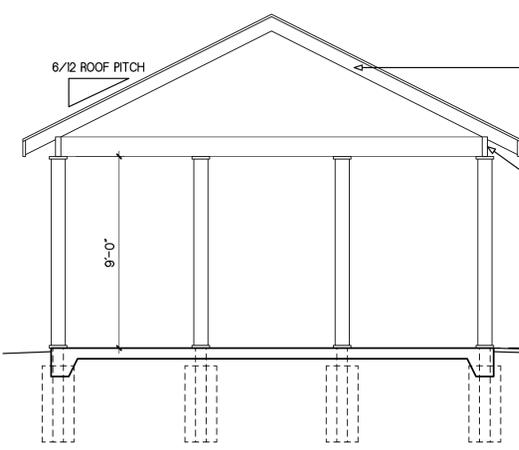
FRONT ELEVATION - TYPICAL GATE



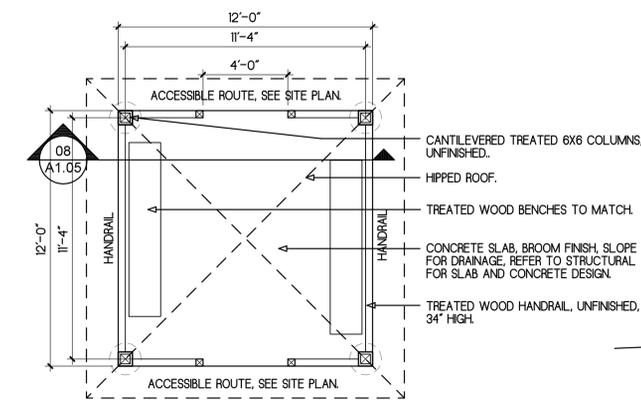
01 DUMPSTER PLAN AND SECTION
A1.08 SCALE: 1/4" = 1'-0"



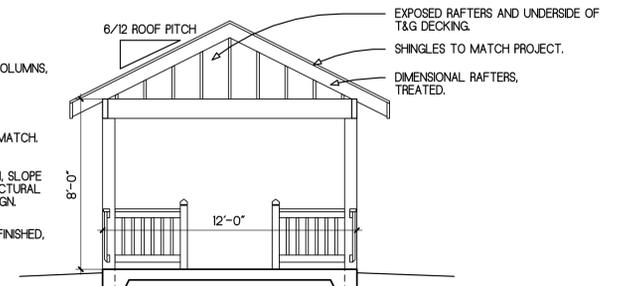
04 COVERED PICNIC SHELTER
A1.08 SCALE: 1/4" = 1'-0"



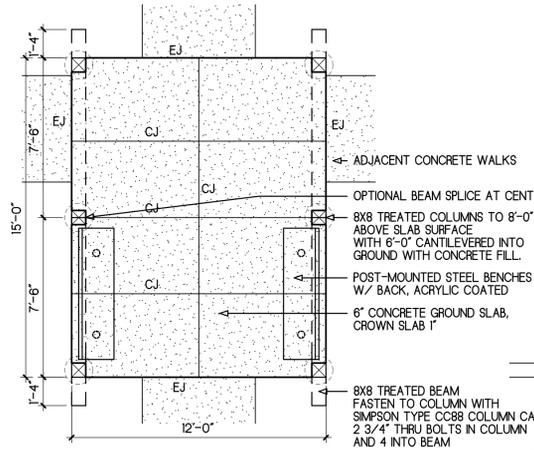
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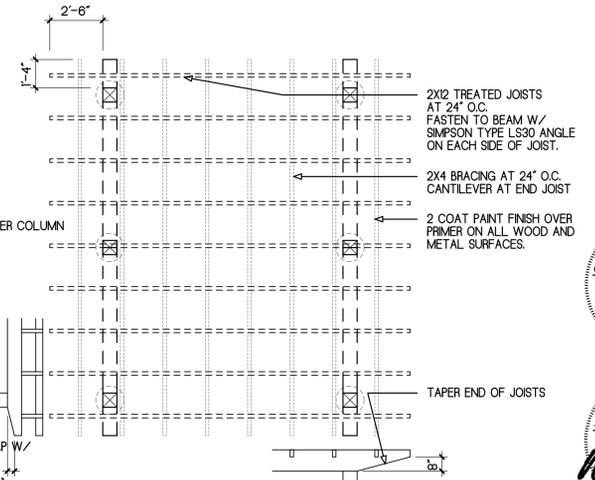
07 GAZEBO
A1.08 SCALE: 1/4" = 1'-0"



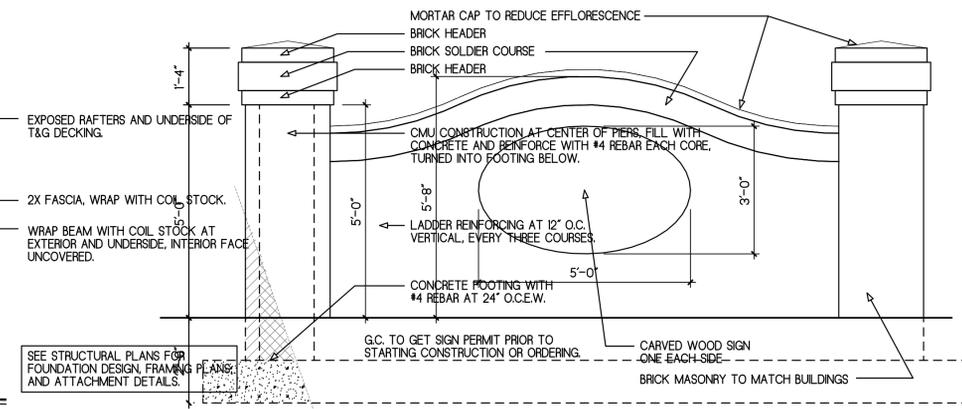
08 GAZEBO SECTION
A1.08 SCALE: 1/4" = 1'-0"



02 TRELLIS LAYOUT PLAN
A1.08 SCALE: 1/4" = 1'-0"



03 TRELLIS OVERHEAD PLAN
A1.08 SCALE: 1/4" = 1'-0"



06 ENTRY SIGNAGE
A1.08 SCALE: 1/2" = 1'-0"

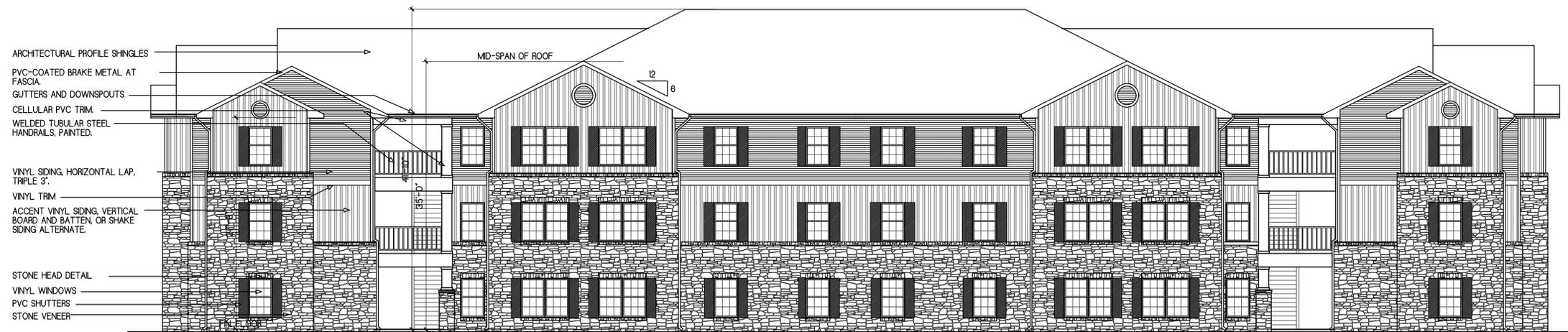


THE SOLSTICE LOFTS
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54 RESIDENTIAL UNITS

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DATE: 07-03-2014
FILE:
REV: 08/12/2014
REV:

ACCESSORY PLANS

A1.08



- ARCHITECTURAL PROFILE SHINGLES
- PVC-COATED BRAKE METAL AT FASCIA
- GUTTERS AND DOWNSPOUTS
- CELLULAR PVC TRIM
- WELDED TUBULAR STEEL HANDRAILS, PAINTED
- VINYL SIDING, HORIZONTAL LAP, TRIPLE 3"
- VINYL TRIM
- ACCENT VINYL SIDING, VERTICAL BOARD AND BATTEN, OR SHAKE SIDING ALTERNATE
- STONE HEAD DETAIL
- VINYL WINDOWS
- PVC SHUTTERS
- STONE VENEER

01 BUILDING 1,2,3 LONG ELEVATION
A5.01 SCALE: 1/8" = 1'-0"



02 BUILDING 1,2,3 END ELEVATION
A5.01 SCALE: 1/8" = 1'-0"



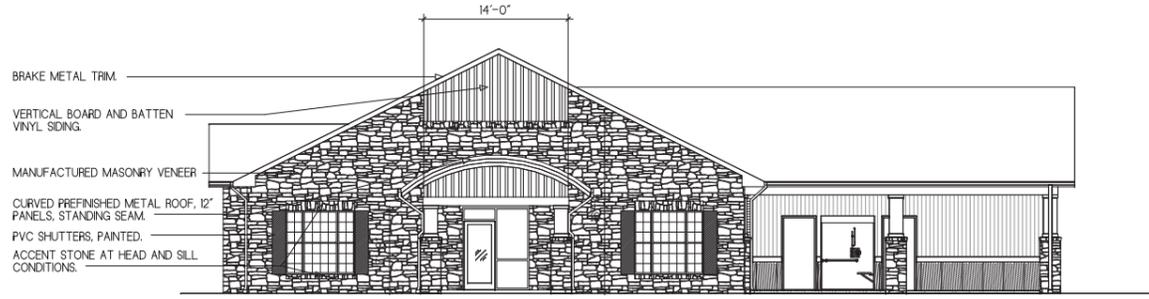
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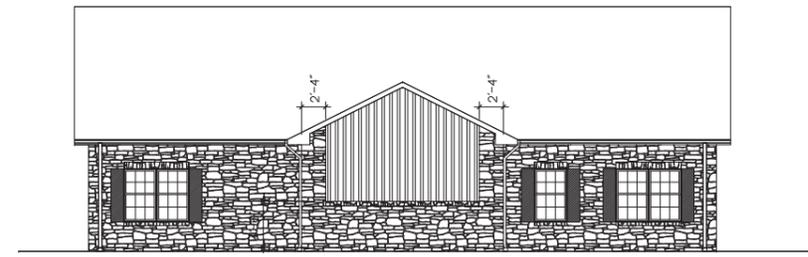
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DATE: 06-19-2014

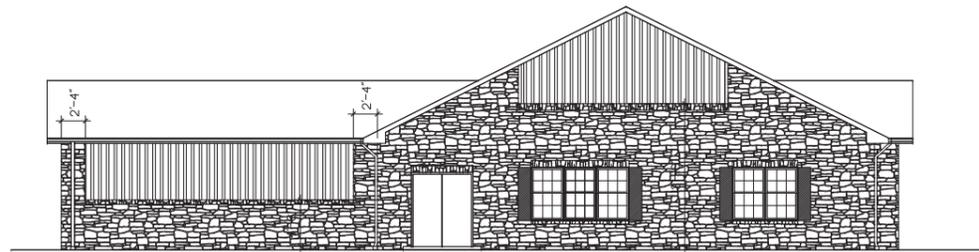
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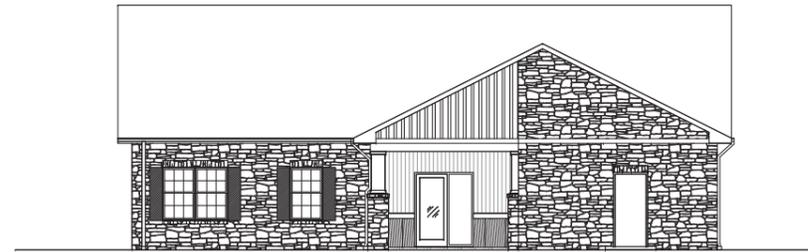
02 BUILDING #4 - EAST ELEVATION
 A5.02 SCALE: 1/8" = 1'-0"



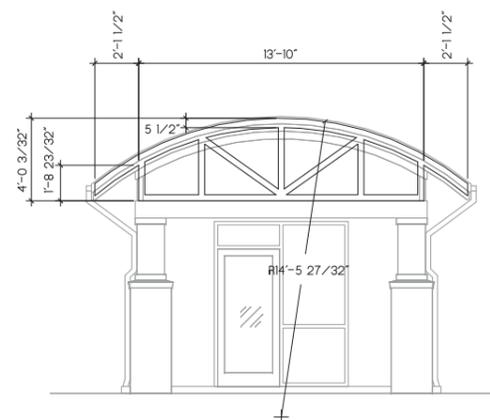
03 BUILDING #4 - SOUTH ELEVATION
 A5.02 SCALE: 1/8" = 1'-0"



04 BUILDING #4 - WEST ELEVATION
 A5.02 SCALE: 1/8" = 1'-0"



05 BUILDING #4 - NORTH ELEVATION
 A5.02 SCALE: 1/8" = 1'-0"

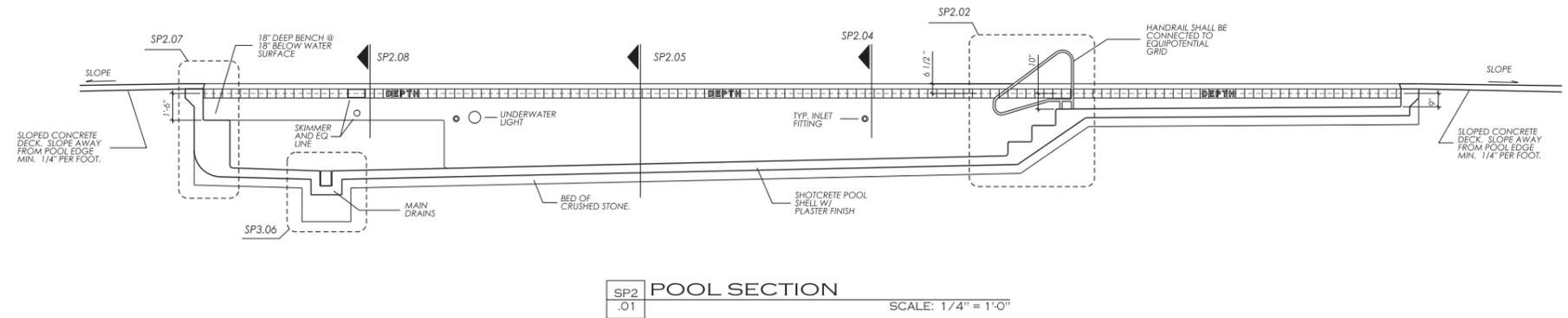
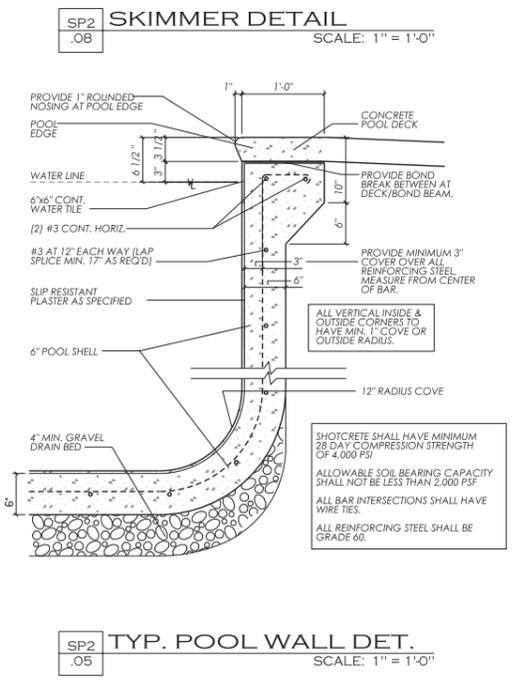
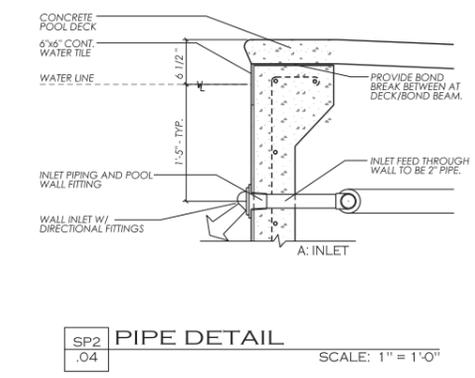
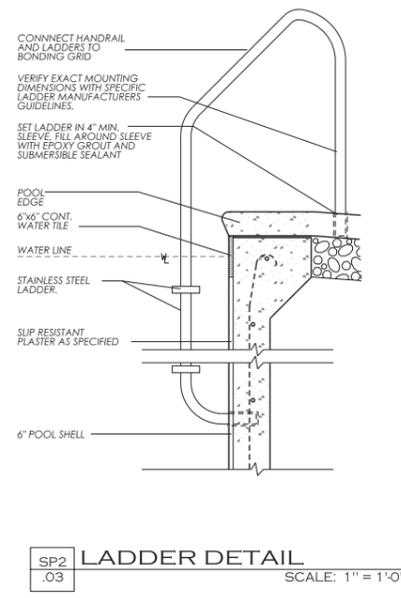
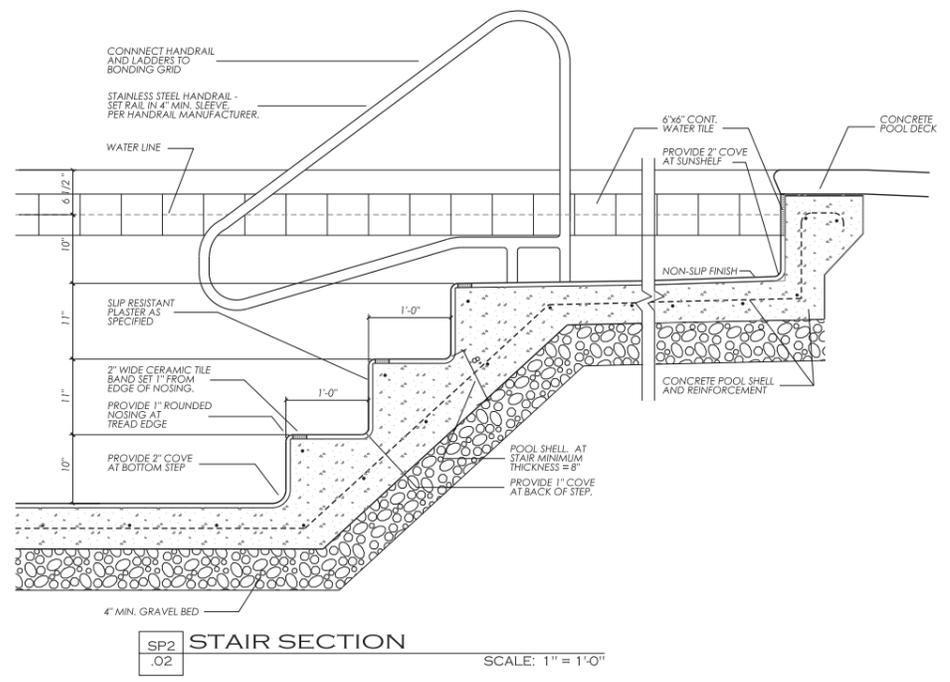
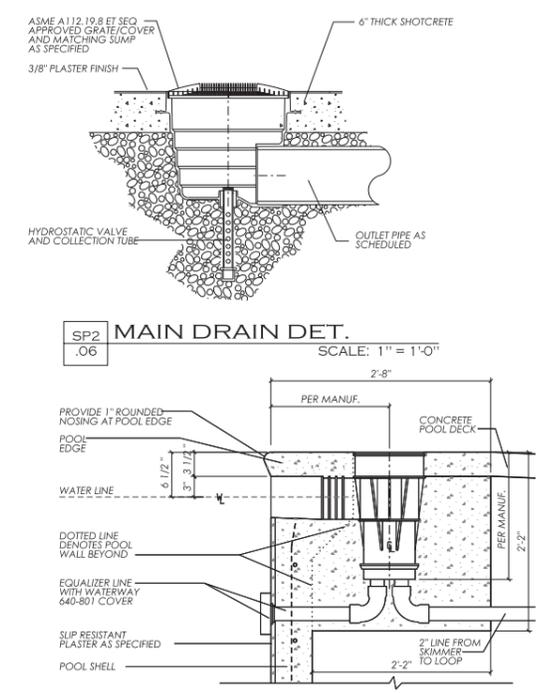
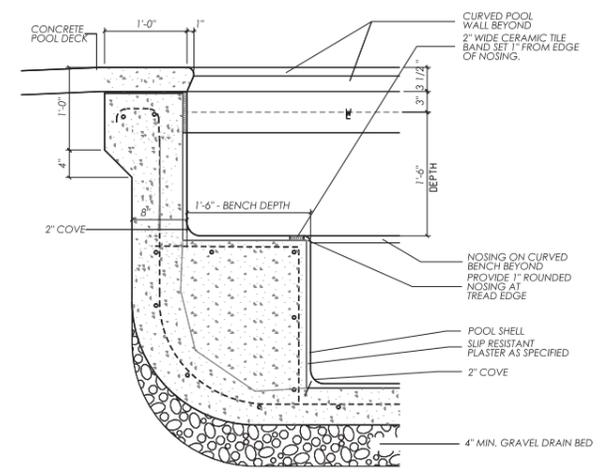
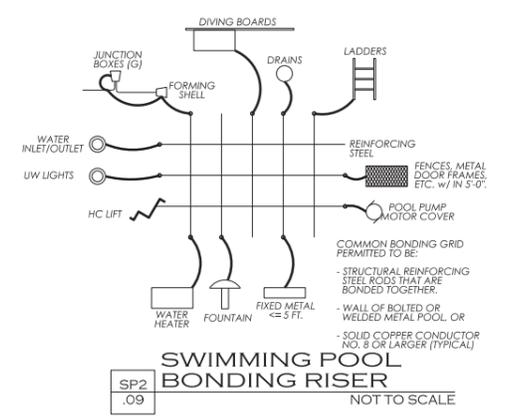
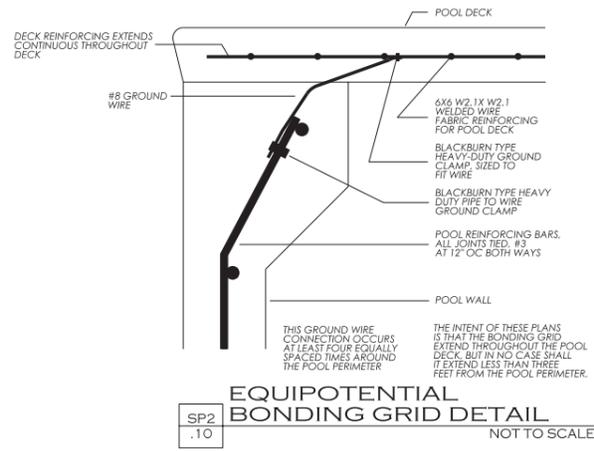


05 ENLARGED ENTRY - TRUSS PROFILE
 A5.02 SCALE: 1/4" = 1'-0"



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NO.	DATE	COMMENTS/REVISIONS

SWIMMING POOL FOR THE SOLSTICE LOFTS
WILMINGTON, NORTH CAROLINA

