

Memo

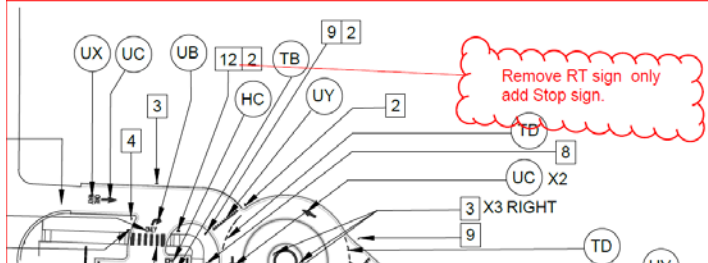
To: Rob Balland, Paramounte Engineering
From: Brian Chambers, Assistant Director, 910.342.2782
CC: File;
Date: 10/17/2023
Re: The Avenue TRC Rev 3

The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. A staff summary of comments:

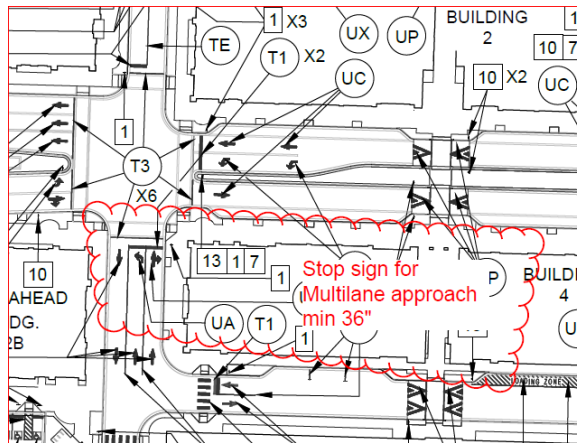
Staff	Department	Notes
Brian Chambers	Planning, Plan Review	No comments
Eric Seidel	Engineering	No comments
Chris Walker	Fire	No comments
Mitesh Baxi	Traffic Engineering	Comments attached
Bill McDow	Transportation	Comments attached

SIGNAGE AND PAVEMENT MARKING PLAN Sheet C-2.22: Signage and pavement marking plan comments from Signs & Markings Manager. Images are attached for reference.

1. Remove right-turn only sign and add a stop sign, in an advance of crosswalk/ADA ramp for the driveway off Harborview Way immediate to Military Cutoff Rd.



2. Stop signs that face multilane approaches shall be minimum 36"x36". The location is at the intersection of Carrol Ave/Havenstone Way.




3. Pedestrian and bike related warning signs use fluorescent yellow green background. The sign images appear to show this color but a note to be included.

10		W11-2	PEDESTRIAN CROSSING SIGN 30" DIAMOND	REVIS APPROVE
		W16-7R	DIRECTIONAL ARROW RIGHT 12" H. X 24" L.	
		W16-7L	DIRECTIONAL ARROW LEFT 12" H. X 24" L.	
		W169P	PEDESTRIAN CROSSING AHEAD 12" H. X 24" L.	

Pedestrian related signage use FYG background (add note)

4. Remove roundabout circulation sign and follow MUTCD guidelines for this sign.

	\$ 250		
9		R6-5P SEE SHEET C-6.0B	ROUNDABOUT CIRCULATION SIGN 30" X 30"

- Delete City SD 11-14 from sheet C-6.0B and reference/use current MUTCD roundabout standards.

STREET LIGHTING [City of Wilmington Street Lighting Policy]:

- Awaiting streetlighting plan for the section of Military Cutoff Rd abutting this development. Please submit the plans for City review as soon as they become available.

TECHNICAL STANDARDS:

- Show the lane configuration pavement markings for Military Cutoff Rd on truck turning exhibit sheet. This is to ensure the turn ends up in an appropriate lane.
- The city's 20'x70' and 46'x46' sight distance triangle are missing at locations like at the intersection of Military cutoff Rd intersecting with Everton Way and Carroll Ave, Havenstone Way, [Sec. 18-667 CofW Updated LDC] [Sec. 18-693 CofW Updated LDC]. 20' shall be measured from property line towards the property and extend lines upto curb. 70' shall be measured along curb line.
- Show all the sight distance triangles on the site and landscape plans.

SIGHT DISTANCE TRIANGLE FOR ANY STREET/DRIVEWAY INTERSECTIONS WITH THOROUGHFARES

Military Cutoff Rd is a major thoroughfare [Chap VII (C) (2) (a) of CofW Tech Stds]. In accordance with the City Code, sight distances along thoroughfares must be calculated in compliance with the AASHTO requirements. [Chap VII (C) (1) of CofW Tech Stds] [Sec.18-556 CofW LDC] [Sec. 18-667 CofW Updated LDC].

For Intersections with Traffic Signal Control, if right turns on a red signal are to be permitted from any approach, then the appropriate departure sight triangle to the left should be provided to accommodate right turns from that approach.

Please let me know if you have any questions or if I can be of further assistance.

Project Name: **THE AVENUE**

TRC Date: **10.16.2023**

Reviewer Name: **BILL McDow**

Reviewer Department/Division: **PDT/Transportation Planning**

TECHNICAL STANDARDS:

1. A TIA with conditions was approved for The Avenue. The development will be required to install TIA improvements prior to issuance of CO. [[The Avenue Rezoning Ordinance, Condition #17, dated 6-5-2018](#)]
2. The site plans have added phases to the project, Phase 1 to Phase 6. The approved TIA was not phased; therefore, the TIA Improvements are due with the CO of the first buildings for the project. Please contact Scott James, PE at (910) 473-5130 or scott.james@wilmingtonnc.gov to discuss the proposal to phase this TIA. [[Revised The Avenue TIA Approval Letter with Conditions dated 2-25-19.](#)]
3. As previously stated, Harborview Drive is required to have a 100' Internal Protective Stem, measured from the ROW. The driveway from parking lot #1 appears to conflict with the 100' IPS. [[Revised The Avenue TIA Approval Letter with Conditions dated 2-25-19.](#)] Please revise.
4. Please mark the 100' internal protective stem for Everton Way. Everton Way is required to have a 100' Internal Protective Stem, measured from the ROW. [[Revised The Avenue TIA Approval Letter with Conditions dated 2-25-19.](#)]
5. Harborview Drive is required to be configured as a signalized pedestrian crossing with pedestrian signal equipment. [[The Avenue Rezoning Ordinance Conditions, dated 6-5-18.](#)] Please show the pedestrian signal and push button on the site plan.
6. As previously stated, at Carroll Avenue, please label the proposed driveway stem, storage and taper lengths, per the TIA. [[Revised The Avenue TIA Approval Letter with Conditions dated 2-25-19.](#)]
7. As previously stated, the proposed Roundabout does not meet AASHTO, City of Wilmington and MUTCD requirements. The proposed distance between the crosswalks and yield lines at the Roundabouts does not meet the minimum requirements, a minimum of 22' is required from the circular travel way along each entrance and exit approach. Splitter islands are required for the roundabout. Please revise.
8. As previously stated, Speed Humps, Speed Tables and similar Traffic Calming devices require Council preapproval per the City Ordinance. Please provide documentation of the City Council approval of the proposed raised crosswalks and traffic calming tables, which are installed within the site, (Lilygate Lane, Carroll Avenue and Harborview Drive)