

To: Howard Resnik, PE
From: Pat O’Mahony, Associate Planner; 910-341-0189
CC: File;
Date: 12/1/2021
Re: Switchyard TRC Rev. 2

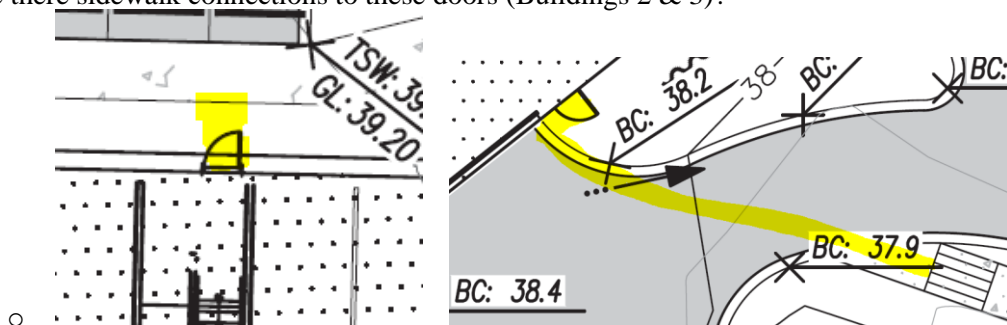
The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. A staff summary of comments:

Staff	Department	Notes
Pat O’Mahony	Planning, Plan Review	Comments below
Eric Seidel, PE	Engineering	Comments attached
Chris Walker	Fire	No further comments
Bill McDow	Transportation	No further comments
Mitesh Baxi	Traffic Engineering	Comments attached

Pat O’Mahony – Planning

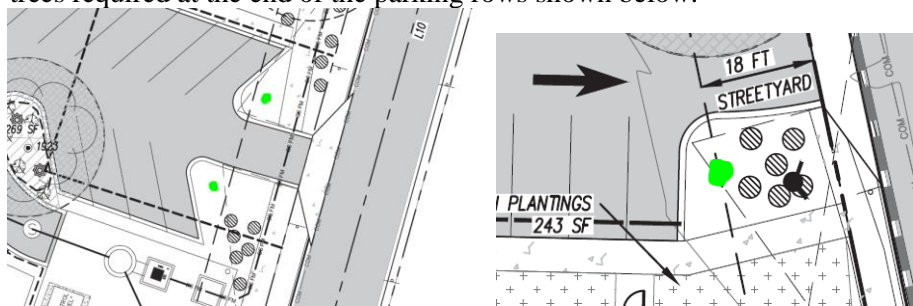
Site Plan Comments:

- Are there sidewalk connections to these doors (Buildings 2 & 3)?



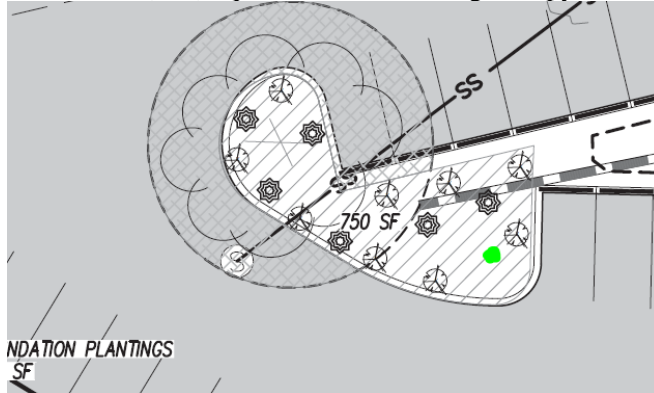
Landscape Plan Comments:

- Canopy trees required at the end of the parking rows shown below.



- Minimum planting size for canopy trees is 2” caliper. Please update plant tables (see streetyard trees).

- Sec. 18-457g.: A minimum of fifteen (15) trees at least two (2) inches DBH shall be retained or planted on the parcel for each acre or proportionate area disturbed by development. Show compliance in landscape calculations.
- All larger planting islands will have additional trees in increments of one (1) tree for each additional two hundred (200) square feet if installing small shade trees or one (1) tree for every four hundred (400) square feet if installing canopy trees. Additional tree needed.



Project Name: Switchyard

Reviewer: Eric Seidel, PE

Department: Engineering – Plan Review Section

1. Provide Detail and/or Note showing CB6A & CB6 to be elevated 6" to promote passive infiltration.
2. Provide PC Cross Section Detail. Include a note stating *"Pervious concrete provided for conservation resource encroachments only, impervious reduction credit not taken"*.
3. Update Low Density Deed Restriction form. Recommend setting maximum BUA limit at exactly 24% (108,546 sf).
4. Update Supplement with new property acreage and impervious surface data.
5. Update Site Data BUA (Sheet 5) and application so that impervious surface is less than or equal to 24% (108,546 sf). The low density requirement of 24% cannot be rounded down. Allocate any additional BUA as Future on the application.
6. Provide Operation & Maintenance Agreement for Pervious Concrete. FYI: Supplement not required.
7. Submit City Stormwater permit modification, version 2.3, for Fire Station road improvements. A permit modification, SWP2014010R1, will be written once the Switchyard project is approved and released for construction.
8. Please confirm 6" cleanout is an appropriate discharge tie-in for 4" Forcemain and a MH is not required.

Project Name: **SWITCHYARD**

Formal TRC #2 Date: **11.30.2021**

Reviewer Name: **Mitesh Baxi**

Reviewer Department/Division: **PDT/Traffic Engineering**

TECHNICAL STANDARDS – NEW ROADS:

1. Provide additional dimension and details for Switchyard Lane off Market St.
2. Proposed ADA ramps on Switchyard Ln in the vicinity of the intersection of Switchyard Ln and Dalmatian Ln shall be in accordance with City standards. Show graphics for flares and detectable warning domes.

SIGNAGE AND PAVEMENT MARKING PLAN:

3. Add a note on the plan as per below.
'Proposed Signage and Pavement markings are subject to revision based on field inspection and engineering judgment by City's Signage and Pavement markings Manager/Supervisor prior to the street acceptance. Please contact Traffic Engineering prior to installation.'
4. Show the graphics for the proposed stop bar at the intersection of Market St and Switchyard Ln.
5. Revise the location of the Stop sign to show it outside the flare of an ADA ramp at the corner of Market St.
6. Speed limit signs proposed should be '25MPH Areawide' entering from Market St and Cinema Dr. [City Sign Specifications] Speed limit signs for the section of Switchyard Ln south of Dalmatian Ln are not required and shall not be installed.
7. 'No right turn' and 'No left turn' signs: These signs shall not be installed on public ROW. Instead 'Do not enter' signs may be installed for the one-way exit driveways [MUTCD]. If installed, these signs shall be outside the public ROW.
8. The Stop sign/bar at Dalmatian Ln and Switchyard Ln needs to be pulled back to allow for pedestrian crossing in front of the stop bar.
9. The crosswalk across Switchyard Ln should be moved closer to the intersection of Dalmatian Ln. If moved closer to the intersection, pavement markings for this crosswalk are not required and shall not be installed. The proposed streetlight shall also be moved accordingly.

10. SIGHT DISTANCE TRIANGLE FOR ANY STREET/DRIVEWAY INTERSECTIONS WITH THOROUGHFARES

Market St is a major thoroughfare [Chap VII (C) (2) (a) of CofW Tech Stds]. In accordance with the City Code, sight distances along thoroughfares must be calculated in compliance with the AASHTO requirements. [Chap VII (C) (1) of CofW Tech Stds] [Sec.18-556 CofW LDC]. Revise to show the SDT for the departure.

TECHNICAL STANDARDS – PARKING:

11. As per ADA Standards one of six accessible parking spaces, but always at least one, must be van accessible. <https://www.wilmingtonnc.gov/home/showdocument?id=3944>
12. For all parking spaces having 16' length and not perpendicular to sidewalk, a 4-inch curb functioning as a wheel stop may be utilized instead of installing separate wheel stops. The 5' sidewalk proposed adjacent to 90-degree parking spaces does not meet ADA requirements. [Chapter VII, Detail SD 3-07 & SD 15-13 CofWTSSM] [Page 7-20 of CofWTSSM].
13. Please show location of accessible parking signs.

STREET LIGHTING [City of Wilmington Street Lighting Policy]:

1. There are existing lights on fire station driveway/proposed Dalmatian Ln public ROW that are non-standard. It is the developer's responsibility to uninstall those. Revise the callouts accordingly.
2. Reconcile the proposed streetlight locations with site/landscaping plans.

Please let me know if you have any questions or if I can be of further assistance.