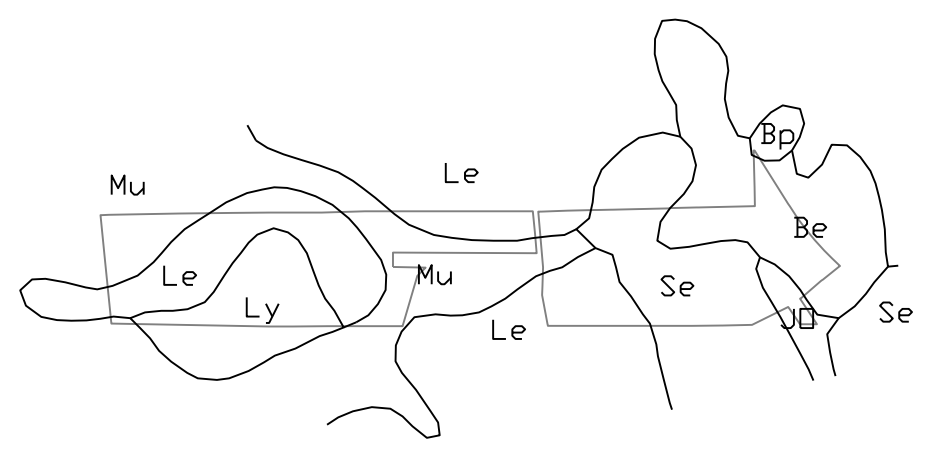


- GENERAL NOTES:**
- PROJECT ADDRESS : 6120 OLEANDER DRIVE
  - PARCEL INFORMATION:  
SHIRLEY B. JOHNSON et al  
1. 06208-013-012-000, 6120 OLEANDER DRIVE  
2. 06208-013-010-001, 6909 GREENVILLE LOOP ROAD  
3. 06208-013-009-000, 6901 GREENVILLE LOOP ROAD  
4. 06208-013-008-000, 6831 GREENVILLE LOOP ROAD  
5. 06208-013-007-000, 3827 GREENVILLE LOOP ROAD  
6. 06208-013-006-000, 6819 GREENVILLE LOOP ROAD  
7. 06208-013-010-002, 6913 GREENVILLE LOOP ROAD  
HOWARD A. PENTON III  
1. 06211-003-004-000, 0 GREENVILLE LOOP ROAD  
2. 06207-008-008-002, 231 BAGLEY AVENUE
  - TOTAL ACREAGE = 25.80 AC.
  - CAMA LAND USE CLASSIFICATION IS WATERSHED RESOURCE PROTECTION
  - CURRENT ZONING O&I (CD) AND MF-L (CD)
  - PROPOSED ZONING CB (CD) AND MF-L (CD)
  - TOTAL NUMBER OF PROPOSED BUILDINGS = 47  
-2- PROFESSIONAL OFFICE/RETAIL BUILDINGS  
-19- SINGLE FAMILY HOMES  
-3- THREE UNIT BUILDINGS  
-3- FOUR UNIT BUILDINGS  
-8- FIVE UNIT BUILDINGS  
-6- SIX UNIT BUILDINGS  
-1- SEVEN UNIT BUILDING  
-1- POOL HOUSE
  - WATER AND SEWER ESTIMATED GPD  
-WATER = 66,873 GPD  
-SEWER = 58,150 GPD
  - SITE IS NOT LOCATED IN SPECIAL HIGHWAY OVERLAY DISTRICT

**SETBACK TABLE**

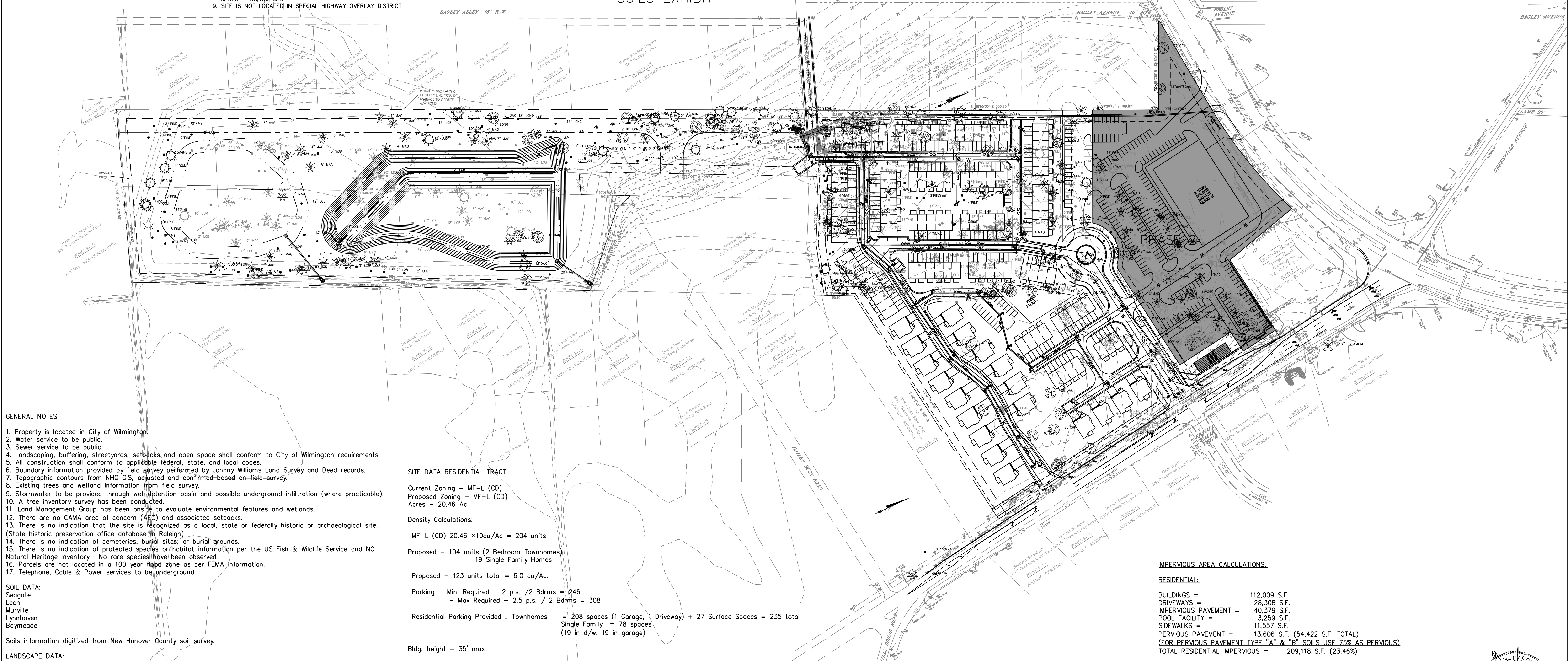
	CB	MF-L
	REQUIRED	REQUIRED
FRONT	20'	15'
SIDE	0'	5'
REAR	10'	15'
CORNER	20'	10'



SOILS EXHIBIT

- PROPOSED BUILDING BREAKDOWN**
- RESIDENTIAL:**
- 3 UNIT BUILDING = 2,148 S.F. X 3 = 6,444 S.F.
  - 4 UNIT BUILDING = 2,864 S.F. X 3 = 8,592 S.F.
  - 5 UNIT BUILDING = 3,580 S.F. X 8 = 28,640 S.F.
  - 6 UNIT BUILDING = 4,296 S.F. X 6 = 25,776 S.F.
  - 7 UNIT BUILDING = 5,012 S.F. X 1 = 5,012 S.F.
  - SINGLE FAMILY = 1,875 S.F. X 19 = 35,625 S.F.
  - POOL HOUSE = 1,920 S.F. = 1,920 S.F.
- RESIDENTIAL TOTAL = 112,009 S.F.
- CB SITE:**
- BUILDING #1 120' X 200' = 24,000 S.F.
  - BUILDING #2 60' X 120' = 7,200 S.F.
- CB TOTAL = 31,200 S.F.
- TOTAL BUILDINGS = 143,209 S.F.

- SITE DATA O&I TRACT**
- Acres - 5.33 Ac. or 232,326 Sq. Ft.
  - Current Zoning - O&I (CD)
  - Proposed Zoning - CB (CD)
  - Current Use - Vacant
  - Proposed Use - Retail/Professional office - 62,400 s.f.
  - Bldg (1) - 24,000 s.f. (Retail) & 24,000 s.f. (Office)
  - Bldg (2) - 7,200 s.f. (Retail) & 7,200 s.f. (Office)
  - Building Lot Coverage : 31,200 s.f. = 13.43 %
- | Parking Required    | Maximum | Minimum |
|---------------------|---------|---------|
| Professional Office | 156     | 104     |
| Retail              | 156     | 78      |
| Totals              | 312     | 182     |
- Parking Provided = 210 spaces
  - Proposed Maximum Building Height = 35 feet



- GENERAL NOTES**
- Property is located in City of Wilmington.
  - Water service to be public.
  - Sewer service to be public.
  - Landscape, buffering, setbacks and open space shall conform to City of Wilmington requirements.
  - All construction shall conform to applicable federal, state, and local codes.
  - Boundary information provided by field survey performed by Johnny Williams Land Survey and Deed records.
  - Topographic contours from NHC GIS, adjusted and confirmed based on field survey.
  - Existing trees and wetland information from field survey.
  - Stormwater to be provided through wet detention basin and possible underground infiltration (where practicable).
  - A tree inventory survey has been conducted.
  - Land Management Group has been onsite to evaluate environmental features and wetlands.
  - There are no CAMA area of concern (AEC) and associated setbacks.
  - There is no indication that the site is recognized as a local, state or federally historic or archaeological site. (State historic preservation office database in Raleigh)
  - There is no indication of cemeteries, burial sites, or burial grounds.
  - There is no indication of protected species or habitat information per the US Fish & Wildlife Service and NC Natural Heritage Inventory. No rare species have been observed.
  - Parcels are not located in a 100 year flood zone as per FEMA information.
  - Telephone, Cable & Power services to be underground.

**SOIL DATA:**  
Seagate  
Leon  
Murphy  
Lynchaven  
Boymeade

Soils information digitized from New Hanover County soil survey.

**LANDSCAPE DATA:**

- Prior to any clearing, grading or construction activity tree protection fencing will be installed around protected trees or groves of trees.
- No construction workers, tools, materials or vehicles are permitted within the tree protection fencing.

**Preserved/Removed Trees - Notes:**

- No regulated trees are to be removed outside of the area of disturbance necessary for essential site improvements.
- A tree removal permit will be obtained from the city prior to construction.
- Regulated trees are to be protected outside of the area of disturbance necessary for essential site improvements.

**SITE DATA RESIDENTIAL TRACT**

Current Zoning - MF-L (CD)  
Proposed Zoning - MF-L (CD)  
Acres - 20.46 Ac

**Density Calculations:**

MF-L (CD) 20.46 x 10du/Ac = 204 units

Proposed - 104 units (2 Bedroom Townhomes)  
19 Single Family Homes

Proposed - 123 units total = 6.0 du/Ac.

Parking - Min. Required - 2 p.s. / 2 Bdrms = 246  
- Max Required - 2.5 p.s. / 2 Bdrms = 308

Residential Parking Provided : Townhomes = 208 spaces (1 Garage, 1 Driveway) + 27 Surface Spaces = 235 total  
Single Family = 78 spaces  
(19 in d/w, 19 in garage)

Bldg. height - 35' max

Open Space - 35% tract area  
- Required 35% X 20.46 Ac. (total residential Ac.) = 7.16 Ac.  
- Proposed - 7.20 Ac.

**IMPERVIOUS AREA CALCULATIONS:**

**RESIDENTIAL:**

- BUILDINGS = 112,009 S.F.
- DRIVEWAYS = 28,308 S.F.
- IMPERVIOUS PAVEMENT = 40,379 S.F.
- POOL FACILITY = 3,259 S.F.
- SIDEWALKS = 11,557 S.F.
- PERVIOUS PAVEMENT = 13,606 S.F. (54,422 S.F. TOTAL)
- (FOR PERVIOUS PAVEMENT TYPE "A" & "B" SOILS USE 75% AS PERVIOUS)
- TOTAL RESIDENTIAL IMPERVIOUS = 209,118 S.F. (23.46%)

**COMMERCIAL:**

- BUILDINGS = 31,200 S.F.
- SIDEWALKS = 2,777 S.F.
- IMPERVIOUS PAVEMENT = 19,137 S.F.
- PERVIOUS PAVEMENT = 18,227 S.F. (72,906 S.F. TOTAL)
- (FOR PERVIOUS PAVEMENT TYPE "A" & "B" SOILS USE 75% AS PERVIOUS)
- TOTAL CB IMPERVIOUS = 71,341 S.F. (30.71%)

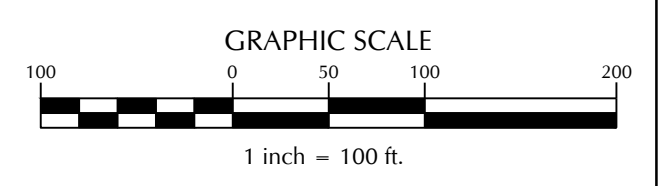
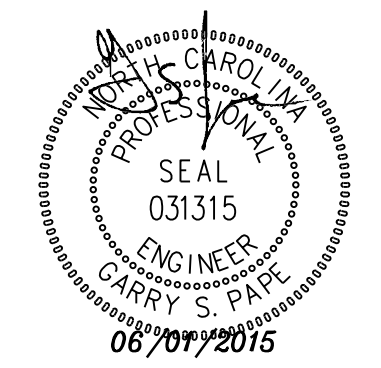
TOTAL SITE 25.80 AC. = 1,123,751 S.F.

ALLOWABLE IMPERVIOUS COVERAGE = 280,938 (25%)

TOTAL PROVIDED = 280,459 S.F. (24.96%)

**OWNERS:**  
R.B. JOHNSON TRUST &  
HOWARD A. PENTON III

**AGENT:** HOWARD PENTON, MANAGER  
SUMMERWALK DEVELOPMENT, LLC  
C/O: 6105 OLEANDER DRIVE  
WILMINGTON, NC 28403  
PHONE 910-452-1410  
FAX 910-452-7768



No.	Revision	Date	By	Designer	Scale
				GSP	1" = 100'
				GSP	JUNE 2015
				P-0718	2014-0008

**SUMMERWALK - PHASE 1**

Wilmington New Hanover County North Carolina

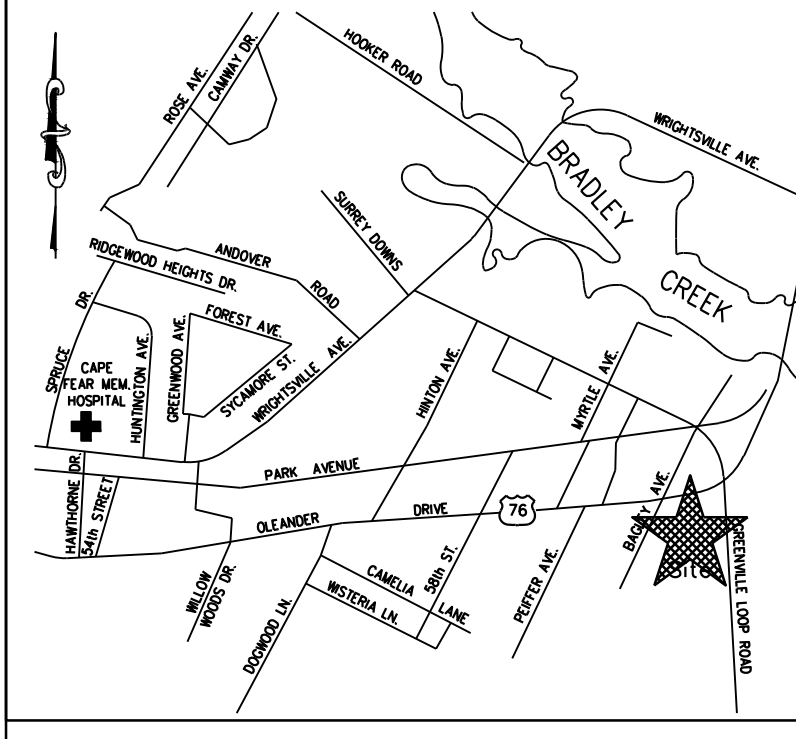
**OVERALL SITE PLAN**

**PREPARED FOR:**  
Summerwalk Development, LLC  
6105 Oleander Drive  
Suite 201  
Wilmington, NC 28401

**GSP CONSULTING, PLLC**  
ENGINEERING

6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659

Sheet No.  
**C-1**



- Traffic Notes:
- All pavement markings in public rights-of-way for driveway are to be thermoplastic & meet City and/or NCDOT standards.
  - Traffic control devices (including signs and pavement markings) in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards.
  - Contact Tom Platt, with Traffic Engineering, at 341-7888 to ensure that all traffic signal facilities and equipment are shown on the plan. Add a note to call Traffic Engineering forty-eight (48) hours prior to any excavation in the RW.
  - Any broken or missing sidewalk panels and/or curbing shall be replaced.
  - Contact Karen Dixon at 341-7888 to discuss street lighting options. The landscaping plan will be needed to determine street light locations.
  - Tactile warning mats to be installed at all wheelchair ramps.
  - Once streets are ready to be open to public traffic, contact the Traffic Engineering Division to request installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.
  - A landscaping plan, indicating the location of required street trees shall be submitted to the Traffic Engineering Division and Parks & Recreation Department for review and approval prior to the recording of the Final Plat. Plan shall adhere to SD 15-17.

**LANDSCAPE NOTES & CALCULATIONS**

- STREETYARD:**
  - OLEANDER DRIVE = PRIMARY STREETYARD
  - GREENVILLE LOOP ROAD = SECONDARY STREETYARD
  - PROPOSED ACCESS R/W = SECONDARY STREETYARD

**2) STREETYARD TABLE:**

STREET	FRONTAGE	MULTIPLIER REQUIRED	MULTIPLIER USED	AREA PROVIDED
OLEANDER DRIVE	500'	18	22	11,000 s.f.
GREENVILLE LOOP ROAD	674'	9	15	10,110 s.f.
PROP. R/W (BOTH SIDES)	776'	9	9	6,984 s.f.

**3) FOUNDATION LANDSCAPING CALCULATIONS (CB)**

BUILDING	BUILDING HEIGHT	FACE ADJ. PARKING (I.F.)	S.F. x 12% REQUIRED AREA	AVERAGE FNDTN PLANTING BED	AREA PROVIDED
"1"	35'	320'	1,344 s.f.	5.4'	1,400 s.f.
"2"	35'	180'	756 s.f.	5.4'	800 s.f.

**4) INTERIOR PARKING LOT LANDSCAPE CANOPY CALCULATION TABLE:**

PARKING IMPERVIOUS AREA	INTERIOR SHADING REQUIREMENT	Sq. Ft. CANOPY COVER	MIN. CANOPY TREES REQUIRED/PROVIDED
CB 53,523 s.f.	35%	18,733 s.f.	27 CANOPY TREES OR EQUIVALENT
MF-L 8,176 s.f.	35%	2,862 s.f.	4 CANOPY TREES OR EQUIVALENT

**5) 16.25 ACRES DISTURBED X 15 TREES/AC = 228 TREES**

**6) PROPOSED DEVELOPMENT SHALL MEET ALL TECHNICAL STANDARDS AND COMPLY WITH ALL SUBDIVISION REVIEW BOARD REQUIREMENTS FOR THE CITY OF WILMINGTON.**

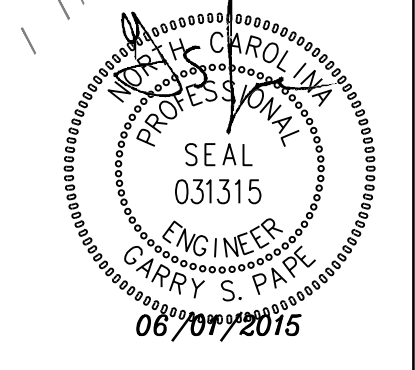
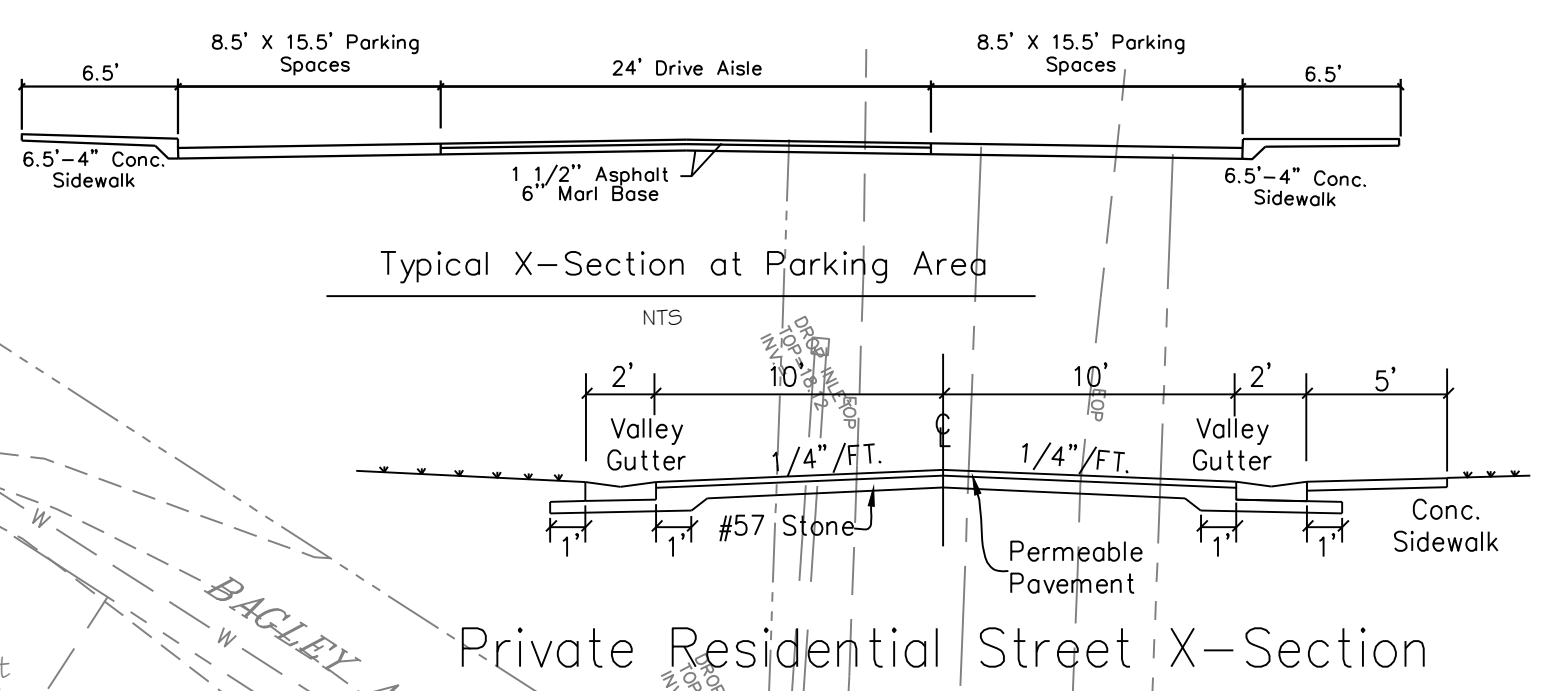
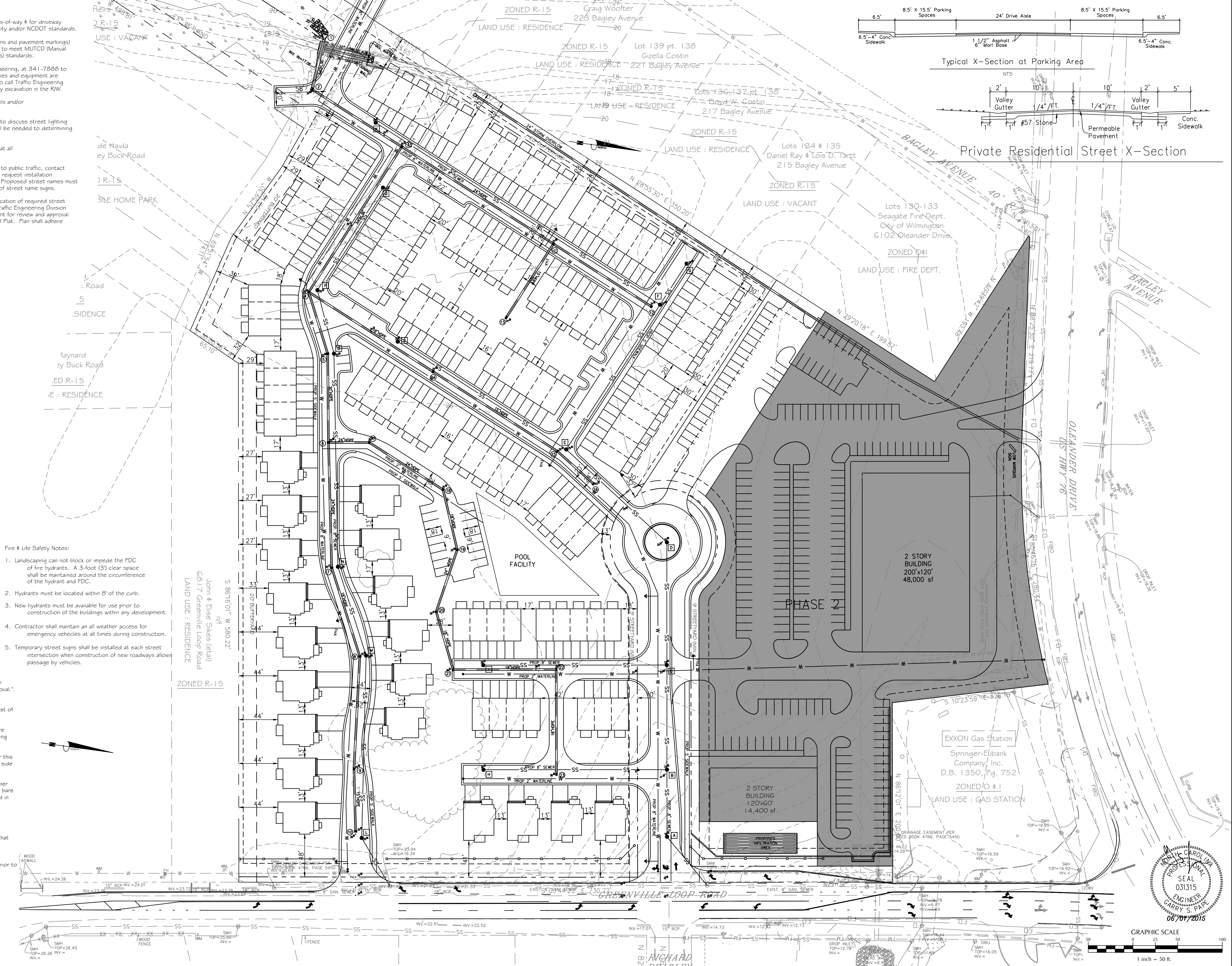
**Development Notes:**  
 1. All development shall be in accordance with the City of Wilmington Land Development Code & Technical Standards Manual.

**Utility Notes:**

- Existing water is available in Greenville Loop Road and Olander Drive, from the Cape Fear Public Utility Authority. Wastewater will be collected and conveyed to the existing sewer main via gravity.
- All utility services, such as electric power, CATV, gas & telephone shall be installed underground.
- Project shall comply with Cape Fear Public Utility Authority Cross Connection Control requirements. Water meter(s) cannot be released until all requirements are met and N.C.D.E.N.R. has issued their "Final Approval." Call 343-3910 for information.
- Any backflow prevention devices required by the Cape Fear Public Utility Authority will need to be on the list of approved devices by USFCCCHR or ASSE.
- Water & sewer services can not be activated on new mains until the Engineer's Certification and as-builts are received and "Final Approval" issued by the Public Water Supply Section of NCDENR, and "Final Engineering Certification" issued by Division of Water Quality Section of NCDENR.
- If contractor desires Cape Fear Public Utility Authority water for construction, he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.
- When PVC water mains and services are proposed, the pipes are to be marked with No. 10 insulated copper wire installed and strapped to the pipes with duct tape. The insulated wire is to be strapped to bare wire and secured to all valves and fittings. This wire is to be accessible in all valve & meter boxes to aid in future location of facilities.
- The contractor is responsible for the location and protection or existing utilities during construction. Call U-LOCO at 1-800-632-4949.
- Contractor is responsible for the repair and replacement of any utilities, curb & gutter, pavement, etc. that may be damaged during construction. Damaged items shall be repaired to at least the quality or workmanship found in the original item.
- The BellSouth contact is Steve Dayvault, Building Industry Consultant, at 910-392-8712. Contact him prior to starting the project in order to facilitate good communication and maximum flexibility.
- The process for telephone cable placement:
  - Final grade will need to be established.
  - Power will place their cable first - approx. 3' deep.
  - BellSouth & Cable TV will then place their cable at approximately 2' deep.
- Solid waste disposal is by dumpster pickup by private service.

Contour Interval = 2'  
 Boundary & topographic data compiled  
 NHC records/field survey verification

- Fire & Life Safety Notes:**
- Landscaping can not block or impede the FDC of fire hydrants. A 3-foot (3') clear space shall be maintained around the circumference of the hydrant and FDC.
  - Hydrants must be located within 6' of the curb.
  - New hydrants must be available for use prior to construction of the buildings within any development.
  - Contractor shall maintain an all weather access for emergency vehicles at all times during construction.
  - Temporary street signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles.



No.	Revision	Date	By

Designer	GSP	Scale	1" = 50'
Drawn By	GSP	Date	JUNE 2015
License #	P-0718	Job No.	2014-0008

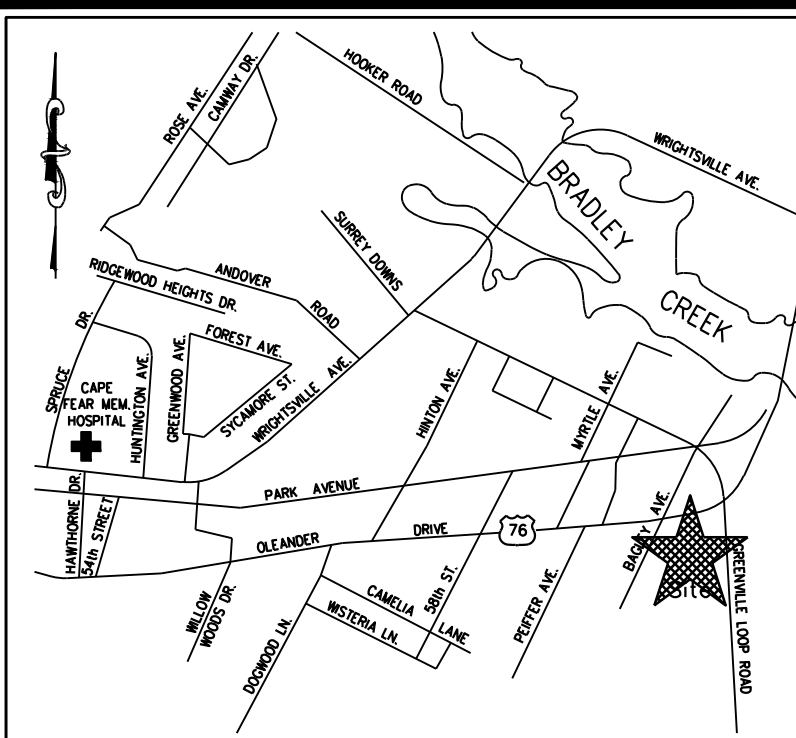
**SUMMERWALK - PHASE 1**  
 Wilmington North Carolina  
 New Hanover County

**SITE & UTILITY PLAN**

PREPARED FOR:  
 Summerwalk Development, LLC  
 6105 Olander Drive  
 Suite 201  
 Wilmington, NC 28401

**GSP CONSULTING, PLLC**  
 ENGINEERING  
 6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659

Sheet No.  
**C-2**



**Tree Preservation, Grading & Stormwater Management Notes:**

- Stormwater management will meet both State and City requirements, runoff detention and water quality requirements to be provided by infiltration (where practicable) and a Wet Detention Basin.
- Tree Preservation / Removal Permit is required prior to clearing & land disturbance.
- Prior to any clearing, grading or construction activity, tree protection fencing will be installed around protected trees or groves of trees and no construction workers, tools, materials, or vehicles are permitted within the tree protection fencing.
- Protective fencing is to be maintained throughout the duration of the project. Land clearing and construction contractors shall receive adequate instruction on tree protection requirements and methods.
- Pruning of overhanging live oaks should be performed by a certified arborist to reduce risks and conflicts.
- Tree preservation to be coordinated with City of Wilmington Arborist.



TREE INVENTORY & CREDITS			
TOTAL	QUANTITY	REMOVED	SAVED
	369	200	169

**GENERAL NOTES**

- Property is located in City of Wilmington.
- Water service to be public.
- Sewer service to be public.
- Landscaping, buffering, streetscapes and open space shall conform to City of Wilmington requirements.
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- Land Management Group has been onsite to evaluate environmental features and wetlands.
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- Parcels are not located in a 100 year flood zone as per FEMA information.
- Telephone, Cable & Power services to be underground.

**SOIL DATA:**

Seagote  
Leon  
Murville  
Lynnhaven  
Boymeade

Soils information digitized from New Hanover County soil survey.

**LANDSCAPE DATA:**

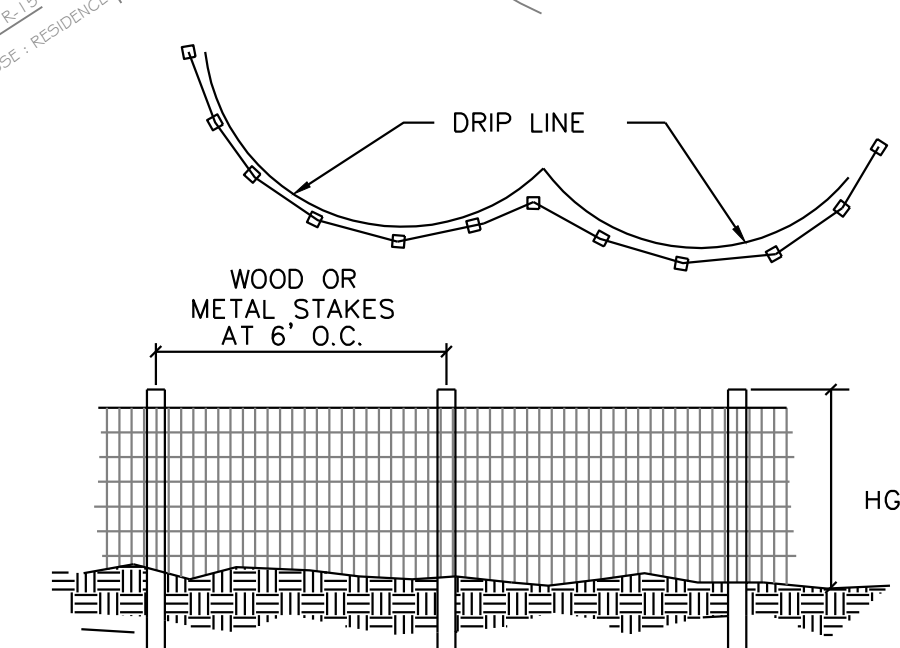
- Prior to any clearing, grading or construction activity tree protection fencing will be installed around protected trees or groves of trees.
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**Preserved/Removed Trees - Notes:**

- No regulated trees are to be removed outside of the area of disturbance necessary for essential site improvements.
- A tree removal permit will be obtained from the city prior to construction.
- Regulated trees are to be protected outside of the area of disturbance necessary for essential site improvements.

TREE / SIZE	QUANTITY
8" PINE	2
11" PINE	2
12" PINE	65
13" PINE	33
14" PINE	29
15" PINE	19
16" PINE	5
17" PINE	3
18" PINE	9
19" PINE	2
20" PINE	1
22" PINE	1
23" PINE	1
8" GUM	1
9" GUM	3
10" GUM	1
11" GUM	1
12" GUM	1
13" GUM	1
15" GUM	1
20" GUM	1
11" OAK	1
12" OAK	4
13" OAK	2
14" OAK	1
15" OAK	1
18" OAK	1
30" OAK	1
13" PECAN	1
13" SYCAMORE	1
27" SYCAMORE	1
12" MAPLE	1
13" MAPLE	1
18" MAPLE	1

TREE / SIZE	QUANTITY	TREE / SIZE	QUANTITY
10" PINE	2	8" MAG	4
12" PINE	3	9" MAG	1
13" PINE	5	10" MAG	1
14" PINE	3	4" DOGWOOD	3
15" PINE	2	8" MAPLE	3
16" PINE	19	9" MAPLE	1
16" PINE	2	7" GUM	2
18" PINE	2	8" GUM	6
19" PINE	1	9" GUM	1
5" OAK	1	10" GUM	1
6" OAK	2	11" GUM	2
7" OAK	2	13" GUM	1
8" OAK	7	8" SYCAMORE	1
9" OAK	3	7" PECAN	2
10" OAK	4	8" PECAN	1
11" OAK	2	10" PECAN	1
12" OAK	3	13" PECAN	1
13" OAK	1		
14" OAK	1		
15" GUM	1		
20" GUM	1		
11" OAK	1		
12" OAK	4		
13" OAK	1		
17" OAK	1		
18" OAK	1		
19" OAK	1		
20" OAK	3		
23" OAK	1		
40" OAK	1		
3" MAG	1		
4" MAG	17		
5" MAG	17		
6" MAG	14		
7" MAG	7		

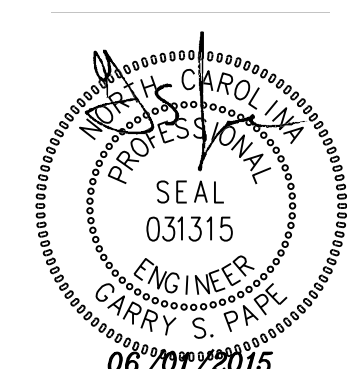
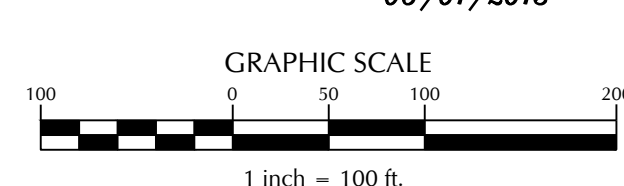


⊗ - TREES TO BE REMOVED  
 ⊗ - TREES TO BE SAVED

NOTES:  
 1. PRIOR TO ANY LAND DISTURBING ACTIVITIES, TREE PROTECTION FENCES SHALL BE INSTALLED ALONG THE DRIP LINES OF ALL EXISTING TREES LABELED AS TO BE RETAINED. NO STORAGE OF MATERIALS, FILL, ETC. AND NO PEDESTRIAN OR VEHICULAR TRAFFIC SHALL BE ALLOWED INSIDE OF THE FENCES DURING CONSTRUCTION.  
 2. TREE PROTECTION FENCING SHOULD BE LOCATED ONE FOOT OUT FROM THE TRUNK FOR EACH ONE INCH OF TRUNK DIAMETER.

Tree Protection Fence Detail

NOTE: ALL TREES ON ADJACENT PROPERTY, NO MORE THAN 40% OF ROOT ZONE TO BE ENCROACHED



No.	Revision	Date	By

Designer	GSP	Scale	1" = 100'
Drawn By	GSP	Date	JUNE 2015
License #	P-0718	Job No.	2014-0008

**SUMMERWALK - PHASE 1**

Wilmington      New Hanover County      North Carolina

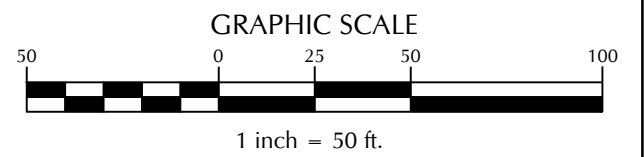
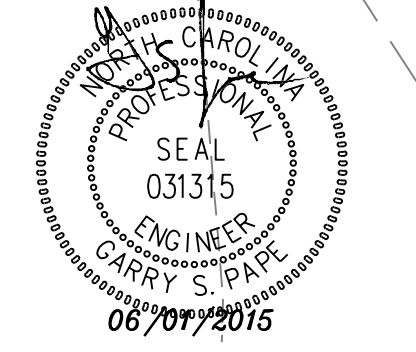
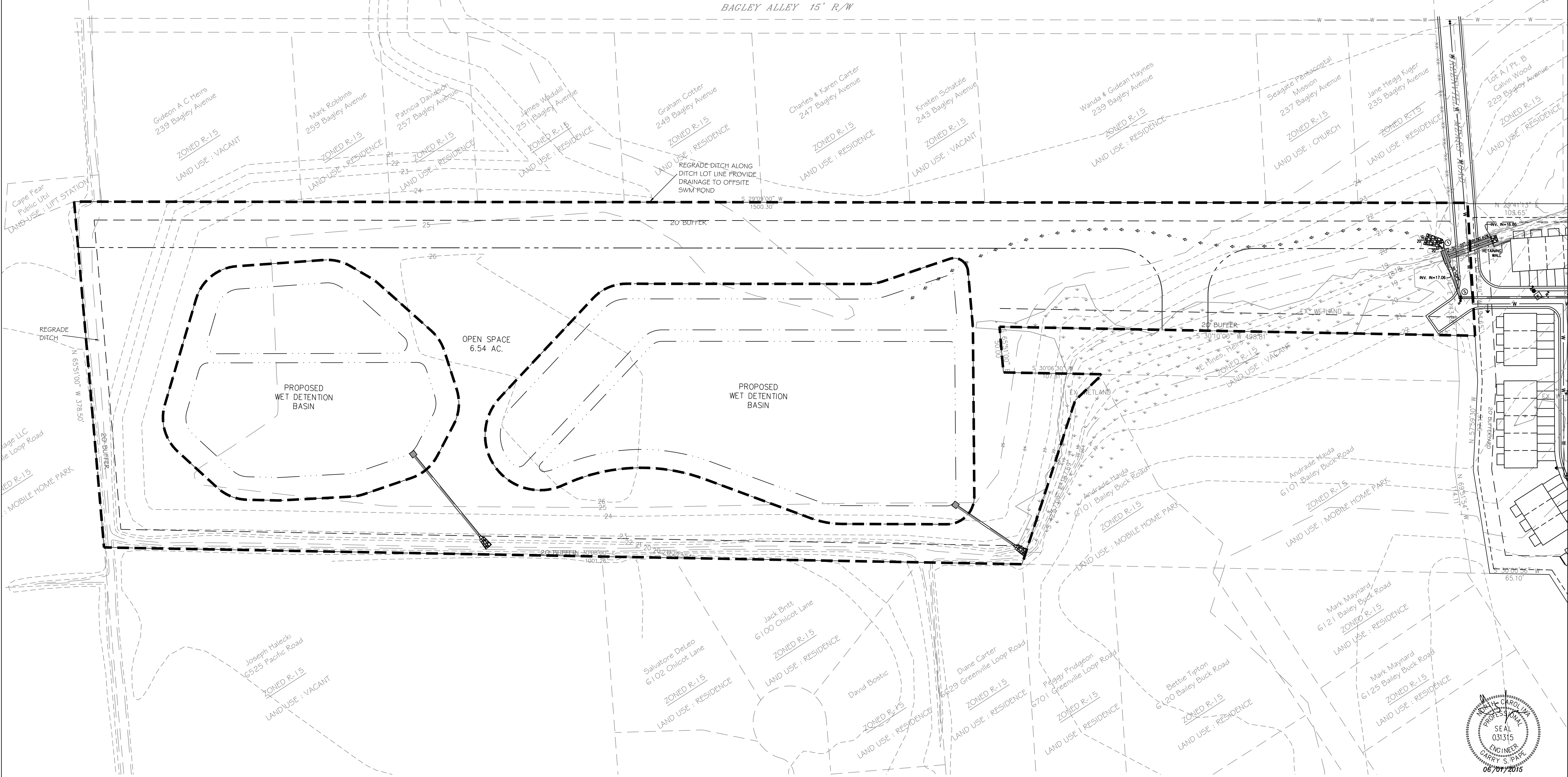
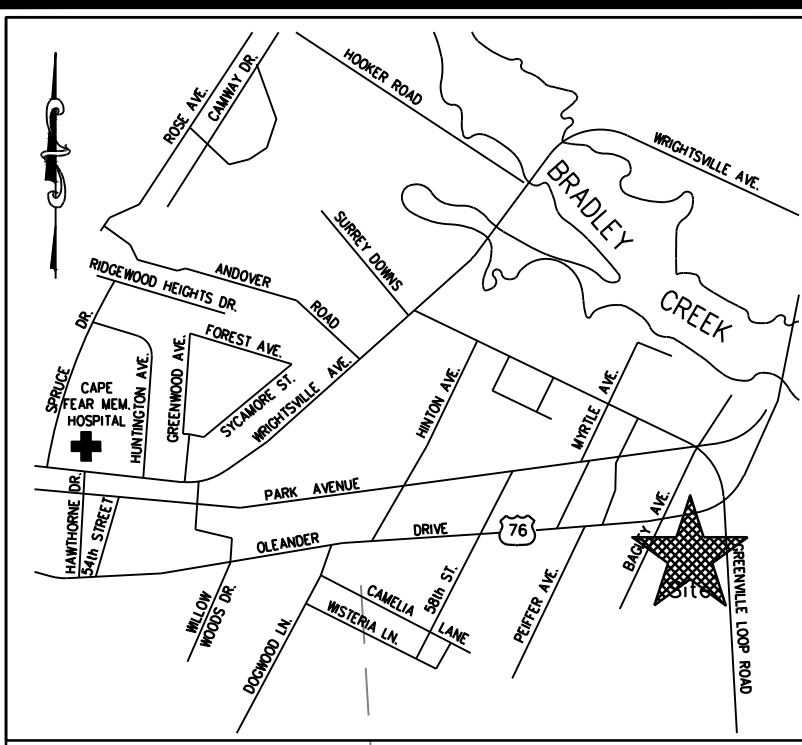
**SITE INVENTORY PLAN**

PREPARED FOR:  
 Summerwalk Development, LLC  
 6105 Oleander Drive  
 Suite 201  
 Wilmington, NC 28401

**GSP CONSULTING, PLLC**  
 ENGINEERING

6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659

Sheet No.  
**C-3**



No.	Revision	Date	By

Designer	GSP	Scale	1" = 50'
Drawn By	GSP	Date	JUNE 2015
License #	P-0718	Job No.	2014-0008

**SUMMERWALK - PHASE 1**  
 New Hanover County  
 North Carolina

**STORMWATER & OPENSAPCE PLAN**

PREPARED FOR:  
 Summerwalk Development, LLC  
 6105 Oleander Drive  
 Suite 201  
 Wilmington, NC 28401

**GSP CONSULTING, PLLC**  
 ENGINEERING  
 6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659

Sheet No.  
**C-4**