

**To:** John Tunstall  
**From:** Jeff Walton, Associate Planner; 910-341-3260  
**CC:** File; Protrak  
**Date:** 3/19/2014  
**Re:** Planning Comments

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The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. Additional review will be required once all the needed documents have been provided. Items or documents not provided on initial submission will be subject to further review. Please contact me for any further questions.

Commercial District Mixed Use Standards:

- A conceptual elevation indicating proposed architecture style shall be provided.
  - Elevations must match what was approved by City Council and must be shown for both the commercial and residential development. (5<sup>th</sup> request)
- A conceptual lighting plan must be provided. (5<sup>th</sup> request)
- Residential density may exceed two and one-half (2.5) units per acre in the Watershed Resource Protection areas if the development does not exceed a maximum of twenty-five (25) percent impervious area, or is exceptionally designed. Exceptionally designed projects shall meet the criteria of Article 10 and shall reduce runoff from impervious surfaces through porous paving and/or infiltration devices as well as managing runoff with at least one (1) or more of the following water quality Best Management Practices. (REF: NCDENR Best Management Practices Manual for design criteria): bio-retention area, filter strip, sand filter, or grassed swales, or other approved LID techniques.
  - Show compliance with the required exceptional design as approved by city council.
    - Keeping this in when I hear confirmation from engineering.

City Council Conditions:

- The approved site plan and elevation drawings will be attached to these comments.
  - Your plans should mirror the approved plans by council. Also show compliance with sidewalks as show on the council approved plan.
    - See attached. Sidewalks should connect the buildings to the rear with allens lane. (5<sup>th</sup> request)
- All outdoor lighting shall be installed so as not to shine or reflect directly onto surrounding properties.
  - Provide a lighting plan for compliance. (5<sup>th</sup> request)

Site Plan Comments:

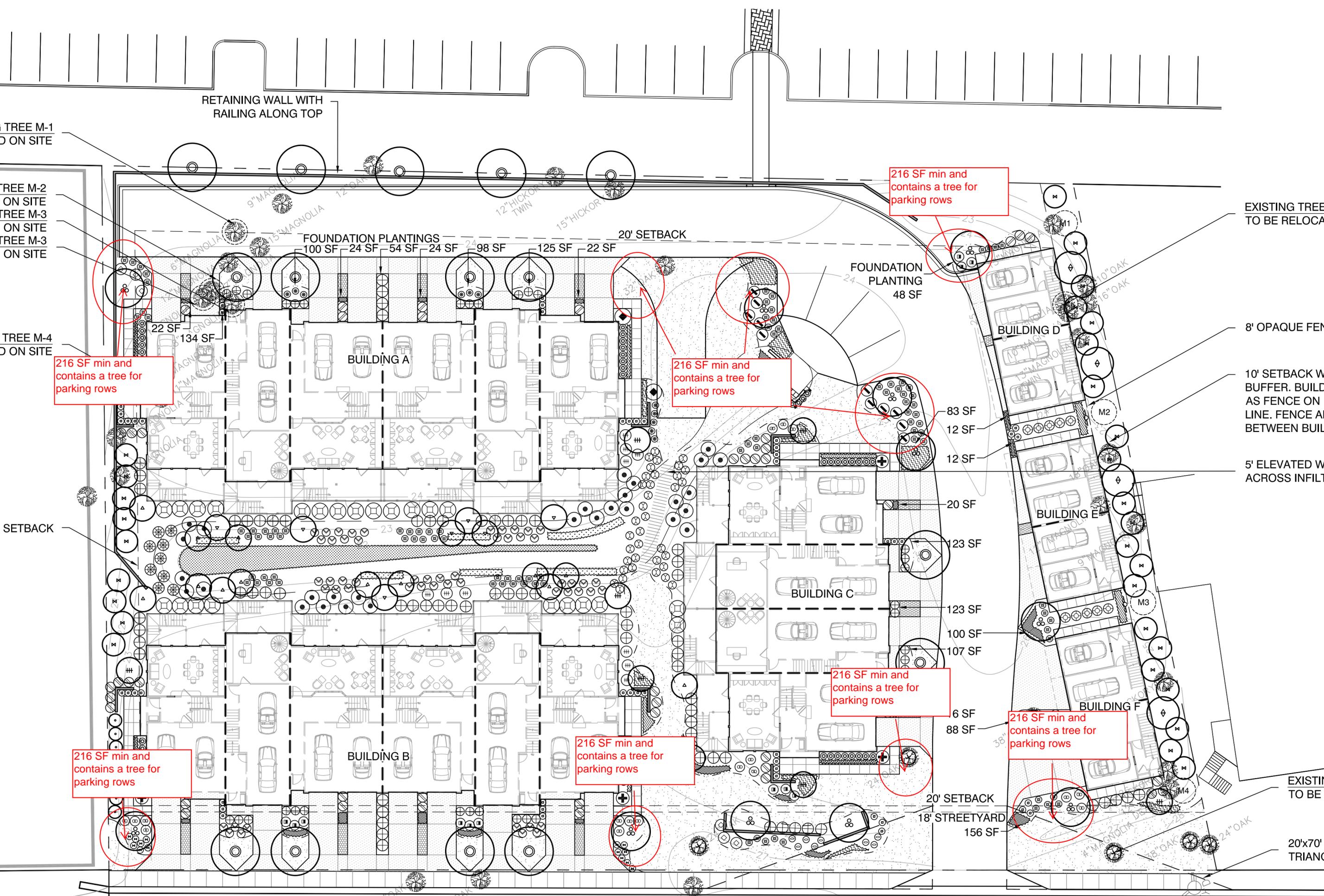
- Sec. 18-60 (c) (10): Show Location and dimension of on-site pedestrian and vehicular access ways, parking areas, loading and unloading facilities, designs of ingress and egress of vehicles to and from the site onto public streets and curb and sidewalk lines.

- Include pedestrian connections from Allens lane into the residential development.
  - See attached redline. (5<sup>th</sup> request)

Landscape Plan for both residential and commercial (Mihaly Plan):

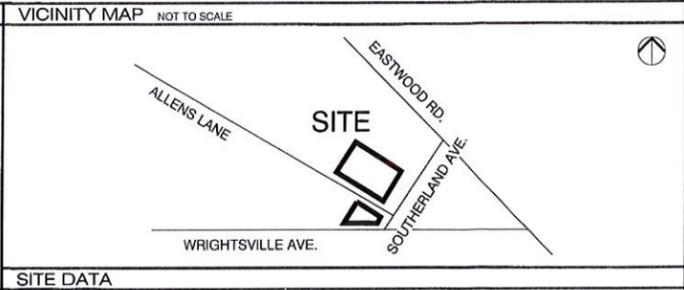
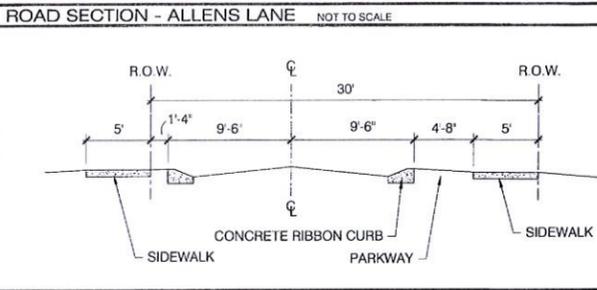
- Dimension landscape islands at each end of parking rows. For each townhome row, consider adding the minimum SF required at each end of row instead of trying to comply with each driveway entrance to the garage.
  - Minimum Landscape Island needs to be 216 SF.
    - See attached redline. (5<sup>th</sup> request)

CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.  
10. MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES AND TRAFFIC SIGHT LINES.  
11. REFER TO PLANTING DETAILS SHEET LX.X FOR ADDITIONAL INFORMATION.



ALLENS LANE

MATCHLINE - SEE SHEET L3.2



**SITE DATA**

OWNER:	ALLENS LANE PARTNERS, LLC	OFFICE SPACE PROPOSED	6,000 SF (3,000/FLOOR)
ADDRESS:	2011, 2013, 2015, 2017, 2019 ALLENS LN; 6941, 6843 WRIGHTSVILLE AVE	RESIDENTIAL SPACE PROPOSED	22 UNITS (+/- 2000 SF EA)
PARCEL ID:	R05713-002-009-000, R05713-002-010-000, R05713-002-011-000, R05713-002-004-000, R05713-001-009-000, R05713-001-010-000	TOTAL GROSS SF	+/- 44,000 SF
EXISTING ZONING:	OS1-1	IMPERVIOUS AREA	0 SF (0.00%)
PROPOSED ZONING:	OS1-1 (CD)	EXISTING	27,143 SF
CAMA LAND CLASSIFICATION:	RESOURCE PROTECTION	TRACT A PROPOSED	5,054 SF
TRACT A AREA:	69,556 SF (1.80 AC)	TRACT B PROPOSED	32,199 SF (95%)
TRACT B AREA:	22,060 SF (0.50 AC)	TOTAL PROPOSED	32,199 SF
TOTAL PROJECT AREA:	91,616 SF (2.10 AC)	PERVIOUS CONCRETE WALKS AND DRIVES COUNTED AT 25%:	
NUMBER OF BUILDINGS:	6 RESIDENTIAL (3-STORY) 1 OFFICE (2-STORY)	OPEN SPACE	14,950 SF (16.3%)
RESIDENTIAL UNITS PROPOSED:	22 UNITS		
RESIDENTIAL DENSITY (TRACT 1):	(16) 3-BR; (6) 2-BR 13.75 DU/AC		

**BULK REQUIREMENTS (TRACT A)**

	REQUIRED	PROVIDED
MIN. LOT WIDTH	80'	400'
MIN. FRONT SETBACK	20'	20'
MIN. SIDE SETBACK	10'	10'
MIN. SIDE CORNER SETBACK	20'	20'
MIN. REAR SETBACK	20'	42'
MAX. BUILDING HEIGHT	45'	<7=45'
MAX. LOT COVERAGE (BUILDINGS)	40%	22,157 SF (31.9%)

**BULK REQUIREMENTS (TRACT B)**

	REQUIRED	PROVIDED
MIN. LOT WIDTH	80'	250'
MIN. FRONT SETBACK	20'	25'
MIN. SIDE SETBACK	10'	84'
MIN. SIDE CORNER SETBACK	20'	34'
MIN. REAR SETBACK	20'	20'
MAX. BUILDING HEIGHT	45'	<7=45'
MAX. LOT COVERAGE (BUILDINGS)	40%	3,000 SF (13.6%)

**OFF-STREET PARKING REQUIREMENTS**

	REQUIRED	PROVIDED
RESIDENTIAL (22 UNITS)	MIN. 22 (1/UNIT) * (MAX. 2.5/UNIT)	55 (2.5/UNIT) INCLUDING DRIVEWAYS & GARAGES
OFFICE (6,000 SF)	20 (1/300 SF) (MAX. 1/200 SF)	20 (1/300 SF) (1 HC)

\* PER SEC. 18-298 OF THE WILMINGTON LAND DEVELOPMENT CODE - APPLICABLE TO MIXED USE DEVELOPMENT IN O&I DISTRICTS.

**LANDSCAPE REQUIREMENTS**

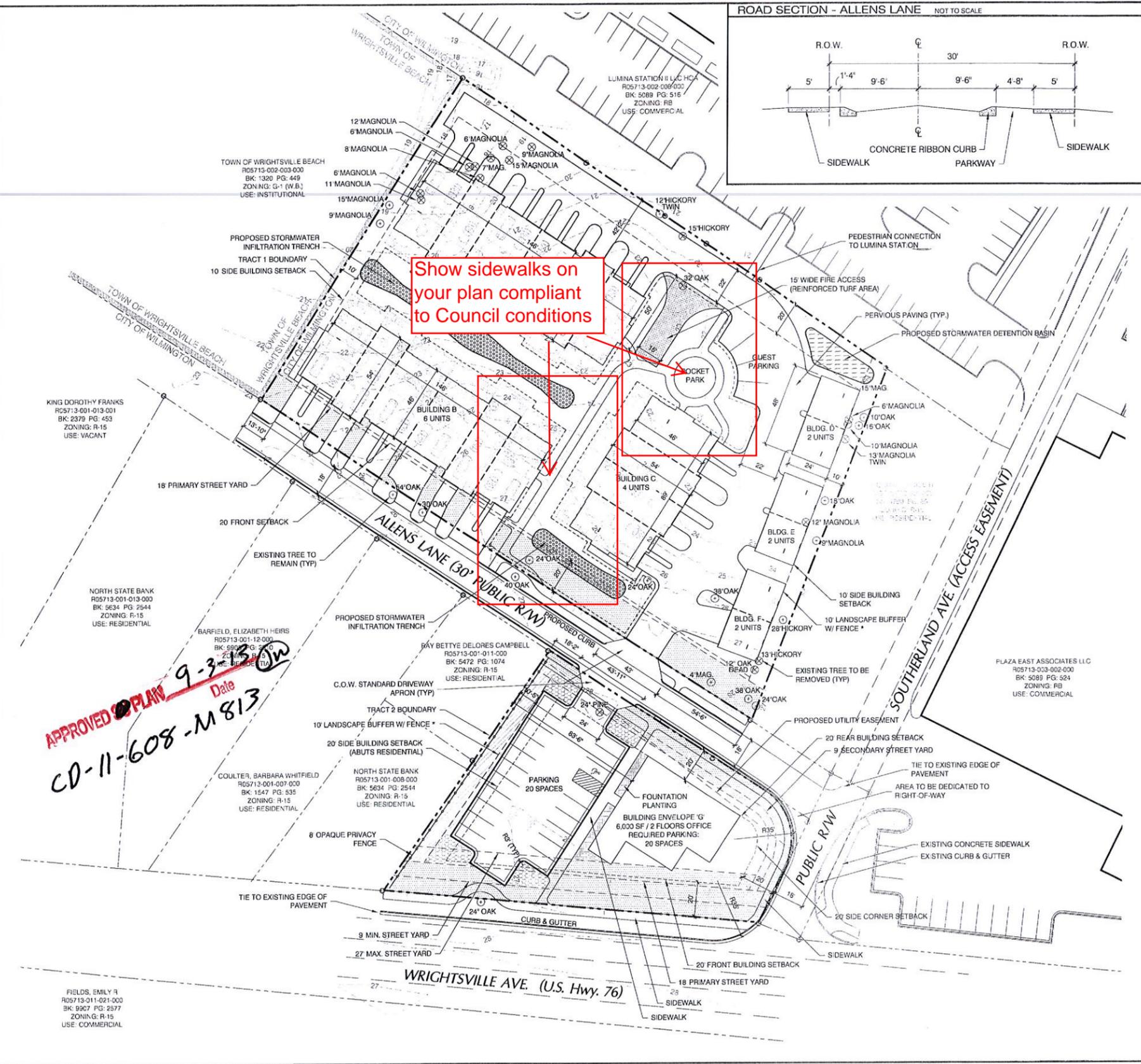
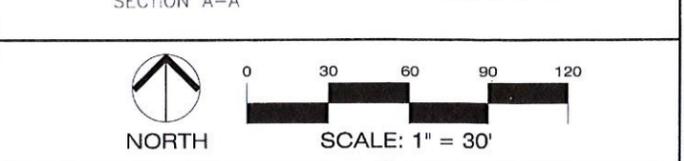
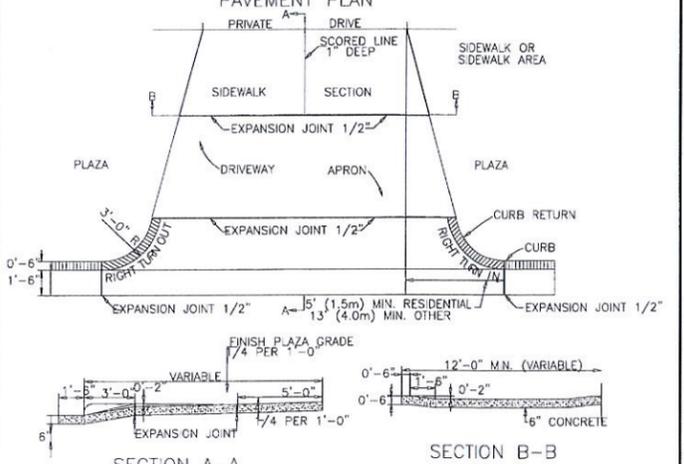
	REQUIRED	PROVIDED
TRACT 1 STREET YARD		
PRIMARY STREET YARD (ALLENS LANE)	4,088 SF (18 x 226 LF)	4,094 SF
TRACT 2 STREET YARD		
PRIMARY STREET YARD (WRIGHTSVILLE AVE.)	3,960 SF (18 x 220 LF)	4,682 SF
SECONDARY STREET YARD (SOUTHERLAND AVE./ALLENS LANE)	1,593 SF (9 x 177 SF)	2,252 SF
PARKING LOT LANDSCAPING (TRACT 2)	20% CANOPY COVERAGE	20%
FOUNDATION PLANTING (FACING PARKING/DRIVEWAYS)	12% FACADE AREA	12%
BUFFER YARD (ABUTTING RESIDENTIAL)	20'	10' *

\* REDUCTION IN BUFFER YARD REQUESTED FOR SITE CONSTRAINTS ALONG ADJACENT PROPERTIES. 10' BUFFER TO BE COMBINED WITH 8' OPAQUE FENCE.

**WATER/SEWER USAGE**

	CURRENT	PROPOSED
SEWER (120 GAL/1,000 SF)	0 GPD	+/- 5100 GPD
WATER (120 GAL/1,000 SF)	0 GPD	+/- 5100 GPD

**STANDARD DRIVEWAY DETAIL SD 8-02** NOT TO SCALE

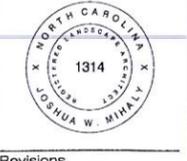


**APPROVED PLAN** 9-3-13 Date  
CD-11-608-M813

**SYMBOL LEGEND**

	COMMON OPEN SPACE		EXISTING TREE TO BE PRESERVED
	STREET YARD AREA		EXISTING TREE TO BE REMOVED
	PARKING LOT LANDSCAPING		OPAQUE PRIVACY FENCE
	FOUNDATION PLANTING		PERVIOUS PAVING AREAS

- GENERAL NOTES**
- PLAN BASED ON A SURVEY PROVIDED BY MICHAEL UNDERWOOD & ASSOCIATES, PA, DATED JAN. 2, 2007, MODIFIED AND UPDATED BY PARAMOUNT ENGINEERING, INC. DATED APRIL 17, 2008. RE-CERTIFIED BY MICHAEL UNDERWOOD ASSOCIATES, JUNE 21, 2013.
  - PROJECT IS TO BE DEVELOPED AS ADDITION TO EXISTING LUMINA STATION DEVELOPMENT TO THE NORTH OF THE SITE.
  - SITE IS NOT LOCATED WITHIN ANY ZONING OVERLAY DISTRICTS.
  - SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE.
  - SITE IS NOT LOCATED WITHIN A CONSERVATION OVERLAY DISTRICT.
  - SITE DOES NOT CONTAIN ANY 404 WETLAND AREAS.
  - ALL UTILITIES SHALL BE UNDERGROUND.
  - ALL SIGNS WILL BE LOCATED AND APPROVED BY THE CITY OF WILMINGTON PLANNING DEPARTMENT.
  - ALL EXISTING SIGNIFICANT TREES WILL BE PRESERVED OR MITIGATED.
  - SITE WILL BE ENGINEERED TO MEET EXCEPTIONAL DESIGN CRITERIA FOR EXCEEDING ALLOWED RESIDENTIAL DENSITY IN A CAMA RESOURCE PROTECTION AREA.
  - ALLENS LANE AND SOUTHERLAND AVE. WILL BE IMPROVED ALONG THE LENGTH ABUTTING THE PROPERTY.
  - TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEEL-CHAIR RAMPS.
  - NO EXISTING DRIVEWAYS ARE TO BE CLOSED.
  - LANDSCAPE BUFFERS ABUTTING RESIDENTIAL PROPERTIES REDUCED TO 10', WITH 8' HIGH SOLID PRIVACY FENCE, DUE TO SITE CONSTRAINTS. BUFFER REDUCTION IS IN ACCORDANCE WITH SECTION 18-499 OF THE WILMINGTON LAND DEVELOPMENT CODE.
  - THIS PLAN IS PRELIMINARY AND IS SUBJECT TO CHANGE IN ACCORDANCE WITH PROVISIONS OF THE WILMINGTON LAND DEVELOPMENT CODE.
  - ALL GARBAGE WILL BE STORED IN ROLL-OUT CONTAINERS WITHIN BUILDING FOOTPRINTS.
  - PARKING LOT PAVING TO BE 100% PERVIOUS MATERIAL AS SHOWN, MEETING CITY LOAD-BEARING STANDARDS. SUB-BASE MUST PROVIDE ADEQUATE CAPACITY TO ABSORB INFILTRATING STORMWATER. PERVIOUS PAVING MUST BE MAINTAINED IN PERPETUITY; MAINTENANCE REQUIREMENTS SHALL BE INCLUDED IN H.O.A. DOCUMENTS.
  - CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
  - NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
  - NCDOT DRIVEWAY PERMIT WILL BE REQUIRED FOR MODIFICATION OF SOUTHERLAND AVE. AT WRIGHTSVILLE AVE.
  - STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.



Revisions

**CLIENT**  
ALLENS LANE PARTNERS LLC  
1902 EASTWOOD RD.  
WILMINGTON, NC 28403  
PHONE: 910.233.3000

**PROJECT**  
LUMINA IV  
ALLENS LANE/WRIGHTSVILLE AVE.  
WILMINGTON, NORTH CAROLINA  
PRELIMINARY SITE PLANS

Date: 06.25.2013  
Phase: PRELIMINARY  
Job Number: 100-610  
Designed by: MC  
Drawn by: MWL  
Checked by: JWM  
Sheet Title: PRELIMINARY SITE PLAN  
Sheet Number: L2.1  
of 3 sheets

PRELIMINARY - NOT FOR CONSTRUCTION