

To: John Tunstall
From: Jeff Walton, Associate Planner; 910-341-3260
CC: File; Protrak
Date: 12/2/2013
Re: Planning Comments

The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. Additional review will be required once all the needed documents have been provided. Items or documents not provided on initial submission will be subject to further review. Please contact me for any further questions.

Commercial District Mixed Use Standards:

- A conceptual elevation indicating proposed architecture style shall be provided.
 - Elevations must match what was approved by City Council and must be shown for both the commercial and residential development.
- Sidewalks must be provided throughout the project.
 - Plans must comply for the entire mixed use development.
 - Show pedestrian access instead of driveway access only. Pedestrian sidewalks should be provided all throughout the development.
- One dedicated parking space shall be provided for each dwelling unit on site. The parking space must be available to the occupants at all times and clearly designated or reserved for residential tenants only.
 - Show compliance for both residential and commercial developments.
 - Add Sheet CO back to you plans that show the updated site data table.
- A conceptual lighting plan must be provided.
- Residential density may exceed two and one-half (2.5) units per acre in the Watershed Resource Protection areas if the development does not exceed a maximum of twenty-five (25) percent impervious area, or is exceptionally designed. Exceptionally designed projects shall meet the criteria of Article 10 and shall reduce runoff from impervious surfaces through porous paving and/or infiltration devices as well as managing runoff with at least one (1) or more of the following water quality Best Management Practices. (REF: NCDENR Best Management Practices Manual for design criteria): bio-retention area, filter strip, sand filter, or grassed swales, or other approved LID techniques.
 - Show compliance with the required exceptional design as approved by city council.
- Multiple-family including townhouse residential and single family detached is only permitted in conjunction with the following uses provided they are permitted uses within the district:
 - Conditioned per rezoning application.
 - Non-Residential.
 - Offices, professional

City Council Conditions:

- The approved site plan and elevation drawings will be attached to these comments.
 - Your plans should mirror the approved plans by council. Also show compliance with sidewalks as show on the council approved plan.
- Provide a narrative on how you comply with the exceptional design criteria.
- The use and development of the subject property shall be limited to an 6,000 square-foot professional office building and 22 multi-family units as shown on the submitted site plan (Dated Received 6/25/13).
 - Show correctly in site data table and include the professional office data.
- A landscape plan shall be submitted showing a minimum of 50 percent landscaping area designed as xeric landscaping with appropriate plant and soil materials.
 - Reminder to be shown on landscape plan when submitted.
- All outdoor lighting shall be installed so as not to shine or reflect directly onto surrounding properties.
 - Provide a lighting plan for compliance.

Site Plan Comments:

- Add Sheet CO back to you plans that show the updated site data table.
- Sec. 18-60 (c) (5): Additional information is the site data table as follows:
 - Tax Parcel Identification Number
 - A recombination map of parcels is required prior to release for construction.
 - Setbacks of Building (required and proposed)
 - Show actual setbacks for both residential and commercial.
 - Total amount of acreage within the project boundaries
 - Show for entire mixed use project.
 - Building size with square footage
 - Show for entire mixed use project.
 - Calculations for building lot coverage
 - Show for entire mixed use project.
 - Number of buildings
 - Show for entire mixed use project.
 - Building height
 - Show for entire mixed use project.
 - Number of stories and square feet per floor
 - Show for entire mixed use project.
 - Total amount and percent of impervious surface areas
 - Show for entire mixed use project.
 - Off street parking calculations, including required amount of parking and proposed amount of parking and the basis for determination
 - Show for entire mixed use project.
- Sec. 18-60 (c) (10): Show Location and dimension of on-site pedestrian and vehicular access ways, parking areas, loading and unloading facilities, designs of ingress and egress of vehicles to and from the site onto public streets and curb and sidewalk lines.
 - Include pedestrian connections from Allens lane into the residential development.
- Sec. 18-60 (c) (15): Show a proposed landscape plan.
- Sec. 18-60 (c) (16): Show site inventory map and tree survey.
 - I have added an attachment showing questionable trees to be removed.

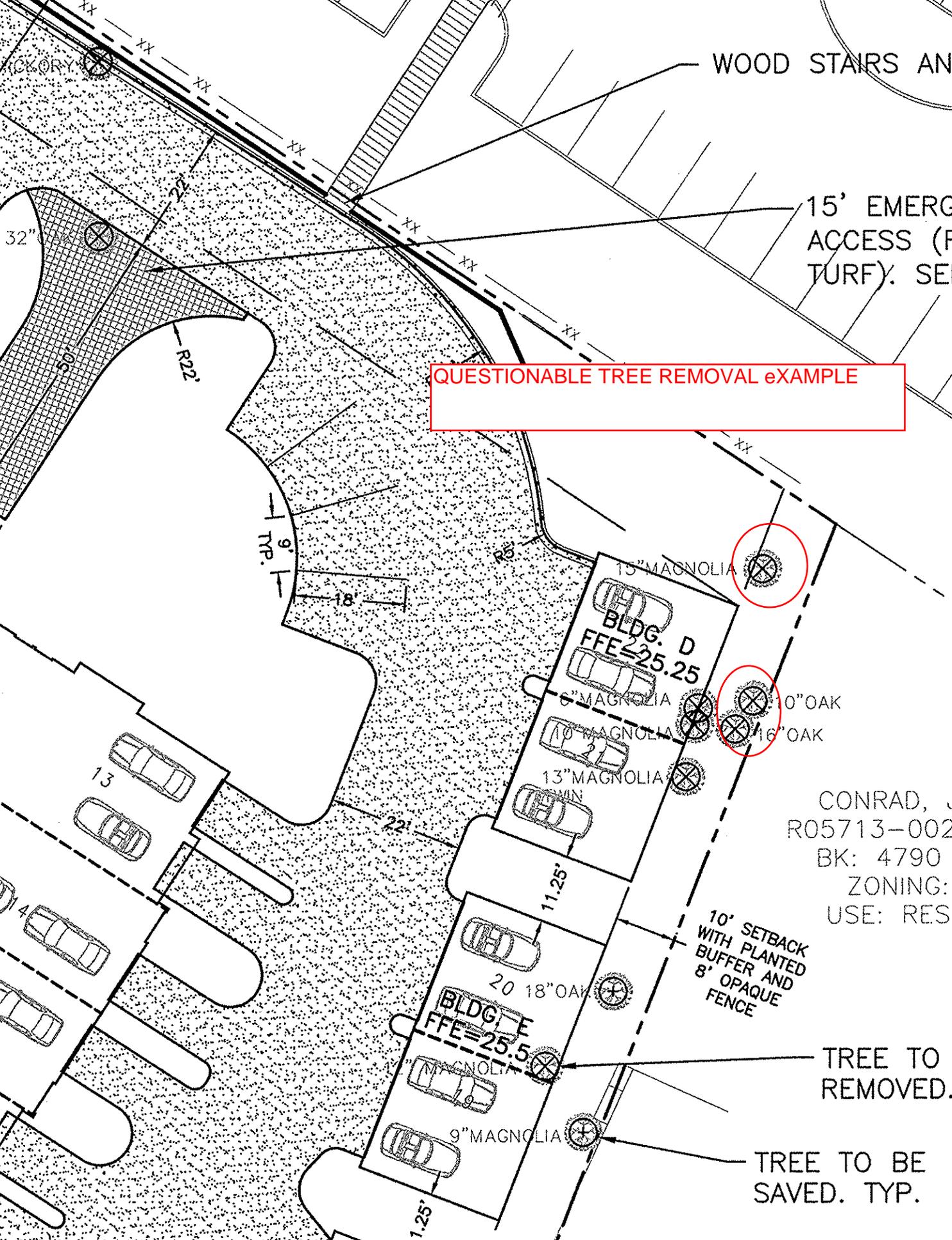
Landscape Plan for both residential and commercial:

- Dimension landscape islands at each end of parking rows. For each townhome row, consider adding the minimum SF required at each end of row instead of trying to comply with each driveway entrance to the garage.
- The interior area of a parking facility shall be shaded by canopy trees either planted or retained to provide twenty (20) percent or greater canopy coverage at maturity. For purposes of this section, a parking facility shall include any areas of a development

devoted to pedestrian or vehicular use, including but not limited to parking areas, loading spaces, automobile sales lots, driveways and internal drive aisles. The following standards shall apply to interior parking area landscaping:

- (a) All single planting islands measuring twelve (12) feet by eighteen (18) feet or having the equivalent square footage shall have at least one (1) tree. All double planting islands measuring twelve (12) feet by thirty-six (36) feet or having the equivalent square footage shall have at least two (2) small mature shade trees or one canopy tree. All larger planting islands will have additional trees in increments of one (1) tree for each additional two hundred (200) square feet if installing small shade trees or one (1) tree for every four hundred (400) square feet if installing canopy trees. All planting islands shall have additional ground cover or shrubbery from the approved plantings list to cover the entire landscaped island, subject to the walkway allowance as indicated below. At least seventy-five (75) percent of the trees required hereunder shall be of a large shade/canopy species as defined in the approved plantings list that have or will have at maturity a DBH of at least twelve (12) inches. Small maturing shade trees may be planted where overhead power lines would interfere with normal growth or for site design considerations, if trees are maintained in their natural form.
- For purposes of determining if the landscape plan meets the shading requirements of this section, each canopy tree of the type described in this section shall be presumed to shade a circular area of seven hundred and seven (707) square feet (based on having a canopy radius of fifteen (15) feet with the trunk of the tree as the center). When smaller shade trees are planted, each tree shall be presumed to shade a circular area of three hundred and fourteen (314) square feet (based on having a canopy radius of ten (10) feet). Perimeter trees shall be given credit for that portion of the circumference that intersects the parking area. Using this standard, twenty (20) percent of the parking facility area must have canopy coverage. For existing trees, credit shall be given for the actual canopy overhanging the parking facility. The trees counted toward meeting the shading requirement shall be indicated and calculations shall be shown on the site plan.
- The legend will need to be tweaked for your planting schedule. Can you separate into four categories: 1. Large Shade Tree 2. Small Shade tree 3. Shrubs 4. Groundcovers.
- Sec. 18-462 (a): Show date of plan preparation.
- Sec. 18-462 (b): Show project name and description of land use.
- Sec. 18-462 (c): Show property owner and mailing address.
- Sec. 18-462 (d) (1): Show a North Arrow.
- Sec. 18-462 (d) (2): Show both a graphic scale and a numeric scale
- Sec. 18-462 (d) (3): Show approximate locations, species and critical root zones of all protected trees. Groves of protected trees that will not be disturbed may be labeled as such on the map, stating the approximate number of protected trees and species mix, without specifying data on each individual tree.
- Sec. 18-462 (d) (4): Show note on plan stating that prior to any clearing, grading, or construction activity, tree protection fencing will be installed around protected trees or groves of trees. And no construction workers, tools, materials or vehicles are permitted within the tree protection fencing.
- Sec. 18-462 (d) (5): Show locations, dimensions and square footages of required bufferyards and parking lot landscaping.
- Sec. 18-462 (d) (6): Show details of required landscaping showing species, dimensions, and spacing of planted materials and the use and protection of existing vegetation.
- Sec. 18-462 (d) (7): Show all existing and proposed utilities and if applicable, their associated elements.
- Sec. 18-462 (d) (8): Show location and square footage of structures and parking lots.
- Sec. 18-462 (d) (9): Show adjacent zoning district including across the street or streets.
- Sec. 18-462 (d) (10): Show approximate locations of all trees greater than eight (8) inch DBH within the required buffers and of all natural vegetation to be used part of the buffer.

- Sec. 18-462 (d) (11): Show setbacks of all structures and specifications and shielding of certain uses as required.
- Sec. 18-462 (d) (12): Show locations of any Conservation Resources associated with the parcel including any Rare and Endangered species in accordance with the North Carolina Wildlife Resource Commission.
- Sec. 18-462 (d) (13): Show proposed schedule for landscaping.



QUESTIONABLE TREE REMOVAL eXAMPLE

15' EMERG ACCESS (F TURF). SE

CONRAD, J
R05713-002
BK: 4790
ZONING:
USE: RES

10' SETBACK WITH PLANTED BUFFER AND 8' OPAQUE FENCE

TREE TO REMOVED.

TREE TO BE SAVED. TYP.