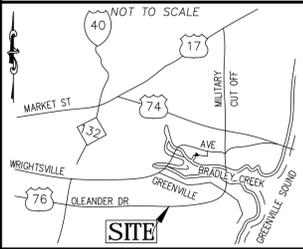


# LOCATION MAP



## SITE & BUILDING DATA:

TOTAL LOT AREA = 11,339 SF (0.26 AC)  
 CURRENT PROPERTY ADDRESS IS 5817 OLEANDER DRIVE  
 PROPOSED PROPERTY ADDRESS IS 5821 OLEANDER DRIVE

**EXISTING ON-SITE DATA:**  
 EXISTING BUILDINGS ON SITE = 1,144 SF  
 EXISTING PORCH = 173 SF  
 TOTAL = 1,317 SF

1,317 SF / 11,339 SF  
 EXISTING 11.6% IMPERVIOUS

**PROPOSED ON-SITE DATA:**  
 EXISTING BUILDING AREA: 1,144 SF  
 EXISTING PORCH AREA: 173 SF  
 PROPOSED CONCRETE: 1,396 SF  
 PROPOSED PERVIOUS GRAVEL: 3,057 SF  
 TOTAL ON-SITE IMPERVIOUS AREA: 5,770 SF

5,770 SF / 11,339 SF = 0.509 OR 51% TOTAL IMPERVIOUS  
 4,453 SF / 11,339 SF = 0.393 OR 39% NEW IMPERVIOUS

TOTAL IMPERVIOUS SURFACE: EXISTING 12% (1,317 SF), NEW = 38% (4,453 SF), TOTAL = 51%  
 PROPOSED OFF-SITE DATA:  
 PROPOSED OLEANDER DRIVEWAY APRON: 707 SF  
 TOTAL OFF-SITE IMPERVIOUS AREA: 707 SF

**BUILDING DATA:**  
 PROPOSED CONSTRUCTION TYPE = V B  
 NUMBER OF BUILDINGS = 1  
 BUILDING HEIGHT = +/- 15 FT  
 NUMBER OF STORES = 1

PROPOSED BUILDING AREA: 1,317 SF  
 LOT COVERAGE: 1,317 SF / 11,339 SF = 0.116  
 PROPOSED 12% BUILDING LOT COVERAGE

**BUILDING SETBACKS:**

EX. BUILDING	REQUIRED SETBACKS	PROPOSED SETBACKS
	FRONT SETBACK: 20 FT	FRONT SETBACK: 43.7 FT
	SIDE SETBACK: 0 FT	SIDE SETBACK: ENCROACHMENT AGREEMENT
	REAR SETBACK: 20 FT	REAR SETBACK: > 20 FT

PROJECT NEEDS TO MEET EXCEPTIONAL DESIGN CRITERIA - NEEDS 30 POINTS  
 POINTS GRANTED = 3,057 SF PROPOSED PERVIOUS GRAVEL = 20 POINTS  
 50% XERIC LANDSCAPING = 15 POINTS

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**STORMWATER MANAGEMENT PLAN APPROVED**  
 CITY OF WILMINGTON  
 ENGINEERING DEPARTMENT  
 DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
 SIGNED \_\_\_\_\_

**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

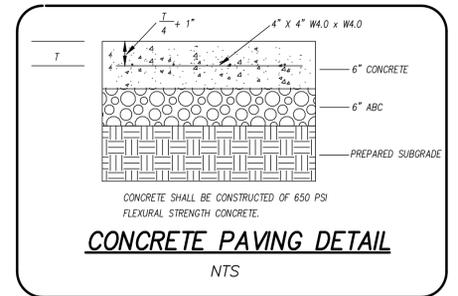
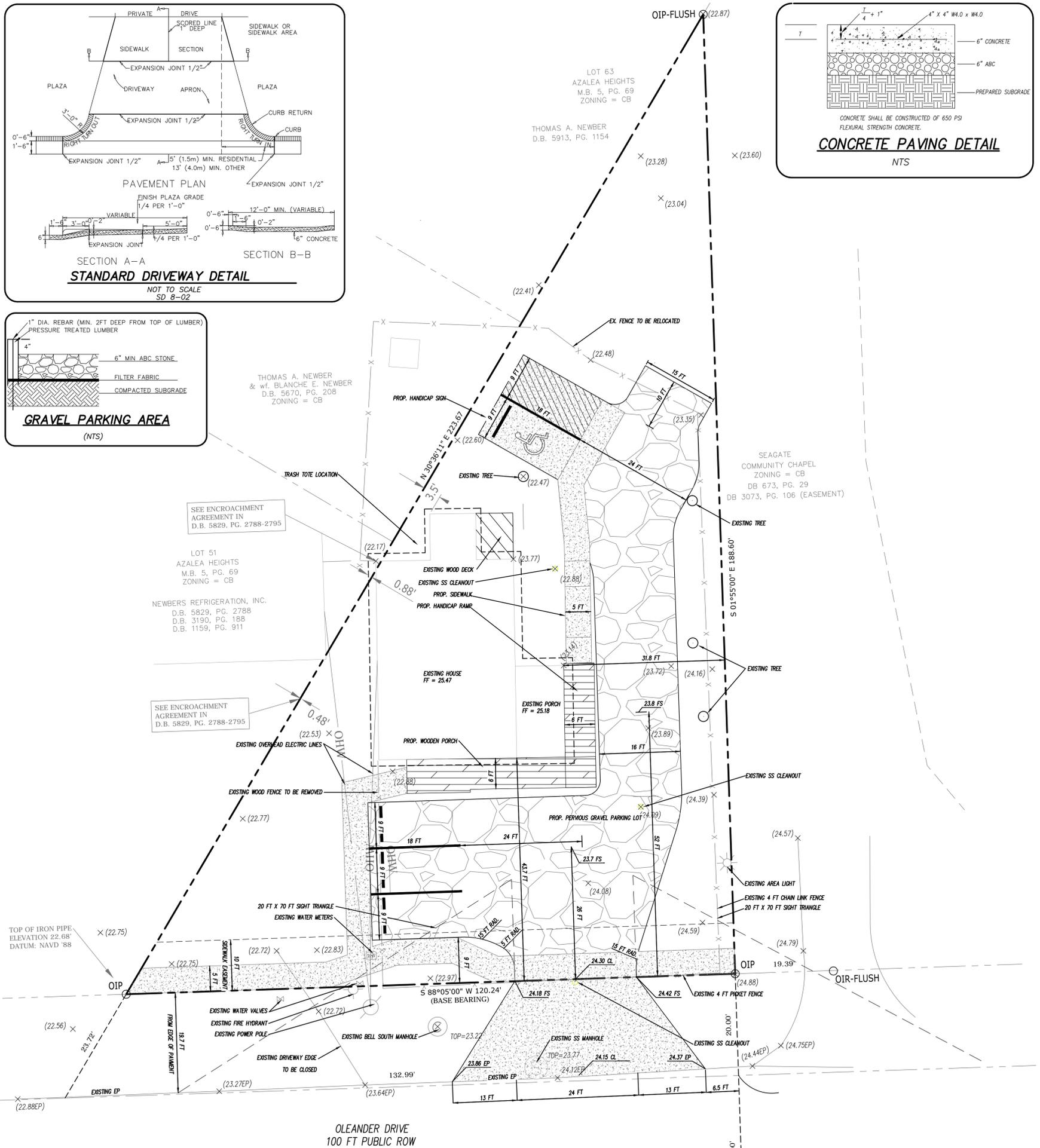
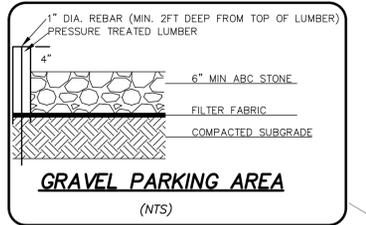
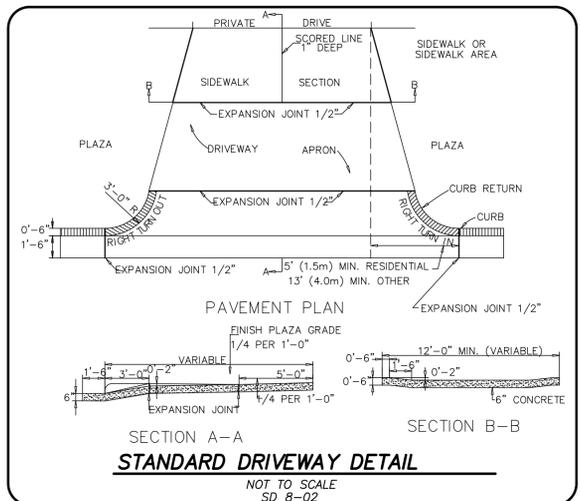
Planning \_\_\_\_\_

Traffic \_\_\_\_\_

File \_\_\_\_\_

## LEGEND

- EXISTING BOUNDARY
- [Pattern] PROP PERVIOUS GRAVEL
- [Pattern] PROP CONCRETE
- [Pattern] PROP PORCH/HANDICAP RAMP
- X (22.2) EX. ELEVATION SHOT



## TRAFFIC ENGINEERING NOTES:

- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO RECORDING OF THE FINAL PLAT. PLAN SHALL ADHERE TO 15-17.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT PARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- OPEN CUT NOTES:
  - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
  - CONTRACTOR TO COORDINATE WITH CITY OF WILMINGTON FOR ACCEPTABLE HOURS OF CONSTRUCTION AND TRAFFIC CONTROL DURING INSTALLATION OF UTILITIES IN CITY ROADS.
  - SUITABLE COMPACTION AND APPROVED STONE & BASE COURSES TO BE INSTALLED IN PLACE OF OPEN CUT.
  - OPEN CUT TO BE SAW CUT.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR MUTCD STANDARDS.
- IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
- Traffic warning mats are to be installed on all wheelchair ramps.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PARKING SHALL BE MARKED WITH WHITE PAINT. THE MARKINGS WITHIN THE PARKING AREA SHALL BE WHITE.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30 INCHES - 10 FT.

## ENVIRONMENTAL NOTES:

- NO LAND DISTURBANCE IS PERMITTED OUTSIDE THE DESIGNATED LIMITS OF DISTURBANCE FOR SITE IMPROVEMENTS OTHER THAN WHAT IS NECESSARY TO BE INTO EXISTING CONTOURS OR MEET LANDSCAPING REQUIREMENTS.

## DEVELOPMENT NOTES:

- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL 410-400 AT 1-800-432-4949. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB AND GUTTER, SIDEWALK PANELS, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OF WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
- SOLID WASTE DISPOSAL WILL BE HAND TOTES.
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON ZONING ORDINANCE & SUBDIVISION REGULATIONS.
- APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF PROPOSED SIGNAGE FOR THIS SITE. A SEPARATE SIGN PERMIT MUST BE OBTAINED.
- APPLICABLE STREET FRONTAGES SHALL HAVE NATURAL VEGETATIVE SCREENING MEETING CITY REQUIREMENTS.
- THE DEVELOPMENT SHALL COMPLY WITH ALL CITY TECHNICAL STANDARDS AND DEVELOPMENT REGULATIONS.

## FIRE & LIFE SAFETY NOTES:

- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS OR FDC'S. A 3 FT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.

## UTILITY NOTES:

- PROJECT SHALL COMPLY WITH THE CITY OF WILMINGTON AND CPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE SET AND ACTIVATED ON NEW MAINS UNTIL ALL REQUIREMENTS ARE MET. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION HE/SHE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ALL COMMERCIAL WATER SERVICES AND ANY IRRIGATION SYSTEMS SUPPLIED BY CPWA WATER SHALL HAVE A BACKFLOW PREVENTION DEVICE ACCEPTABLE TO THE CPWA AND APPROVED BY USFOCOWR OR ASSE. CALL 799-6064 FOR INFORMATION.
- WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STRAPPED TO THE PIPES WITH DUCT TAPE. THE INSULATED WIRE IS TO BE STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES AND FITTINGS. THE WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
- 30" MINIMUM COVER OVER ALL WATER MAINS.
- ANY SEPARATE CONNECTION FOR IRRIGATION SHALL COMPLY WITH CITY AND CPWA CROSS-CONNECTION REQUIREMENTS WITH APPROVED BACKFLOW PREVENTION DEVICES.
- AT LOCATIONS WHERE WATER MAIN CROSSES UNDER SANITARY SEWER, DUCTILE IRON PIPE SHALL BE USED ALONG WITH PROVIDING 24" MINIMUM OF VERTICAL SEPARATION.
- WATER SERVICES CAN NOT BE ACTIVATED ON NEW WATER MAINS UNTIL ENGINEER'S CERTIFICATION AND APPLICANT'S CERTIFICATION HAVE BEEN PROVIDED TO NCDENR AND "FINAL APPROVAL" ISSUED.

## PARKING NOTES:

- MIN - 1 SPACE PER 400 SF GROSS FLOOR AREA  
 1,144 / 400 = 3  
 MAX - 1 SPACE PER 200 SF GROSS FLOOR AREA  
 1,144 / 200 = 6  
 4 SPACES PROVIDED
- 1 HANDICAP SPACE REQUIRED: ONE SPACE PROVIDED.

## GENERAL NOTES:

- NEW HANOVER COUNTY PARCEL NUMBERS: PD = 160207-004-012-000
- TOTAL PROJECT AREA: 11,339 SF (0.26 AC)
- EXISTING ZONING DISTRICT: COMMUNITY BUSINESS (CB)
- LAND CLASSIFICATION: WATERSHED RESOURCE PROTECTION
- THIS SITE IS LOCATED WITHIN ZONE "X" ACCORDING TO FEMA FIRM COMMUNITY PANEL NUMBER 37071 3146 J, EFFECTIVE DATE 4/3/06
- BASE FLOOD ELEV. = 10 + 2 FT FREEBOARD = MIN FF OF 12.0
- CURRENT SITE ADDRESS: 5817 OLEANDER DRIVE - BEING CHANGED TO 5821 OLEANDER DRIVE
- EXISTING IMPERVIOUS ON-SITE = 1,317 SF
- ASBUILT, BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO COASTAL SITE DESIGN, PC BY PORT CITY LAND SURVEYING, PLLC. VERTICAL DATUM = 88
- STORMWATER DRAINS TO BRADLEY CREEK, SCHOW 16-87-24-(41)
- LAND OWNER - STEWART KEELS  
 5817 OLEANDER DRIVE  
 WILMINGTON, NC 28412

## WATER & SEWER USAGE NOTES:

CURRENT WATER USAGE 0 GPD PROPOSED WATER USAGE 35 GPD  
 CURRENT SEWER USAGE 0 GPD PROPOSED SEWER USAGE 25 GPD

WATER - 1 EMPLOYEES X 35 GPD = 35 GPD  
 SEWER - 1 EMPLOYEES X 25 GPD = 25 GPD

## WAIVERS REQUESTED:

- REQUESTING WAIVER FROM 75 FT OFFSET FROM PROPERTY LINE FOR DRIVEWAY IN MAJOR THOROUGHFARE.
- REQUESTING WAIVER FOR REQUIRED STREET YARD SQUARE FOOTAGE.
- REQUESTING WAIVER FOR 15 FT RADII IN PARKING LOT.

**COASTAL SITE DESIGN, PC**  
 ENGINEERING  
 LAND PLANNING  
 COMMERCIAL / RESIDENTIAL  
 P.O. Box 4041  
 Wilmington, NC 28406  
 (910) 791-4441

SITE IMPROVEMENTS FOR  
**THE SHOP OF SEAGATE**

SITE IMPROVEMENTS FOR  
**THE SHOP OF SEAGATE**  
 LOCATED IN CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NORTH CAROLINA  
 OWNER: STEWART KEELS  
 5817 OLEANDER DRIVE  
 WILMINGTON, NC 28412

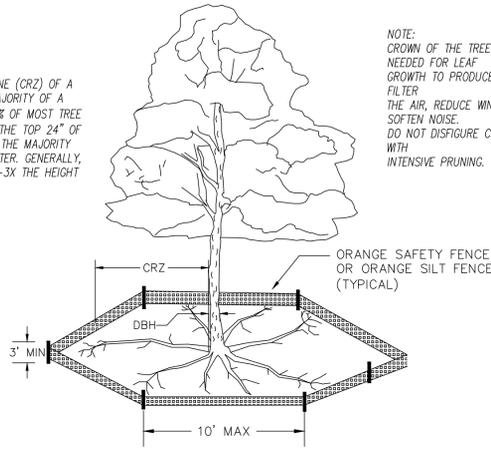
**PRELIMINARY**

REV.	NO.	DATE	REMARKS
1	1	5/18/16	

DATE: 4-21-16  
 HORZ. SCALE: 1" = 10'  
 VERT. SCALE: N/A  
 DRAWN BY: RLW  
 CHECKED BY: HSR  
 PROJECT NO.: 16-0358

Sheet No. **1** of **2**

NOTE:  
THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.

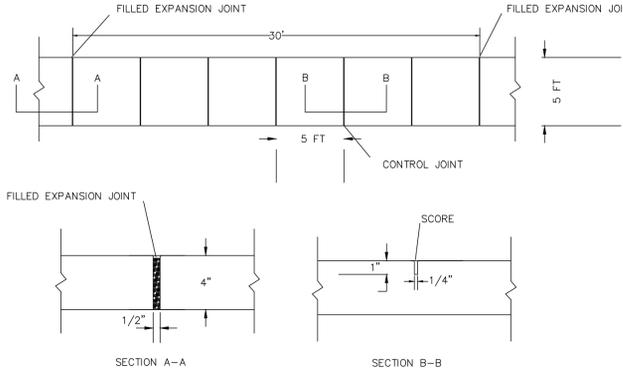


NOTE:  
CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISFIGURE CROWN WITH INTENSIVE PRUNING.

- NOTES:
1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
  2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
  3. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
  4. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO HEAVY MATERIALS SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
  5. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES MAY RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

### TREE PROTECTION

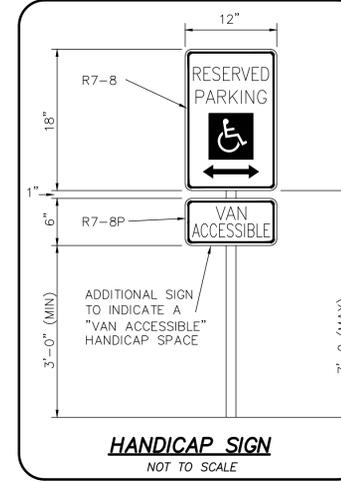
SD 15-09  
NTS



- NOTES:
1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
  2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
  3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
  4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
  5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
  6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
  7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
  8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
  9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

### STANDARD SIDEWALK DETAIL

SD 3-10  
NTS



### HANDICAP SIGN

NOT TO SCALE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

STORMWATER MANAGEMENT PLAN  
**APPROVED**  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
SIGNED \_\_\_\_\_

### Proposed Plant Table

STREET YARD PLANTINGS					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
18		<i>Ilex vomitoria</i>	YAUPOH HOLLY	36" MIN.	8' O.C.
3		<i>Quercus virginiana</i>	SOUTHERN LIVE OAK	3"-CAL. MIN.	PLACEMENT AS SHOWN

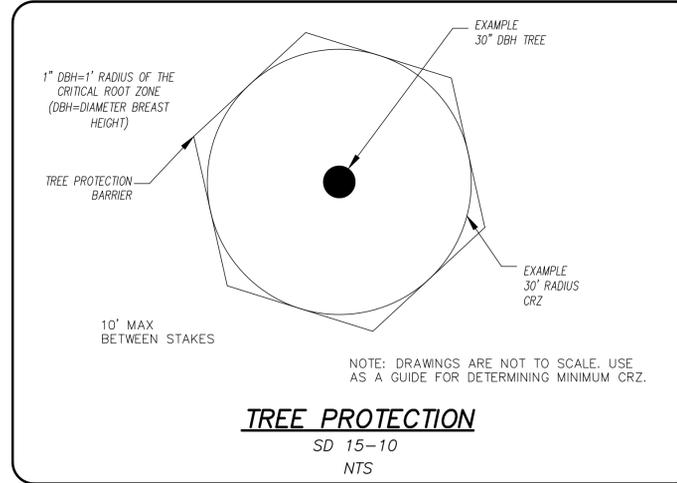
  

FOUNDATION PLANTINGS					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
3		<i>Juniperus squamata</i>	BLUE STAR JUNIPER	1 GAL.	
3		<i>Abelia grandifolia</i>	GLOSSY ABELIA	15-18" MIN.	4' O.C.

- ALL PLANTS SELECTED ARE DROUGHT TOLERANT AND CHOSEN FROM CROSS - REFERENCING THE NC COOPERATIVE EXTENSION AND CITY OF WILMINGTON APPROVED PLANT LISTS.
- LANDSCAPE DESIGN TO MEET ARTICLE 10: EXCEPTIONALLY DESIGN PROJECTS
- PER ARTICLE 10: EXCEPTIONAL DESIGN CREDIT IS BEING SOUGHT FOR USE OF XERIC LANDSCAPING PLANTS.
- 100% OF PLANT MATERIAL LISTED MEETS XERIC LANDSCAPING REQUIREMENTS OUTLINED IN ARTICLE 10 OF THE LDC

### XERICSCAPING NOTES

1. AREAS OF XERICSCAPING AS SHOWN ON PLAN SHALL BE MAINTAINED BY OWNER IN ACCORDANCE TO THE FOLLOWING GUIDELINES:
  - PLANT SPECIES SPECIFIED FOR XERICSCAPING AREAS ARE DROUGHT TOLERANT. TREES AND GRASS WITHIN THESE DESIGNATED AREAS ARE NOT INTENDED TO BE WATERED EXCEPT DURING ESTABLISHMENT AS SPECIFIED BELOW. ONCE MULCHED OR SEED, XERICSCAPING AREAS ARE INTENDED TO NATURALIZE AND NOT REQUIRE MAINTENANCE EXCEPT FOR ADDITIONAL MULCH APPLICATION AND RESEEDING AS NEEDED.
  - NO PERMANENT IRRIGATION IS PERMITTED IN XERICSCAPED AREAS.
  - ALL TREES AND SHRUBS SHALL BE GROWN AND ACQUIRED FROM A LOCAL COASTAL SUPPLIER.
  - PLANT SPECIES AND SITE PREPARATION PER LEGEND AND DESIGNATION ON PLAN.
  - TREES ARE TO BE INSTALLED BETWEEN DECEMBER AND FEBRUARY. IF NOT INSTALLED DURING THIS TIME, "TREE GATOR" WATER BAGS (20 GALLON SIZE) ARE TO BE USED FOR EACH TREE AND TO BE FILLED ONCE PER WEEK FOR A PERIOD OF 6 MONTHS UNLESS 1" OF RAINFALL IS OCCURRING WITHIN EVERY SEVEN DAY PERIOD.
  - ALL AREAS DESIGNATED AS XERICSCAPE SHALL BE MULCHED WITH LONGLEAF PINESTRAW, FREE OF DEBRIS, CONES, AND DIRT TO A DEPTH OF 4".
  - ALL TREES AND SHRUBS MUST BE MULCHED IMMEDIATELY AFTER PLANTING.
  - WHERE VEGETATED SWALES ARE REQUIRED THROUGH XERICSCAPED AREAS, THE FOLLOWING PERMANENT SEED MIXTURE IS TO BE USED; 50#/ACRE PENSACOLA BAHIA GRASS, 5#/ACRE CENTIPEDE GRASS, 10#/ACRE GERMAN MILLET. SEEDING IS TO OCCUR DURING THE PERIOD APRIL 1 - JULY 15. USE SPECIFIED TEMPORARY SEEDING SCHEDULE TO SEED AT OTHER TIMES OF THE YEAR AND RESEED WITH PERMANENT SEEDING AT APPROPRIATE TIME. APPLY FERTILIZER AND LIME AS RECOMMENDED BY SOIL TEST.
2. XERICSCAPED AREAS SHALL REMAIN AS SUCH UNTIL PROPERTY IS REZONED DIFFERENTLY.

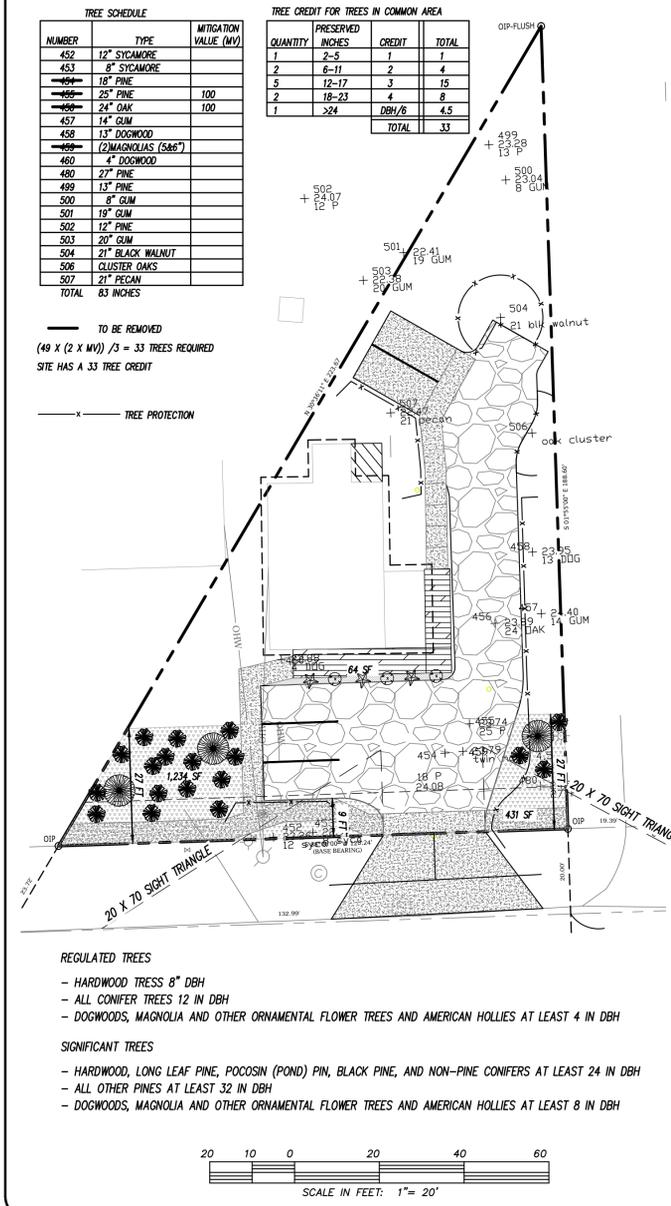


### TREE PROTECTION

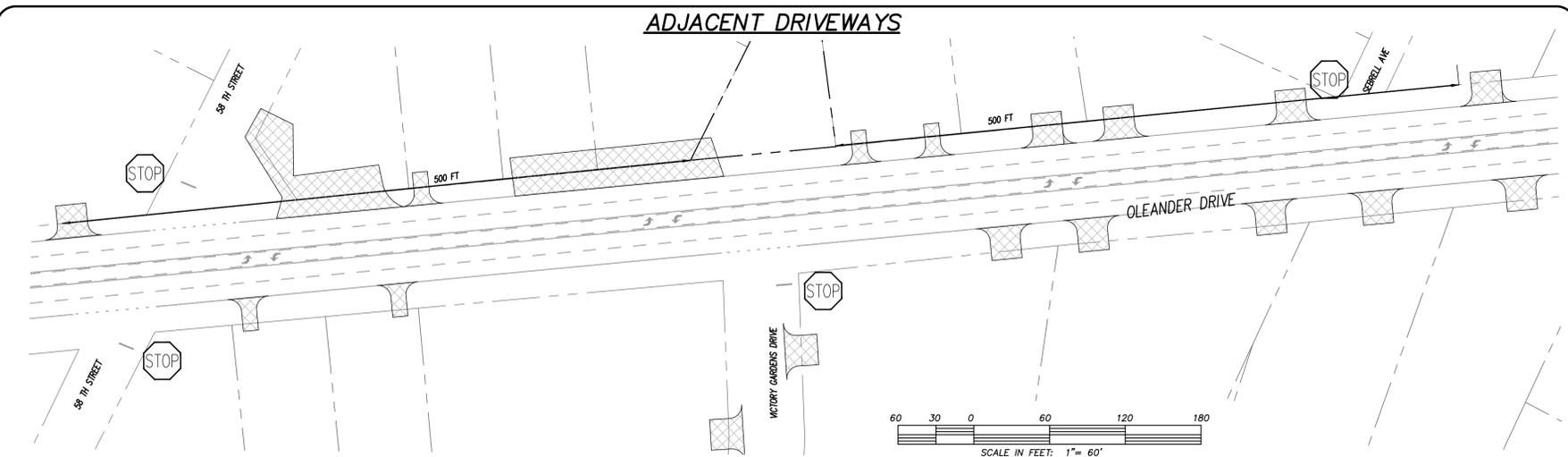
SD 15-10  
NTS

### LANDSCAPE CALCULATIONS:

1. STREETYARD LANDSCAPING:  
1 TREE AND 6 SHRUBS PER 600 SF;  
-OLEANDER DRIVE  
(120 FT - 24 FT); 96 FT \* 18 FT STREETYARD = 1,728 SF  
1,728 SF REQ'D; 1,665 SF STREETYARD PROVIDED  
1,665 SF / 600 = 2.7 ; 3 CANOPY TREES & 18 SHRUBS PROVIDED  
REQUESTING WAIVER ON STREET LANDSCAPING REQUIRED SF DUE TO SITE CONSTRAINTS.
2. SEC. 18-490 FOUNDATION LANDSCAPING:  
432 SF EXISTING BLDG FACE \* 12% = 51 SF REQ'D FOUNDATION LANDSCAPING.  
64 SF FOUNDATION LANDSCAPING PROVIDED.
3. PARKING ISLAND LANDSCAPING:  
N/A
4. TREES & SHRUBS IN THE SETBACK AREA SHALL BE MAINTAINED BY THE OWNER TO ENSURE THAT THE MATERIAL LIVES & PROSPERS.
5. PARKING AREA SCREENING:  
SHRUBBERY PROVIDE FOR MAXIMUM OPACTY OF VEHICLE HEADLIGHTS.
6. BUFFERARY LANDSCAPING:  
ADJACENT PROPERTY ZONING CB; NO BUFFERARY REQ'D FOR CB ZONING.
7. ALL SPECIFIED PLANT MATERIAL CLASSIFIES AS XERIC LANDSCAPING. SPECIES WERE CHOSEN BY CROSS-REFERENCING THE NC COOPERATIVE EXTENSION AND THE CITY OF WILMINGTON'S APPROVED PLANT LIST. ANY SUBSTITUTIONS SHALL BE OF SIMILAR GENUS OR VARIETY AS THE ONES SPECIFIED AND MUST BE APPROVED BY CITY OF WILMINGTON PLANNING DEPT.
8. PROPOSED VEGETATION WITHING SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' - 10'.



- REGULATED TREES
- HARDWOOD TREES 8" DBH
  - ALL CONIFER TREES 12 IN DBH
  - DOGWOODS, MAGNOLIA AND OTHER ORNAMENTAL FLOWER TREES AND AMERICAN HOLLIES AT LEAST 4 IN DBH
- SIGNIFICANT TREES
- HARDWOOD, LONG LEAF PINE, POCOSIN (POND) PIN, BLACK PINE, AND NON-PINE CONIFERS AT LEAST 24 IN DBH
  - ALL OTHER PINES AT LEAST 32 IN DBH
  - DOGWOODS, MAGNOLIA AND OTHER ORNAMENTAL FLOWER TREES AND AMERICAN HOLLIES AT LEAST 8 IN DBH



### ADJACENT DRIVEWAYS

SCALE IN FEET: 1" = 60'

**GSD**  
LICENSE # C-2710  
**COASTAL SITE DESIGN, PC**  
ENGINEERING  
LAND PLANNING  
COMMERCIAL / RESIDENTIAL  
P.O. Box 4041  
Wilmington, NC 28406  
(910) 791-4441

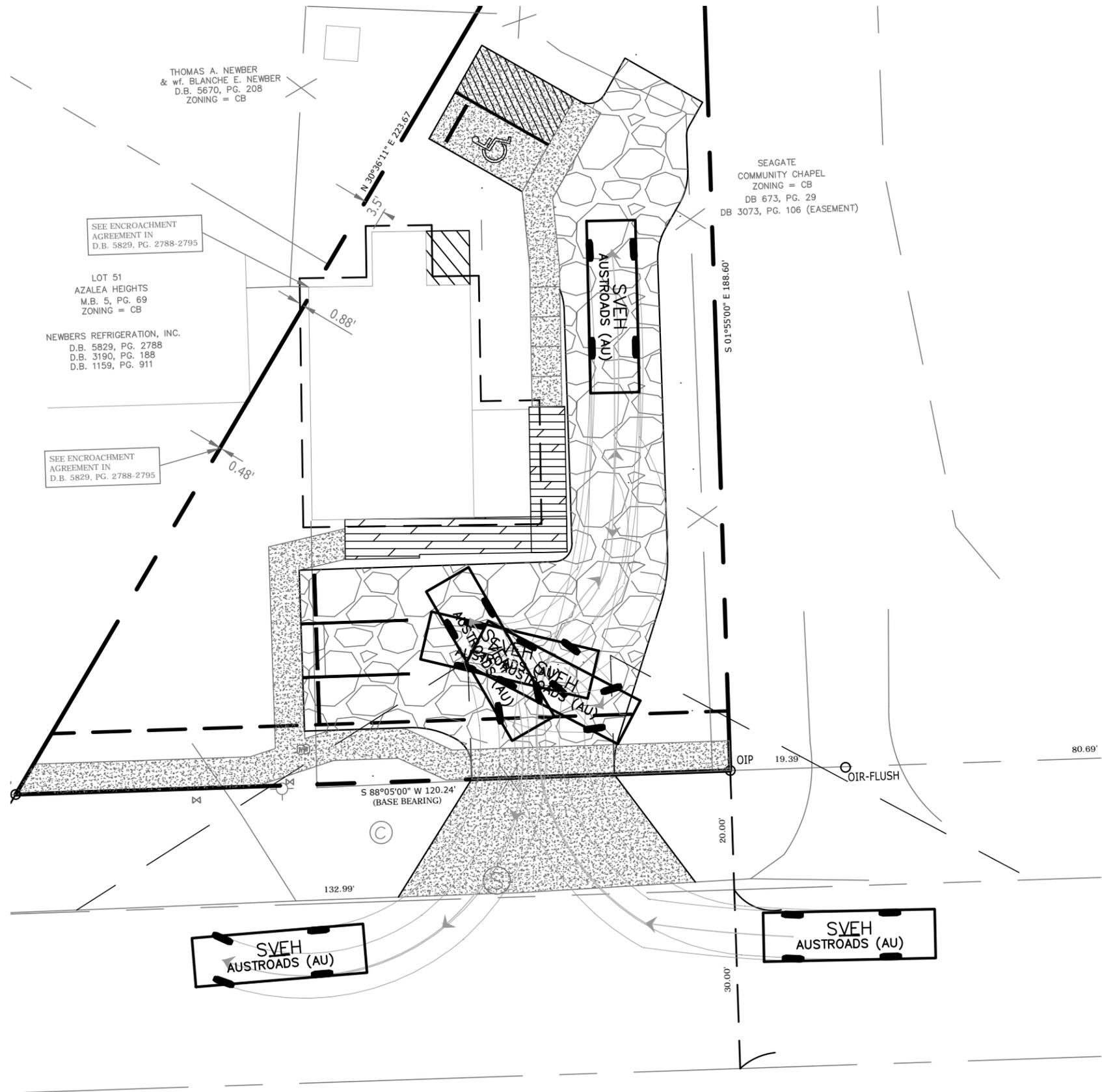
SITE IMPROVEMENTS FOR  
**THE SHOP OF SEAGATE**

THE SHOP OF SEAGATE  
LOCATED IN CITY OF WILMINGTON  
NEW HANOVER COUNTY, NORTH CAROLINA  
OWNER: STEWART KEELS  
3817 OLEANDER DRIVE  
WILMINGTON, NC 28412

PRELIMINARY

REV.	NO.	DATE	REMARKS
1		5/18/16	REVISED PER TRC COMMENTS

DATE: 4-21-16  
HORIZ. SCALE: as noted  
VERT. SCALE: N/A  
DRAWN BY: RLW  
CHECKED BY: HSR  
PROJECT NO.: 16-0358  
Sheet No. **2** of **2**



DOROTHY N. GORE  
 & TERESA N. SANDLIN  
 TRACT 1  
 DB 5829, PG. 2365