

SAWMILL POINT APARTMENTS

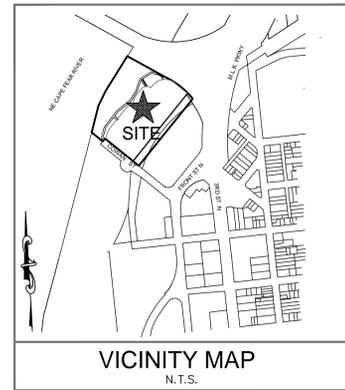
1015 NUTT ST.
WILMINGTON, NORTH CAROLINA

RE-ISSUED FOR CONSTRUCTION CIVIL SET

OCTOBER 30, 2015

SHEET INDEX - SAWMILL POINT

SHEET #	FILE #	DESCRIPTION
1	G-001	COVER SHEET
(2)	SURVEY	ARNOLD CARSON, PLS EXISTING CONDITIONS SURVEY
3	CE-101	SEDIMENT & EROSION CONTROL PLAN - STAGE 1
4	CE-102	SEDIMENT & EROSION CONTROL PLAN - STAGE 2
5	CD-101	DEMOLITION PLAN
6	CS-101	SITE PLAN
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8	CG-102	STORM DRAINAGE PLAN
9	CU-101	UTILITY PLAN
10	CT-701	NUTT STREET ROADWAY PROFILE
11	CS-501	SITE DETAILS
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L8.00		LANDSCAPE PLAN BY STEWART, INC.
L8.30		LANDSCAPE DETAILS BY STEWART, INC.
SK1.0		SHACK SITE PLAN BY HOUSING STUDIO, P.A.
A5.1		ELEVATIONS BY HOUSING STUDIO, P.A.
A5.2		ELEVATIONS BY HOUSING STUDIO, P.A.
A5.3		ELEVATIONS BY HOUSING STUDIO, P.A.
SK1.2		SHACK ELEVATIONS BY HOUSING STUDIO, P.A.
SK1.3		SHACK BUILDING SECTION & WALL SECTIONS BY HOUSING STUDIO, P.A.



OWNER / DEVELOPER:

SAWMILL POINT APARTMENTS, LLC
103 TORREY PINES DRIVE
CARY, NORTH CAROLINA 27513

OWNER'S DESIGNATED REPRESENTATIVE:

BLAIR M. BOOTH, PRESIDENT
SAWMILL POINT APARTMENTS, LLC
bbooth@symphony-properties.com
(919) 439-1040

PROJECT ENGINEER / REPRESENTATIVE:

TAMARA MURPHY, PE
MCKIM & CREED, INC.
243 NORTH FRONT STREET
WILMINGTON, NORTH CAROLINA 28401
tmurphy@mckimcreed.com
(910) 343-1048

PROJECT ADDRESS:

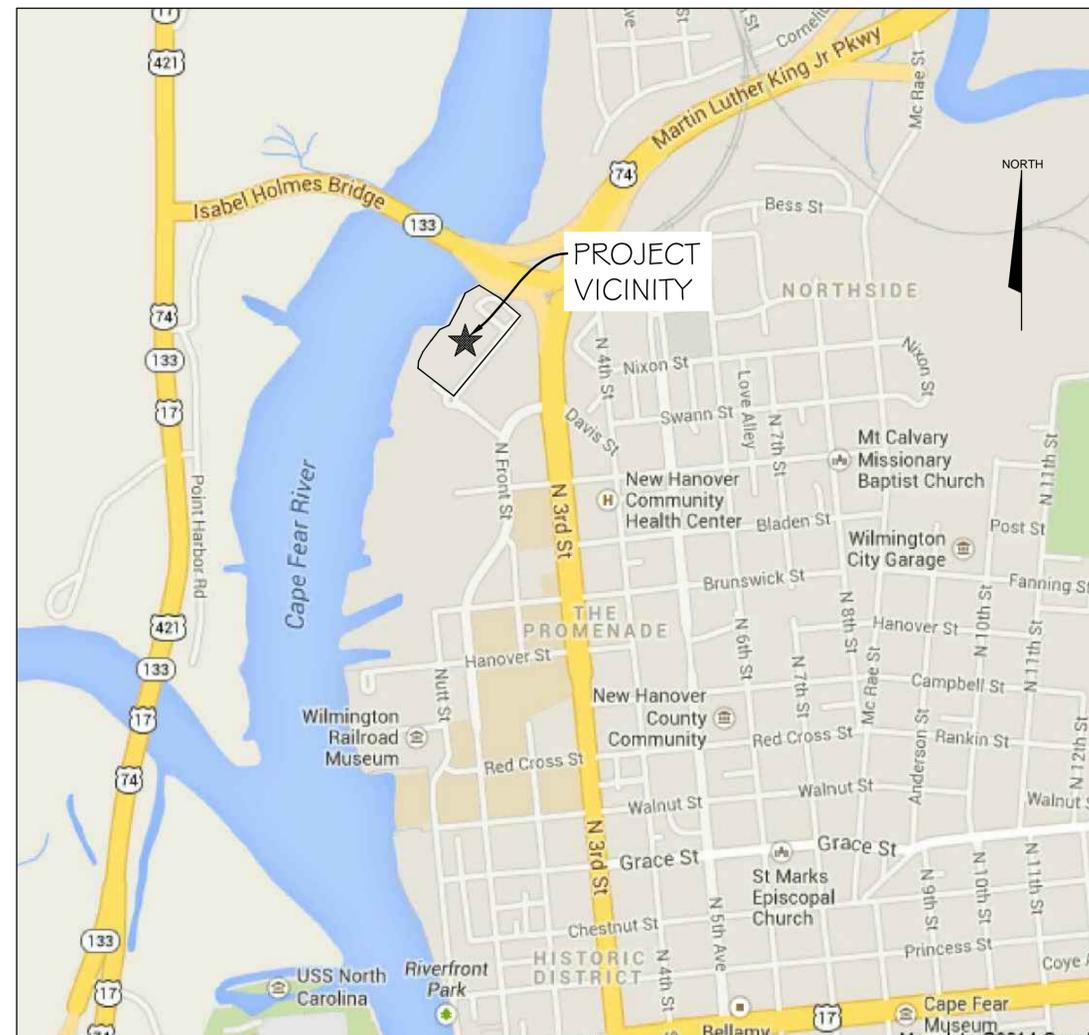
1015 NUTT STREET
WILMINGTON, NC 28401

TAX PARCEL IDENTIFICATION NUMBER:

R04712-002-003-000

PROPERTY ZONING:

CBD - CENTRAL BUSINESS DISTRICT



REF. GOOGLE MAP IMAGES ONLINE

VICINITY MAP
SCALE: 1" = 1000'

CITY OF WILMINGTON STANDARD NOTES

- CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT '811'.
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE PUBLIC STREETS ARE OPEN TO TRAFFIC, THE DEVELOPER SHALL CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND CURBING SHALL BE REPLACED.
- CONTACT KAREN DIXON AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION HE SHALL APPLY WITH THE CFPUA IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- CONTACT TRAFFIC ENGINEERING AT (910)341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OUTSIDE THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY UTILITY.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
- PERMITTING OF BUSINESS IDENTIFICATION SIGNAGE IS A SEPARATE PROCESS. NCDOT/CITY OF WILMINGTON WILL NOT ALLOW THESE OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY.

Approved Construction Plan	
Name	Date
Planning	
Traffic	
Fire	

STORMWATER MANAGEMENT PLAN	
APPROVED	
CITY OF WILMINGTON	
ENGINEERING DEPARTMENT	
DATE	PERMIT #
SIGNED	

1 inch

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Know what's below.
Call before you dig.

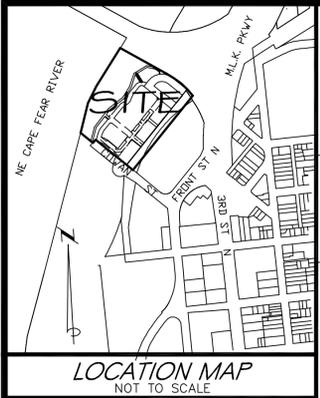
RE-ISSUED FOR CONSTRUCTION
SUPERCEDES PREVIOUS SETS



243 North Front Street
Wilmington, North Carolina 28401
Phone: (910)343-1048 , Fax: (910)251-8282

NC LICENSE NO. F-1222
www.mckimcreed.com





- LEGEND**
UTILITIES AND OTHER
- EXISTING DROP INLET
 - ⊗ EXISTING WATER VALVE
 - ⊗ EXISTING FIRE HYDRANT
 - ⊗ EXISTING CATCH BASIN
 - ⊗ EXISTING STORM DRAIN MH
 - ⊗ EXISTING STORM DRAIN PIPE
 - ⊗ EXISTING SAN. SEWER MH
 - ⊗ EXISTING SS CLEANOUT
 - ⊗ EXISTING SAN. SEWER LINE
 - ⊗ EXISTING LIGHT
 - ⊗ EXISTING 4"-6" DBH OAK
 - ⊗ EXISTING ELECTRICAL BOX
 - ⊗ EXISTING ELECTRICAL PANEL
 - ⊗ EXISTING ELECTRICAL TRANSFORMER
 - ⊗ EXISTING CABLE TV PEDESTAL
 - ⊗ EXISTING TELEPHONE PEDESTAL
 - ⊗ WATER METER
 - ⊗ BACK FLOW PREVENTER

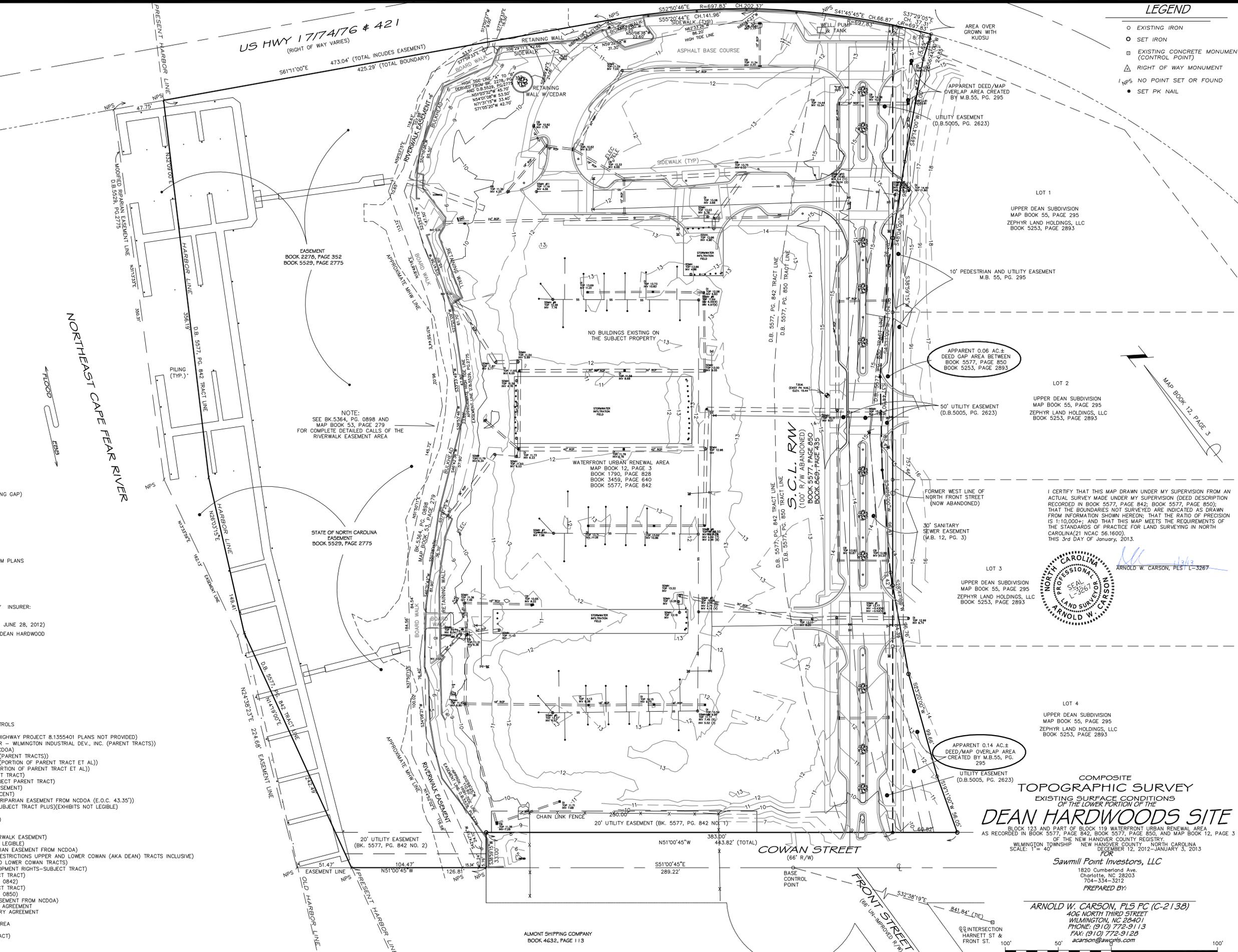
NOTES:

- TOTAL AREA = 11.13 AC.± (TO HARBOR LINE) (INCLUDING GAP) 8.12 AC.± (TO MHW) (INCLUDING GAP)
- THIS TRACT IS LOCATED IN ZONE "AE" (EL 9') ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 372031800 K DATED 6/2/06.
- UTILITIES SHOWN HEREON WERE LOCATED BY THIS FIRM AT VARIOUS TIMES, THERE ARE ADDITIONAL UNDERGROUND UTILITIES WHICH ARE NOT REFLECTED ON THIS SURVEY. CALL NC ONE CALL PRIOR TO DIGGING OR FOR ADDITIONAL PLANNING PURPOSES.
- SOME OF THE IMPROVEMENTS SHOWN HEREON ARE FROM PLANS PREPARED BY: Coastal Site Design, PC
3805 Cherry Avenue
Wilmington, NC 28403-6209
(910) 791-4441

5. ZONING AND SETBACK INFORMATION TO BE VERIFIED BY INSURER:
ZONED: CBD-CENTRAL BUSINESS DISTRICT
(CITY OF WILMINGTON ZONING VERIFICATION FORM DATED: JUNE 28, 2012)
SETBACKS ACCORDING TO PLAN ENTITLED "SITE PLAN OF DEAN HARDWOOD SITE" DATED: 1/17/07 LAST REVISION DATE: 6/25/08.
BUILDING SETBACKS:
MINIMUM FRONT SETBACK: ON ROW OR WITHIN 5' OF ROW
PROPOSED FRONT SETBACK: 0'
MINIMUM SIDE SETBACK: 0'
PROPOSED SIDE SETBACK: 0'

SURVEY REFERENCES:

BOOK/PAGE	DECLARATION OF REGULATIONS AND CONTROLS
0769 0494	(RAILROAD ROW, SUBJECT TRACT)
0869 0435	NC DOT RIGHTS OF WAY (LEGIBLE STATE HIGHWAY PROJECT 8.1355401 PLANS NOT PROVIDED)
1086 0833	DEED OF TRUST (IMPORT-EXPORT LUMBER - WILMINGTON INDUSTRIAL DEV., INC. (PARENT TRACTS))
1238 1166	EASEMENT (RIPARIAN EASEMENT FROM NCDQA)
2278 0352	DEED OF TRUST (DEANCO, INC. - BB&T (PARENT TRACTS))
2724 0780	DEED OF TRUST (DEANCO, INC. - BB&T (PORTION OF PARENT TRACT ET AL))
4581 0262	DEED OF TRUST (BB&T CSC - BB&T (PORTION OF PARENT TRACT ET AL))
4619 0214	QUITCLAIM DEED (RAILROAD ROW, SUBJECT TRACT)
4890 0106	DEED OF TRUST (SFA) (PORTION OF SUBJECT PARENT TRACT)
4979 0966	C.O.W. STREET CLOSURE (RETAINS 50' EASEMENT)
5005 2623	WATERFRONT LAND HOLDINGS, LLC (ADJACENT)
5063 2390	EASEMENT TRANSFER "CAMA" (C.F. RIVER RIPARIAN EASEMENT FROM NCDQA (E.O.C. 43.35'))
5145 1071	RAIL CORRIDOR VACATION AGREEMENT (SUBJECT TRACT PLUS)(EXHIBITS NOT LEGIBLE)
5199 2046	(RAILROAD ROW, SUBJECT TRACT)
5199 2055	ZEPHYR LAND HOLDINGS, LLC (ADJACENT)
5253 2893	NOTICE OF CONTRACT
5341 0372	C.O.W. RIVERWALK EASEMENT
5364 0898	SUBORDINATION AGREEMENT (C.O.W. RIVERWALK EASEMENT)
5364 0904	DEVELOPMENT AGREEMENT (EXHIBITS NOT LEGIBLE)
5371 1106	EASEMENT MODIFICATION (MODIFIED RIPARIAN EASEMENT FROM NCDQA)
5529 2775	RESTRICTIVE COVENANT (STORM WATER RESTRICTIONS UPPER AND LOWER COWAN (AKA DEAN) TRACTS INCLUSIVE)
5540 1056	COST RECOVERY AGREEMENT (UPPER AND LOWER COWAN TRACTS)
5253 2905	TRUSTEE'S DEED (ASSIGNMENT OF DEVELOPMENT RIGHTS-SUBJECT TRACT)
5577 0842	TRUSTEE'S DEED (RAILROAD ROW, SUBJECT TRACT)
5577 0848	NOTICE OF FORECLOSURE (SUBJECT 5577 0842)
5577 0850	TRUSTEE'S DEED (RAILROAD ROW, SUBJECT TRACT)
5577 0855	NOTICE OF FORECLOSURE (SUBJECT 5577 0850)
5577 0857	ASSIGNMENT OF EASEMENT (RIPARIAN EASEMENT FROM NCDQA)
5577 0863	ASSIGNMENT OF RIGHTS IN DEVELOPMENT AGREEMENT
5577 0869	ASSIGNMENT OF RIGHTS IN COST RECOVERY AGREEMENT
M.B./Pg.	
012 003	MAP OF WATERFRONT URBAN RENEWAL AREA
053 279	MAP OF RIVERWALK EASEMENT AREA
055 295	UPPER DEAN SUBDIVISION (ADJACENT TRACT)



- LEGEND**
- EXISTING IRON
 - SET IRON
 - ⊗ EXISTING CONCRETE MONUMENT (CONTROL POINT)
 - ⊗ RIGHT OF WAY MONUMENT
 - ⊗ N.P.S. NO POINT SET OR FOUND
 - SET PK NAIL

LOT 1
UPPER DEAN SUBDIVISION
MAP BOOK 55, PAGE 295
ZEPHYR LAND HOLDINGS, LLC
BOOK 5253, PAGE 2893

LOT 2
UPPER DEAN SUBDIVISION
MAP BOOK 55, PAGE 295
ZEPHYR LAND HOLDINGS, LLC
BOOK 5253, PAGE 2893

LOT 3
UPPER DEAN SUBDIVISION
MAP BOOK 55, PAGE 295
ZEPHYR LAND HOLDINGS, LLC
BOOK 5253, PAGE 2893

LOT 4
UPPER DEAN SUBDIVISION
MAP BOOK 55, PAGE 295
ZEPHYR LAND HOLDINGS, LLC
BOOK 5253, PAGE 2893



I CERTIFY THAT THIS MAP DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 5577, PAGE 842; BOOK 5577, PAGE 850); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION SHOWN HEREON; THAT THE RATIO OF PRECISION IS 1:10,000+- AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600).
THIS 3rd DAY OF January, 2013.

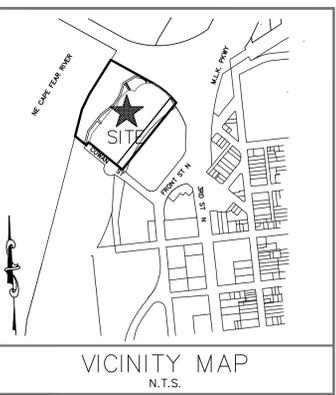
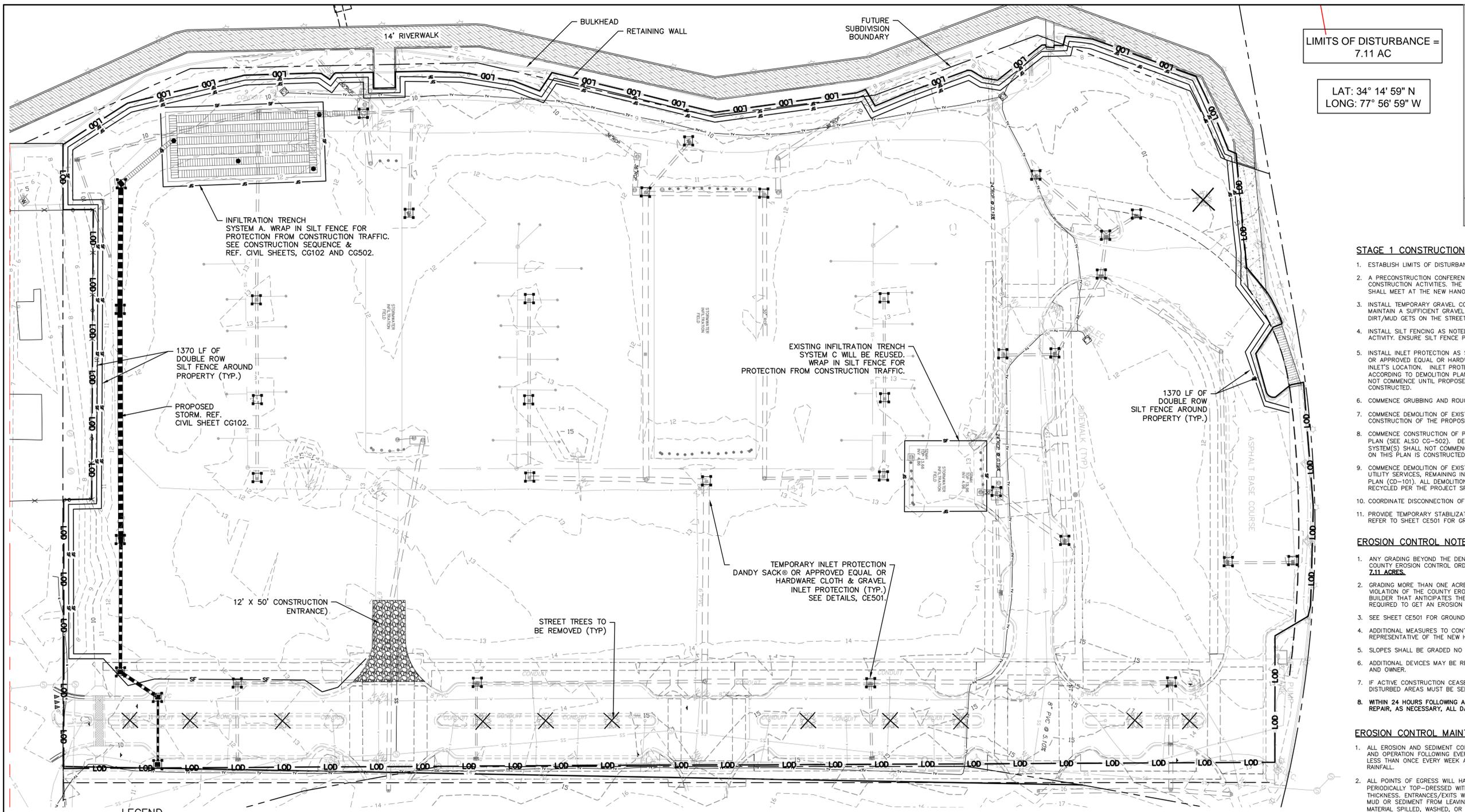
ARNOLD W. CARSON, PLS L-3267

COMPOSITE TOPOGRAPHIC SURVEY
EXISTING SURFACE CONDITIONS OF THE LOWER PORTION OF THE
DEAN HARDWOODS SITE

BLOCK 123 AND PART OF BLOCK 119 WATERFRONT URBAN RENEWAL AREA AS RECORDED IN BOOK 5577, PAGE 842; BOOK 5577, PAGE 850, AND MAP BOOK 12, PAGE 3 OF THE NEW HANOVER COUNTY REGISTRY OF THE NEW HANOVER COUNTY - NORTH CAROLINA
SCALE: 1" = 40'

FOR
Sawmill Point Investors, LLC
1820 Cumberland Ave.
Charlotte, NC 28203
704-334-3212
PREPARED BY:

ARNOLD W. CARSON, PLS PC (C-2138)
406 NORTH THIRD STREET
WILMINGTON, NC 28401
PHONE: (910) 772-9113
FAX: (910) 772-9128
acarson@awcppls.com



LIMITS OF DISTURBANCE = 7.11 AC

LAT: 34° 14' 59" N
LONG: 77° 56' 59" W

STAGE 1 CONSTRUCTION SEQUENCE

1. ESTABLISH LIMITS OF DISTURBANCE AS SHOWN.
2. A PRECONSTRUCTION CONFERENCE MUST BE HELD 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES. THE EROSION CONTROL INSPECTOR, ENGINEER, AND CONTRACTOR SHALL MEET AT THE NEW HANOVER COUNTY EROSION CONTROL INSPECTOR'S OFFICE.
3. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE AS SHOWN. CONTRACTOR SHALL MAINTAIN A SUFFICIENT GRAVEL ENTRANCE UNTIL FINAL SUBGRADE IS ESTABLISHED. IF DIRT/MUD GETS ON THE STREET, THEN A WASH RACK WILL NEED TO BE INSTALLED.
4. INSTALL SILT FENCING AS NOTED ON PLANS BEFORE COMMENCING ANY LAND DISTURBANCE ACTIVITY. ENSURE SILT FENCE PROTECTS INFILTRATION SYSTEMS.
5. INSTALL INLET PROTECTION AS SHOWN ON PLANS. CONTRACTOR TO USE DANDY SACK® OR APPROVED EQUAL OR HARDWARE CLOTH & GRAVEL INLET PROTECTION DEPENDING ON INLET'S LOCATION. INLET PROTECTION TO REMAIN IN PLACE UNTIL INLET IS REMOVED ACCORDING TO DEMOLITION PLAN. DEMOLITION OF EXISTING STORM DRAIN SYSTEM(S) SHALL NOT COMMENCE UNTIL PROPOSED STORM DRAIN SYSTEM SHOWN ON THIS PLAN IS CONSTRUCTED.
6. COMMENCE GRUBBING AND ROUGH GRADING WITHIN THE LIMITS OF CONSTRUCTION.
7. COMMENCE DEMOLITION OF EXISTING INFILTRATION TRENCH SYSTEM(S) NECESSARY FOR THE CONSTRUCTION OF THE PROPOSED INFILTRATION TRENCH SYSTEM AS SHOWN ON THIS PLAN.
8. COMMENCE CONSTRUCTION OF PROPOSED INFILTRATION TRENCH SYSTEM AS SHOWN ON THIS PLAN (SEE ALSO CG-502). DEMOLITION OF REMAINING EXISTING INFILTRATION TRENCH SYSTEM(S) SHALL NOT COMMENCE UNTIL PROPOSED INFILTRATION TRENCH SYSTEM SHOWN ON THIS PLAN IS CONSTRUCTED AND OPERATIONAL.
9. COMMENCE DEMOLITION OF EXISTING ASPHALT, CURB & GUTTER, SIDEWALKS, CROSSWALKS, UTILITY SERVICES, REMAINING INFILTRATION TRENCH SYSTEMS, ETC PER THE DEMOLITION PLAN (CD-101). ALL DEMOLITION MATERIAL SHALL BE DISPOSED OF, SALVAGED, OR RECYCLED PER THE PROJECT SPECIFICATIONS.
10. COORDINATE DISCONNECTION OF EXISTING UTILITIES WITH THE PROPER AUTHORITIES.
11. PROVIDE TEMPORARY STABILIZATION AND SEEDING AS NECESSARY TO PREVENT EROSION. REFER TO SHEET CE501 FOR GROUND STABILIZATION CRITERIA AND SEEDING SCHEDULE.

EROSION CONTROL NOTES:

1. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE. **LIMITS OF DISTURBANCE 7.11 ACRES.**
2. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE. ANY BUILDER THAT ANTICIPATES THE DISTURBANCE OF MORE THAN 1 CUMULATIVE ACRE WILL BE REQUIRED TO GET AN EROSION CONTROL PERMIT FROM NEW HANOVER COUNTY.
3. SEE SHEET CE501 FOR GROUND STABILIZATION REQUIREMENTS.
4. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE NEW HANOVER COUNTY ENGINEERING DEPARTMENT.
5. SLOPES SHALL BE GRADED NO STEEPER THAN 3:1.
6. ADDITIONAL DEVICES MAY BE REQUIRED AS AGREED UP ON BY FIELD INSPECTOR, ENGINEER, AND OWNER.
7. IF ACTIVE CONSTRUCTION CEASES IN ANY AREA FOR MORE THAN 15 WORKING DAYS, ALL DISTURBED AREAS MUST BE SEED, MULCH, AND TACKED.
8. **WITHIN 24 HOURS FOLLOWING ANY RAIN EVENT, THE CONTRACTOR SHALL INSPECT AND REPAIR, AS NECESSARY, ALL DAMAGED EROSION CONTROL MEASURES.**

EROSION CONTROL MAINTENANCE PLAN:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
2. ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES/EXITS THAT WILL BE PERIODICALLY TOP-DRESSED WITH 2-3" COARSE STONE TO MAINTAIN 6" THICKNESS. ENTRANCES/EXITS WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED, OR TRACKED ONTO THE CONSTRUCTION ENTRANCE/EXIT OR PUBLIC ROADWAYS. (NCDENR PRACTICE 6.06)
3. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF-FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. (NCDENR PRACTICE 6.02)
4. SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTIONS WHEN THE SEDIMENT REACHES HALF OF THE DEPTH TO THE TOP OF THE ROCK. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT CONTROL MEASURE NO LONGER DRAINS AS INTENDED. REMOVE DEBRIS FROM THE ROCK AS NECESSARY TO ALLOW FOR PROPER DRAINAGE. (NCDENR PRACTICES 6.51)
5. SILT SACKS SHALL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND SILT SACKS ONCE A WEEK AND AFTER EVERY RAIN EVENT. (NHC PRACTICES)
6. ALL SEEDED AREAS WILL BE FERTILIZED, RE-SEEDED AS NECESSARY AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES.

LEGEND

△ RBC = REBAR & CAP	● = SANITARY SEWER MANHOLE
● PF = IRON PIPE FOUND	○ = POWER POLE
INV. = INVERT	○ GW = GUY WIRE
EL. = ELEVATION	○ = CABLE PEDESTAL
EL. = WELL	○ = TELEPHONE PEDESTAL
○ = WATER METER	○ = TELEPHONE MANHOLE
○ = FIRE HYDRANT	○ = GAS VALVE
○ = WATER VALVE	○ = ASPHALT PAVEMENT
○ = GRATED INLET	○ = TEMPORARY INLET PROTECTION
○ = YARD INLET	○ = LIMITS OF DISTURBANCE LINE
○ = STORM DRAIN MANHOLE	○ = SILT FENCE LINE
○ = UNDERGROUND STORM LINE	○ = UNDERGROUND SANITARY LINE
○ = UNDERGROUND WATER LINE	

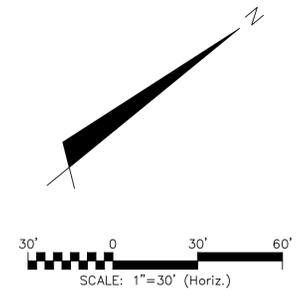
STORMWATER MANAGEMENT PLAN
APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

1 inch



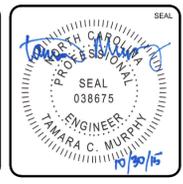
NOTE COW(18-458)

NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.

NOTE (G.S. 113A-57 (2))

THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 21 CALENDAR DAYS OF COMPLETION OF ANY GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.

REV. NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/11/15
2	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/11/15
3	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/11/15
4	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/11/15
5	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/11/15



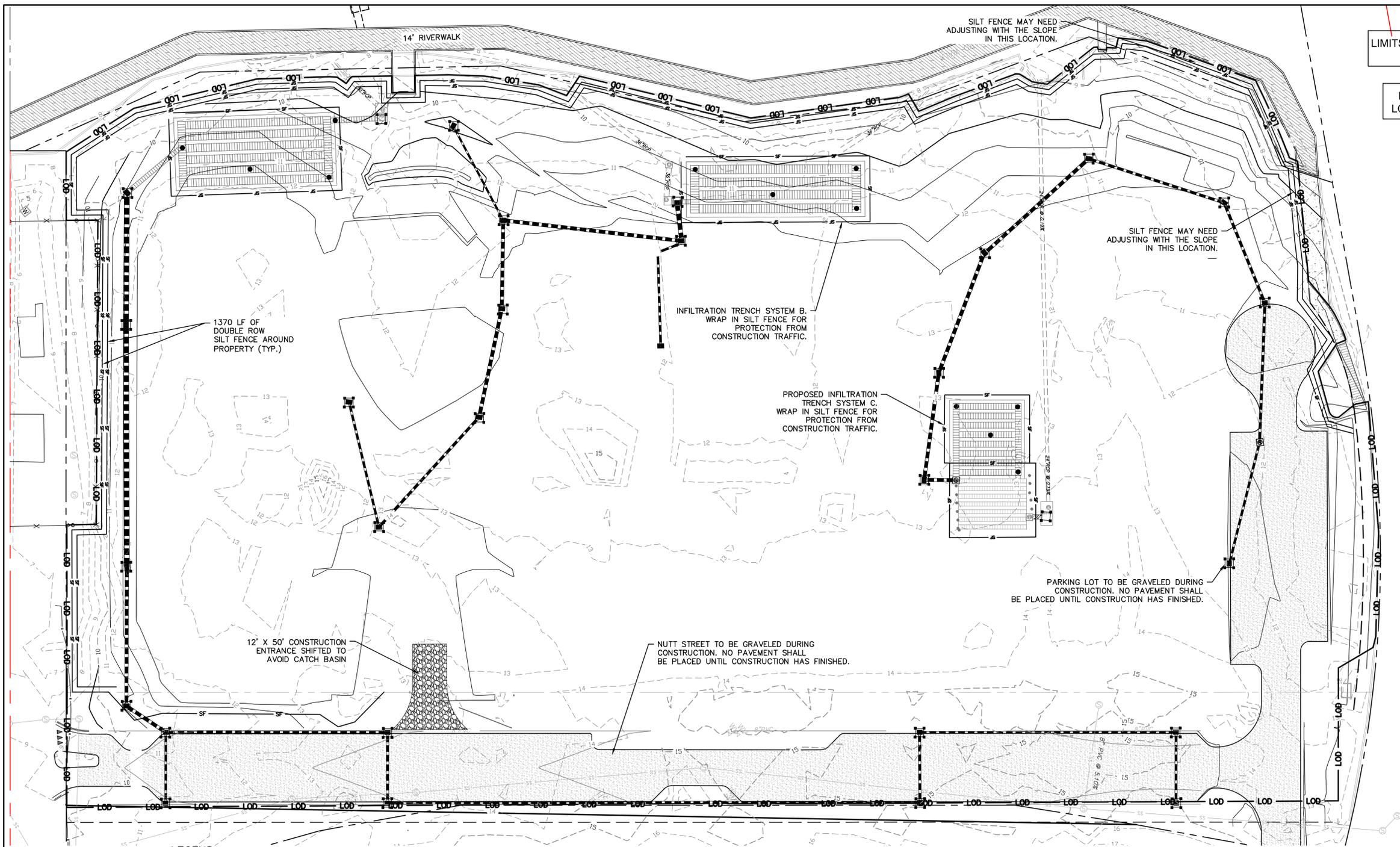
MCKIM & CREED
 243 North Front Street
 Wilmington, NC 28401
 Phone: (910)343-1048, Fax: (910)251-8282
 NC LICENSE F-1222
 www.mckimcreed.com

SYMPHONY properties
 Orchestrating REAL Solutions

SAWMILL POINT APARTMENTS
 1015 NUTT STREET
 WILMINGTON, NORTH CAROLINA

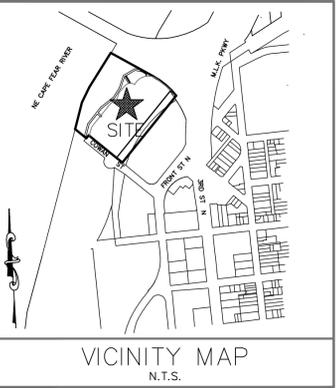
SEDIMENT & EROSION CONTROL
STAGE 1

DATE: 16 DEC 2014	SCALE: HORIZONTAL: 1"=30'	M&C FILE NUMBER: CE101
M&C PROJ. # 06586-0001	VERTICAL: 30'	DRAWING NUMBER: 3
DRAWN: TCM/RAC		
DESIGNED: JBS/TCM/RAC		
CHECKED: JBS/RMC		
PROJ. MGR.: RMC		
STATUS: RE-ISSUED FOR CONSTRUCTION		



LIMITS OF DISTURBANCE = 7.11 AC

LAT: 34° 14' 59" N
LONG: 77° 56' 59" W



- STAGE 2 CONSTRUCTION SEQUENCE**
1. INSTALL SEWER AND WATER AND STORMWATER MANAGEMENT FACILITIES TO INCLUDE PIPING, CATCH BASINS, DROP INLETS AND INFILTRATION TRENCH SYSTEMS INCLUDING INSTALLATION OF STAGE TWO INLET PROTECTION.
 2. REMOVE ACCUMULATED SEDIMENT FROM SEDIMENT CONTROL MEASURES AS REQUIRED ON THE PLANS AND PERMIT.
 3. COMPLETE PARKING AREAS AND ENTRANCE CONSTRUCTION TO SUBGRADE. COMPACT ALL FILL AREAS TO 95% STD. PROCTOR MAXIMUM DRY DENSITY.
 4. INSTALL GRAVEL BASE IN PARKING AREAS.
 5. INSTALL CONCRETE CURB AND GUTTER.
 6. CONTRACTOR SHALL CONTINUOUSLY MAINTAIN EROSION CONTROL MEASURES AND CLEAN AND REPAIR TEMPORARY SEDIMENT MEASURES TO MEET NEW HANOVER COUNTY APPROVAL.
 7. UPON COMPLETION OF CONSTRUCTION, PRIOR TO FINAL ASPHALT LIFT INSTALLATION, CONTRACTOR TO REQUEST FINAL INSPECTION FROM NEW HANOVER COUNTY EROSION CONTROL INSPECTOR TO ALLOW REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES.
 8. INSTALL LANDSCAPING AND ESTABLISH FINAL GRADES AS SHOWN ON CG101.
 9. INSTALL PERMANENT SEEDING. REFER TO GROUND STABILIZATION CRITERIA TABLE FOR AREAS THAT REQUIRE 7-DAY STABILIZATION. ALL OTHER AREAS NOT REQUIRING 7-DAY STABILIZATION SHALL BE STABILIZED WITHIN 14-DAYS.
 10. REMOVE ALL SEDIMENT FROM ALL STORM DRAIN PIPES.
 11. SILT FENCE MUST REMAIN INSTALLED AND FUNCTIONING PROPERLY UNTIL THE LIMITS OF CONSTRUCTION HAVE BEEN PERMANENTLY STABILIZED.

GROUND STABILIZATION CRITERIA		
SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10 FT OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FT IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HWZONES)

LEGEND

- △ RBC = REBAR & CAP
- IFF = IRON PIPE FOUND
- INV. = INVERT
- EL. = ELEVATION
- ⊕ = WELL
- ⊕ = WATER METER
- ⊕ = FIRE HYDRANT
- ⊕ = WATER VALVE
- ⊕ = GRATED INLET
- ⊕ = YARD INLET
- ⊕ = STORM DRAIN MANHOLE
- = SANITARY SEWER MANHOLE
- ⊕ = POWER POLE
- ⊕ = GUY WIRE
- ⊕ = CABLE PEDESTAL
- ⊕ = TELEPHONE PEDESTAL
- ⊕ = TELEPHONE MANHOLE
- ⊕ = GAS VALVE
- ⊕ = ASPHALT PAVEMENT
- ⊕ = TEMPORARY INLET PROTECTION
- LOD — = LIMITS OF DISTURBANCE LINE
- SF — = SILT FENCE LINE
- SS — = UNDERGROUND STORM LINE
- SS — = UNDERGROUND SANITARY LINE
- W — = UNDERGROUND WATER LINE

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name _____ Date _____

Planning _____

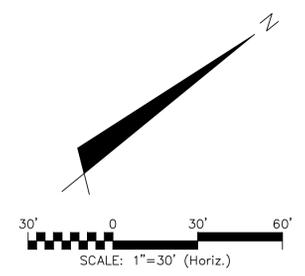
Traffic _____

Fire _____

1 inch



Know what's below.
Call before you dig.



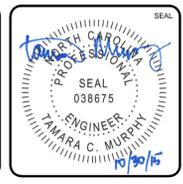
NOTE COW(18-458)

NO EQUIPMENT IS ALLOWED ON-SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.

NOTE (G.S. 113A-57 (2))

THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 21 CALENDAR DAYS OF COMPLETION OF ANY GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.

REV. NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
2	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
3	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
4	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
5	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
6	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
7	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
8	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
9	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
10	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
11	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
12	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
13	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
14	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
15	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
16	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
17	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
18	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
19	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
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28	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
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39	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
40	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
41	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
42	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
43	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
44	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
45	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
46	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
47	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
48	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
49	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
50	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15



MCKIM & CREED

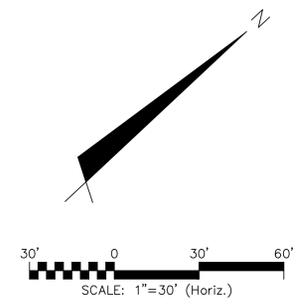
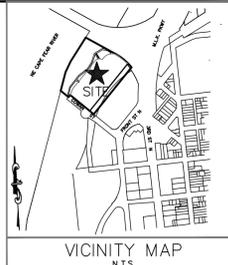
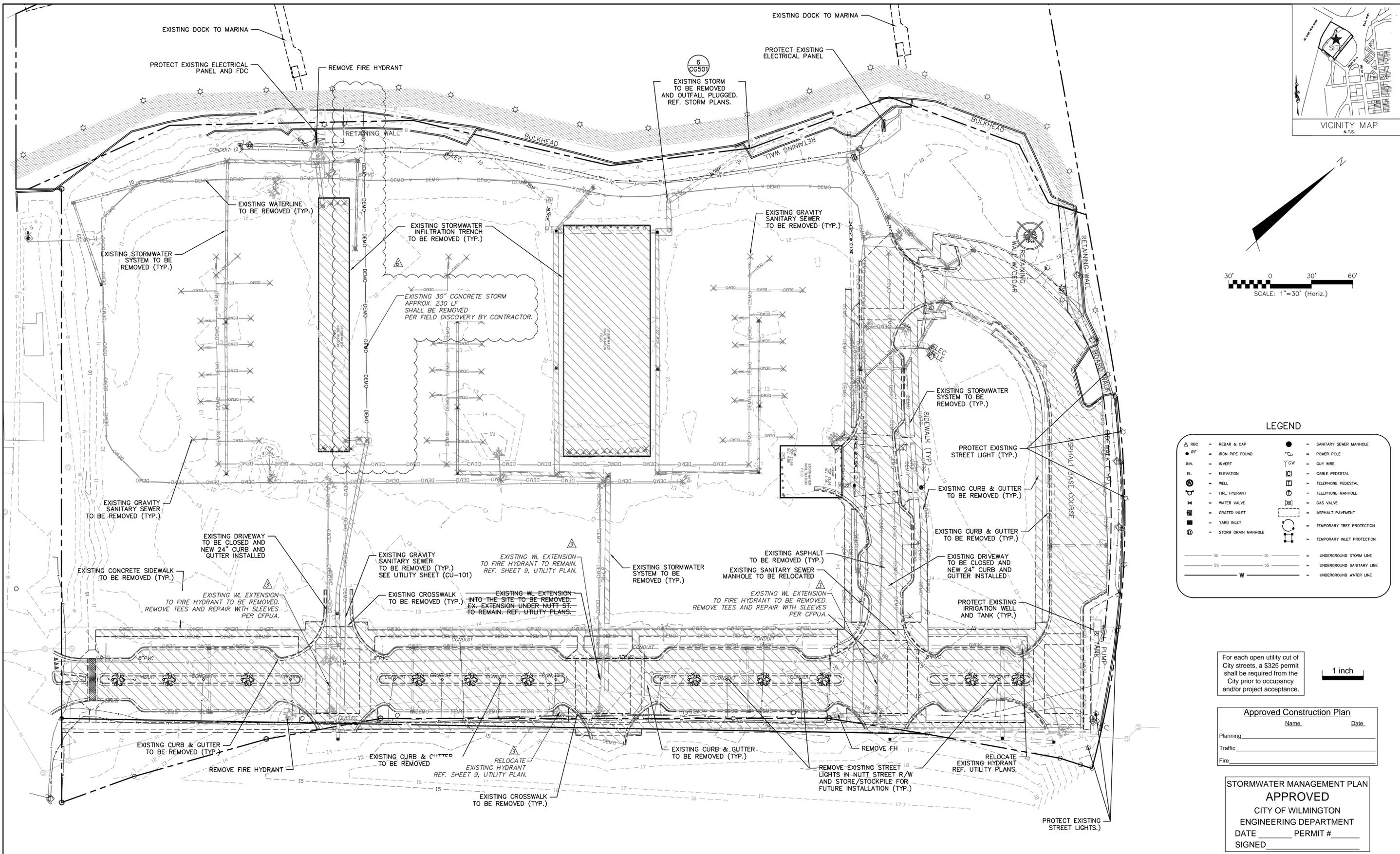
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SYMPHONY properties
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SAWMILL POINT APARTMENTS
1015 NUTT STREET
WILMINGTON, NORTH CAROLINA

SEDIMENT & EROSION CONTROL
STAGE 2

DATE: 16 DEC 2014	SCALE: 1"=30'	M&C FILE NUMBER: CE102
M&C PROJ. #: 06586-0001	HORIZONTAL: 1"=30'	DRAWING NUMBER: 4
DRAWN: TCM/RAC	VERTICAL: 1"=30'	
DESIGNED: JBS/TCM/RAC		
CHECKED: JBS/RMC		
PROJ. MGR.: RMC		
STATUS: RE-ISSUED FOR CONSTRUCTION		REVISION:



LEGEND

△ RBC	REBAR & CAP	●	SANITARY SEWER MANHOLE
● IPF	IRON PIPE FOUND	○	POWER POLE
INV.	INVERT	Y GW	GUY WIRE
EL.	ELEVATION	□	CABLE PEDESTAL
⊙	WELL	⊠	TELEPHONE PEDESTAL
⊕	FIRE HYDRANT	⊙	TELEPHONE MANHOLE
⊕	WATER VALVE	⊕	GAS VALVE
⊕	GRATED INLET	⊕	ASPHALT PAVEMENT
⊕	YARD INLET	⊕	TEMPORARY TREE PROTECTION
⊕	STORM DRAIN MANHOLE	⊕	TEMPORARY INLET PROTECTION
---	---	---	---
SS	UNDERGROUND STORM LINE	---	---
SS	UNDERGROUND SANITARY LINE	---	---
W	UNDERGROUND WATER LINE		

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

1 inch

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

STORMWATER MANAGEMENT PLAN APPROVED

CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE _____ PERMIT # _____

SIGNED _____

REV. NO.	DESCRIPTIONS	DATE
1	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/2/15
2	RE-ISSUED FOR CONSTRUCTION TO MCKIM & CREED (Memorandum covering Civil Revisions 2-4)	6/2/15
3	WATER AND SEWER REVISIONS PER CFPUA PRE-CON AND ENGINEER'S DESIGN REVISIONS	7/1/15
4	ADDITIONAL REMOVAL OF CONCRETE PIPE	10/2/15
5	RE-ISSUED FOR CONSTRUCTION TO MCKIM & CREED (Memorandum covering Civil Revisions 1-14)	10/2/15
6	RE-ISSUED FOR CONSTRUCTION TO MCKIM & CREED (Memorandum covering Civil Revisions 15-18)	10/2/15



MCKIM & CREED

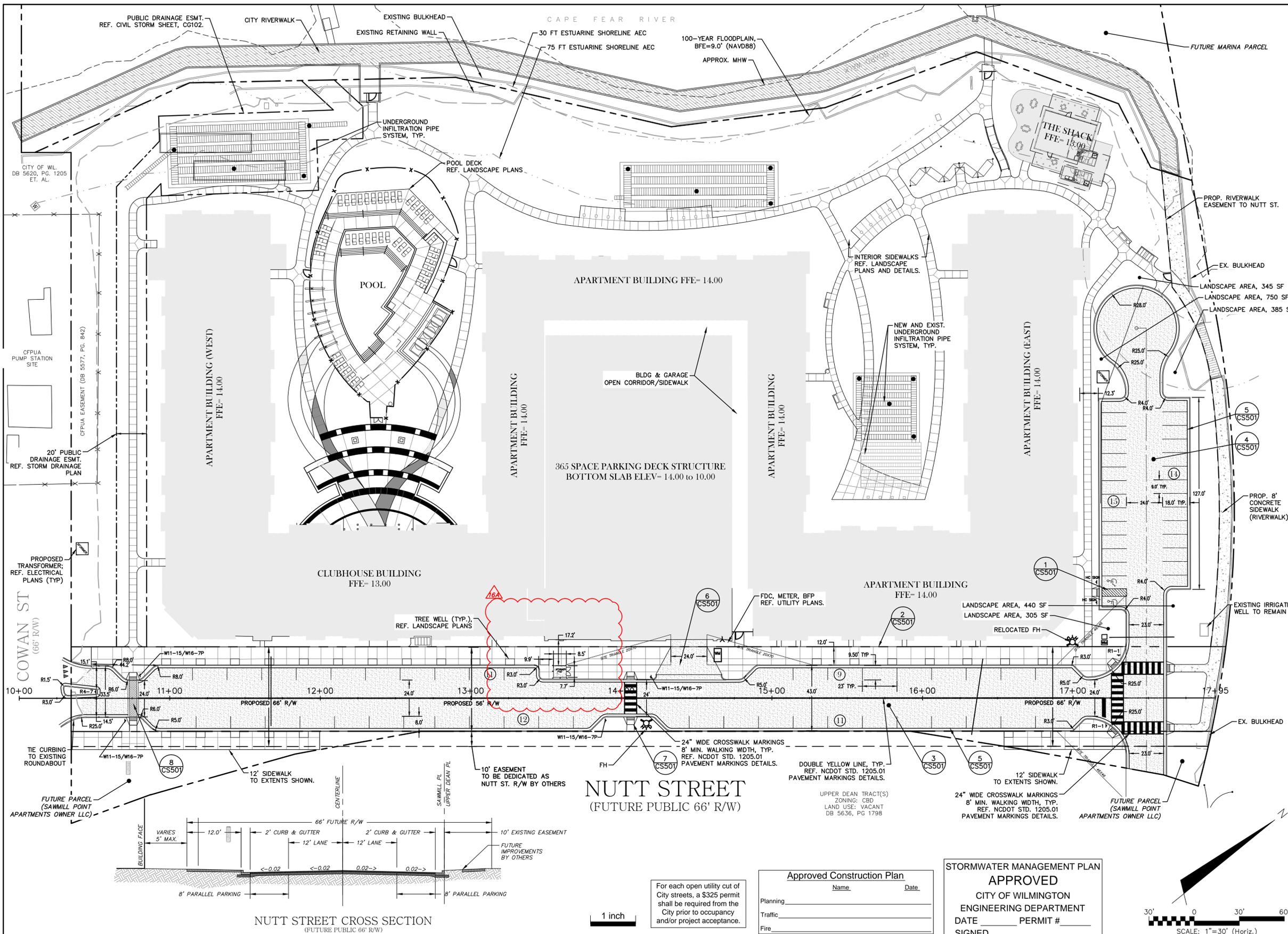
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Wilmington, NC 28401
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SYMPHONY properties
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SAWMILL POINT APARTMENTS
1015 NUTT STREET
WILMINGTON, NORTH CAROLINA

DEMOLITION PLAN

DATE: 16 DEC 2014	SCALE: HORIZONTAL: 1"=30'	M&C FILE NUMBER: CD101
M&C PROJ. #: 06586-0001	VERTICAL: 1"=30'	DRAWING NUMBER: 5
DRAWN: TCM/RAC	DESIGNED: JBS/TCM/RAC	CHECKED: JBS/RMC
PROJ. MGR.: RMC	STATUS: RE-ISSUED FOR CONSTRUCTION	REVISION: 6



SITE DATA TABLE		SAWMILL POINT	
PARCEL ADDRESS	1015 NUTT STREET		
BUILDING SETBACKS	REQUIRED	PROPOSED	
FRONT	ON R/W OR WITHIN 5'	WITHIN 5'	
REAR	0	105', 99', 84'	
SIDE (INTERIOR)	0	86'	
SIDE (CORNER)	0	61'	
TAX PARCEL IDENTIFICATION NUMBER(S):	R04712-002-003-000 R04712-002-004-000		
CURRENT ZONING:	CBD-CENTRAL BUSINESS DISTRICT		
TOTAL ACREAGE TO EXISTING HARBOUR LINE	11.13 ACRES (484,823 SF)		
TOTAL ACREAGE WITHIN THE PROPOSED APARTMENT SUBDIVISION	7.56 ACRES (329,385 SF)		
NC BUILDING CODE CONSTRUCTION TYPE	VA		
NUMBER OF UNITS	280		
NUMBER OF BUILDINGS	3		
BUILDING HEIGHT	55'		
NUMBER OF STORIES & SQUARE FEET PER FLOOR	4 STORIES - 84,755 SF/FLOOR		
TOTAL AMOUNT OF DISTURBED AREA	7.11 ACRES		
CAMA LAND USE CLASSIFICATION*	CONSERVATION*		
EXISTING PERMITTED (#2008031) IMPERVIOUS AREA	135,036 SF		
* PROJECT IS LOCATED IN THE "URBAN WATERFRONT" AS DESCRIBED BY COASTAL AREA MANAGEMENT ACT (CAMA).			
IMPERVIOUS AREA (PROPOSED)			
ROOF TOPS	85,173	SF	
ROADWAYS (ON-SITE)	30,683	SF	
PARKING	11,694	SF	
SIDEWALKS	26,174	SF	
OTHER (PARKING DECK)	25,308	SF	
TOTAL S.F. (ONSITE IMPERVIOUS AREA)	179,032	SF	
PERCENTAGE (ONSITE IMPERVIOUS AREA/ONSITE AREA) = 153,724/329,385	46.67	%	
PARKING CALCULATIONS			
PROPOSED USE:	MULTI-FAMILY		
TOTAL SPACES PROVIDED	428 (1.53 SPACES PER UNIT)		
SURFACE PARKING PROVIDED	29 SPACES		
PARKING DECK SPACES PROVIDED	365 SPACES		
SPACES PROVIDED ON NUTT STREET	34 SPACES		
ACCESSIBLE SPACES IN PARKING DECK	10		
ACCESSIBLE SPACES PROVIDED	12 (6 VAN)		
BICYCLE SPACES PROVIDED (5 PER 100 SPACES)	20		
SEC. 18-529, EACH PARKING SPACE LOCATED AT THE PERIMETER OF A PARKING FACILITY SHALL BE EQUIPPED WITH A CURB, WHEEL STOP, OR SIMILAR DEVICE TO PREVENT VEHICLE ENCROACHMENT BEYOND PROPERTY LINES OF PARKING LOTS AND INTO PEDESTRIAN WAYS OR TRAFFIC AISLES.			
BUILDING FRONTAGE CALCULATIONS			
TOTAL BUILDING FRONTAGE	560 LF		
BUILDING FRONTAGE WITHIN 5' OF R/W REQUIRED	280 LF		
BUILDING FRONTAGE WITHIN 5' OF R/W PROVIDED	299 LF		
FLOOD ZONE INFORMATION			
100-YEAR FLOODPLAIN ELEV.	9' (NAVD 88)		
PROPOSED BUILDING FINISHED FLOOR ELEV.	13.0' & 14.0' (NAVD 88)		

NOTE: WASTE DISPOSAL RECEPTACLES WILL BE WITHIN PARKING GARAGE ONLY.

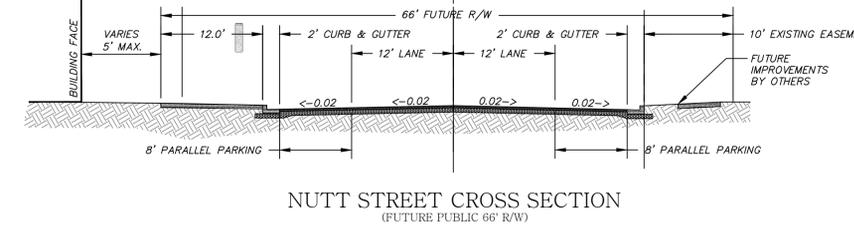
NOTE: IF THESE UNITS ARE SOLD AT ANY POINT, THE BUYER MUST RECEIVE A SUBDIVISION STREET DISCLOSURE STATEMENT.

NOTE: ANY FUTURE DRIVEWAYS INTO THE NUTT STREET 66' R/W MUST BE IN COMPLIANCE WITH THE CITY OF WILMINGTON STANDARDS.

NOTE: PEDESTRIAN CROSSING SIGNS SHALL BE INSTALLED NO LESS THAN 5' FROM THE NUTT ST. CROSSWALKS IN ACCORDANCE TO THE CITY OF WILMINGTON AND SEC. 9-575.

NOTE: REF. CIVIL SHEET CS501 FOR SITE DETAILS AND STREET SIGNAGE DETAILS.

NOTE: PRIVATE SIDEWALKS SHALL MEET APPLICABLE BUILDING AND ADA CODE.



NUTT STREET (FUTURE PUBLIC 66' R/W)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name _____ Date _____

Planning _____

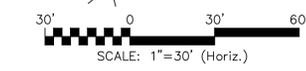
Traffic _____

Fire _____

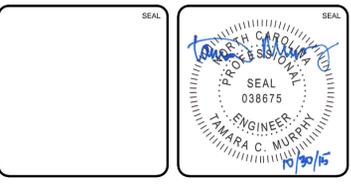
STORMWATER MANAGEMENT PLAN APPROVED

CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE _____ PERMIT # _____
SIGNED _____



REV NO.	DATE	DESCRIPTION
1	4/2/15	ISSUED FOR CONSTRUCTION TO MCKIM & CREED
2	9/23/15	RE-ISSUED FOR CONSTRUCTION TO MCKIM & CREED (Memorandum covering Civil Revisions 2-4)
3	9/23/15	RE-ISSUED FOR CONSTRUCTION TO MCKIM & CREED (Memorandum covering Civil Revisions 15-18)
4	10/20/15	TRANSFORMER (DUKE 182079) RELOCATION IN FRONT OF GARAGE - PER CITY OF WL
5	9/23/15	TRANSFORMER (DUKE 182079) RELOCATION IN FRONT OF GARAGE - RFI 64



MCKIM & CREED

243 North Front Street
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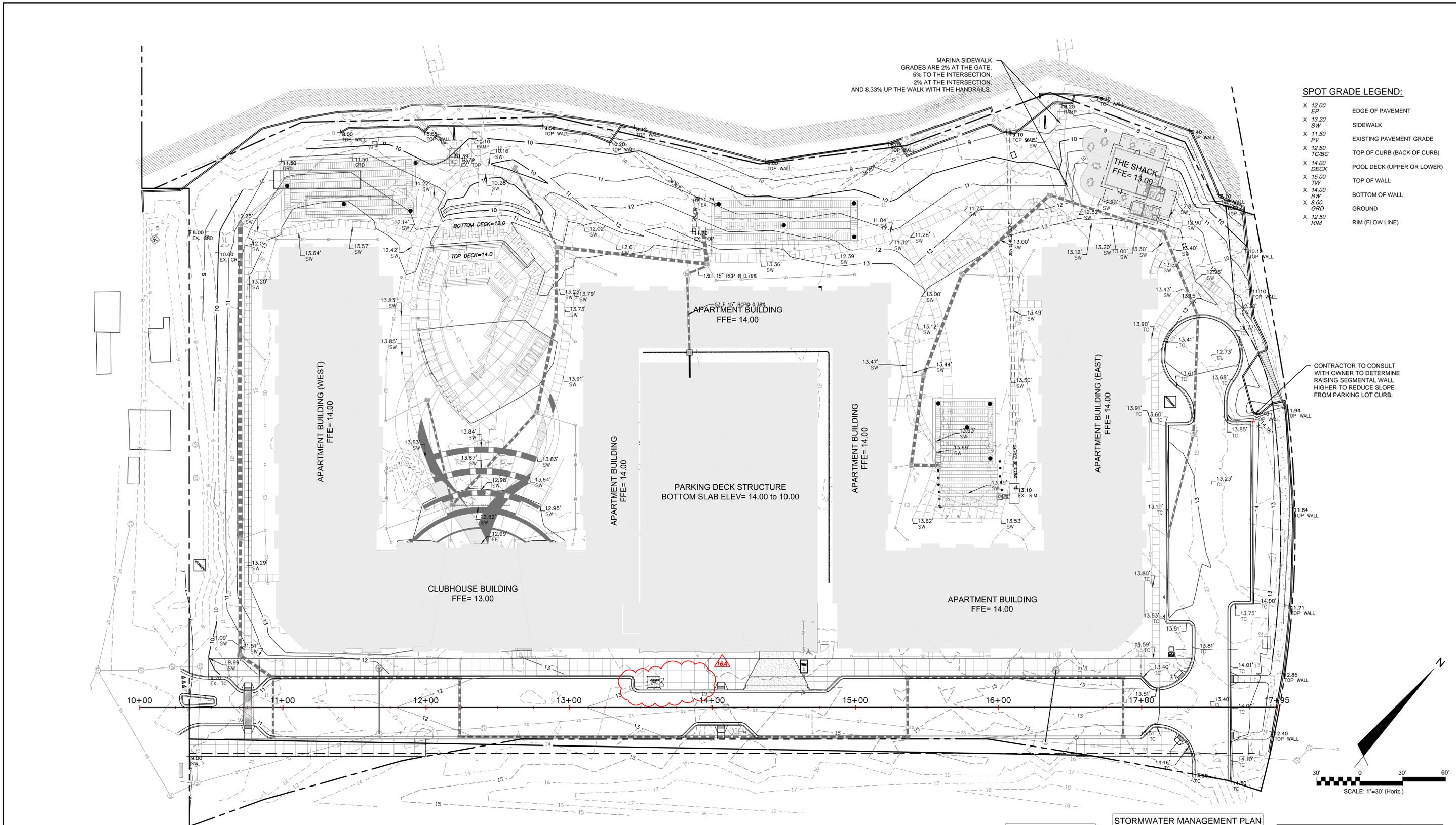
SITE PLAN

DATE: 16 DEC 2014
MCE PROJ.#: 06586-0001
DRAWN: TCM/RAC
DESIGNED: JBS/TCM/RAC
CHECKED: JBS/RMC
PROJ. MGR.: RMC

SCALE: HORIZONTAL: 1"=30'
VERTICAL: 1"=30'

MAC FILE NUMBER: CS101
DRAWING NUMBER: 6

STATUS: RE-ISSUED FOR CONSTRUCTION



MARINA SIDEWALK GRADES ARE 2% AT THE GATE, 5% TO THE INTERSECTION, 2% AT THE INTERSECTION AND 8.33% UP THE WALK WITH THE HANDRAILS.

SPOT GRADE LEGEND:

X 12.00	EP	EDGE OF PAVEMENT
X 13.20	SW	SIDEWALK
X 11.50	PV	EXISTING PAVEMENT GRADE
X 12.50	TC/BC	TOP OF CURB (BACK OF CURB)
X 14.00	DECK	POOL DECK (UPPER OR LOWER)
X 15.00	TW	TOP OF WALL
X 14.00	BW	BOTTOM OF WALL
X 8.00	GRD	GROUND
X 12.50	R/M	RIM (FLOW LINE)

CONTRACTOR TO CONSULT WITH OWNER TO DETERMINE RAISING SEGMENTAL WALL HIGHER TO REDUCE SLOPE FROM PARKING LOT CURB.

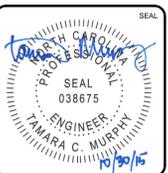
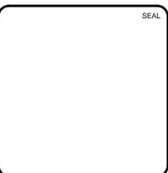
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STORMWATER MANAGEMENT PLAN
APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____

Approved Construction Plan

Name	Date
Planning	_____
Traffic	_____
Fire	_____

REV. NO.	DESCRIPTIONS	DATE
1	RE-ISSUED FOR CONSTRUCTION TO MCKIM & CREED (Memorandum covering Civil Revisions 2-4)	10/30/15
2	RE-ISSUED FOR CONSTRUCTION TO MCKIM & CREED (Memorandum covering Civil Revisions 2-8)	11/18/15
3	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/2/15



MCKIM & CREED
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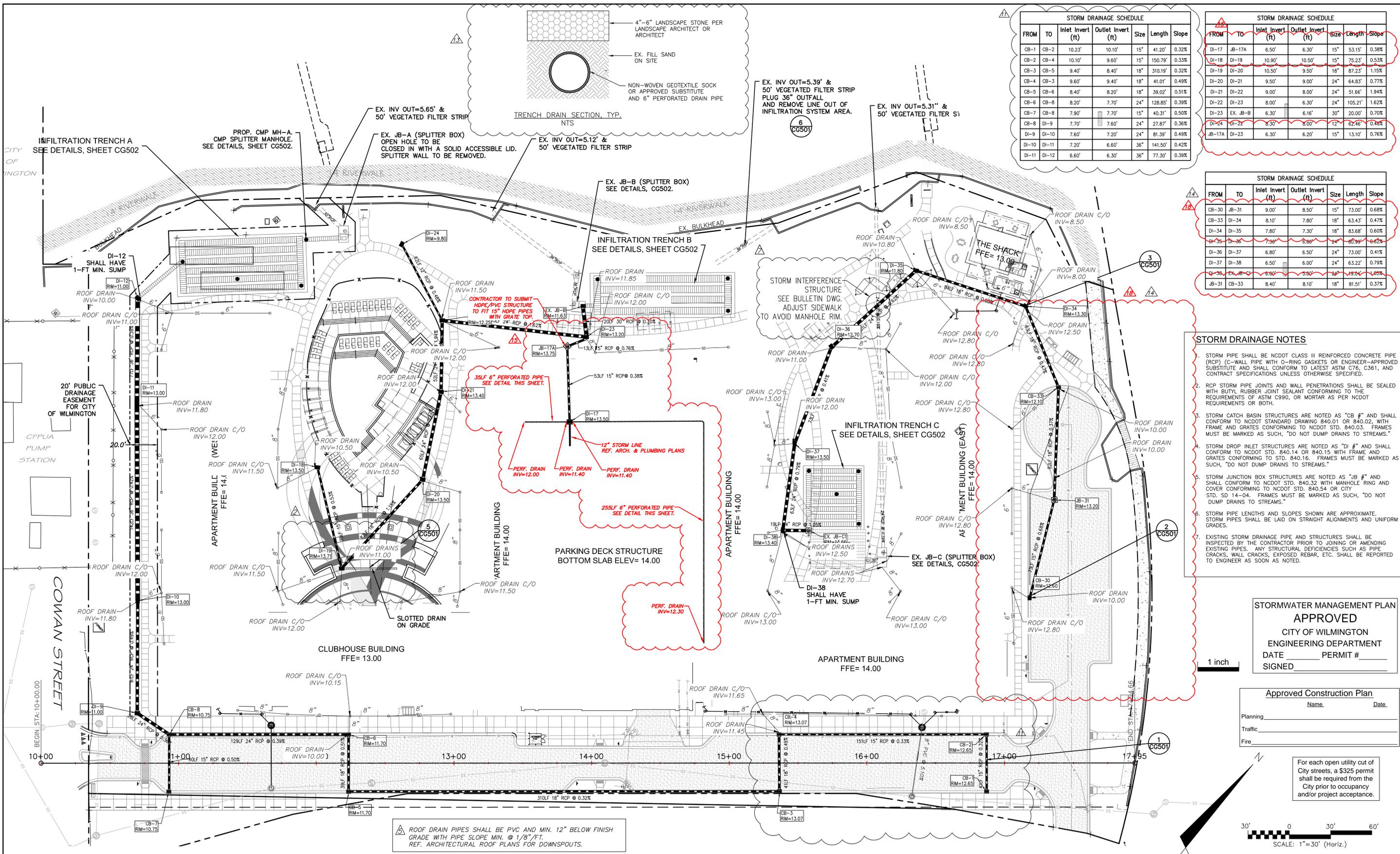
SYMPHONY properties
 Orchestrating REAL Solutions

SAWMILL POINT APARTMENTS
 1015 NUTT STREET
 WILMINGTON, NORTH CAROLINA

GRADING PLAN

DATE: 16 DEC 2014	SCALE: HORIZONTAL: 1"=30'	M&C FILE NUMBER: CG101
MCE PROJ. # 06586-0001	VERTICAL: 1"=30'	DRAWING NUMBER: 7
DRAWN: TCM/RAC		
DESIGNED: JBS/TCM/RAC		
CHECKED: JBS/RMC		
PROJ. MGR.: RMC		
STATUS: RE-ISSUED FOR CONSTRUCTION		

S:\568001\180-Drawings\CG101_6586-0001.dwg, 10/30/2015 1:18:09 PM, Murphy



STORM DRAINAGE SCHEDULE

FROM	TO	Inlet Invert (ft)	Outlet Invert (ft)	Size	Length	Slope
CB-1	CB-2	10.23'	10.10'	15"	41.20'	0.32%
CB-2	CB-4	10.10'	9.60'	15"	150.79'	0.33%
CB-3	CB-5	9.40'	8.40'	18"	310.19'	0.32%
CB-4	CB-3	9.60'	9.40'	18"	41.01'	0.49%
CB-5	CB-6	8.40'	8.20'	18"	39.20'	0.51%
CB-6	CB-8	8.20'	7.70'	24"	128.85'	0.39%
CB-7	CB-8	7.90'	7.70'	15"	40.31'	0.50%
CB-8	DI-9	7.70'	7.60'	24"	27.87'	0.36%
DI-9	DI-10	7.60'	7.20'	24"	81.39'	0.49%
DI-10	DI-11	7.20'	6.60'	36"	141.50'	0.42%
DI-11	DI-12	6.60'	6.30'	36"	77.30'	0.39%

STORM DRAINAGE SCHEDULE

FROM	TO	Inlet Invert (ft)	Outlet Invert (ft)	Size	Length	Slope
DI-17	JB-17A	6.50'	6.30'	15"	53.15'	0.38%
DI-18	DI-19	10.90'	10.50'	15"	75.23'	0.53%
DI-19	DI-20	10.50'	9.50'	18"	87.23'	1.15%
DI-20	DI-21	9.50'	9.00'	24"	64.83'	0.77%
DI-21	DI-22	9.00'	8.00'	24"	51.66'	1.94%
DI-22	DI-23	8.00'	6.30'	24"	105.21'	1.62%
DI-23	EX. JB-B	6.30'	6.16'	30"	20.00'	0.70%
DI-24	DI-22	6.30'	8.00'	12"	62.46'	0.48%
JB-17A	DI-23	6.30'	6.20'	15"	13.10'	0.76%

STORM DRAINAGE SCHEDULE

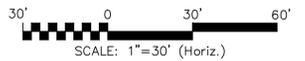
FROM	TO	Inlet Invert (ft)	Outlet Invert (ft)	Size	Length	Slope
CB-30	JB-31	9.00'	8.50'	15"	73.00'	0.68%
CB-33	DI-34	8.10'	7.80'	18"	63.43'	0.47%
DI-34	DI-35	7.80'	7.30'	18"	83.68'	0.60%
DI-35	DI-36	7.30'	6.90'	24"	80.99'	0.62%
DI-36	DI-37	6.80'	6.50'	24"	73.00'	0.41%
DI-37	DI-38	6.50'	6.00'	24"	63.22'	0.79%
DI-38	EX. JB-C	6.00'	5.80'	24"	19.04'	1.05%
JB-31	CB-33	8.40'	8.10'	18"	81.51'	0.37%

- STORM DRAINAGE NOTES**
- STORM PIPE SHALL BE NCDOT CLASS III REINFORCED CONCRETE PIPE (RCP) (C-WALL PIPE WITH O-RING GASKETS OR ENGINEER-APPROVED SUBSTITUTE AND SHALL CONFORM TO LATEST ASTM C76, C361, AND CONTRACT SPECIFICATIONS UNLESS OTHERWISE SPECIFIED.
 - RCP STORM PIPE JOINTS AND WALL PENETRATIONS SHALL BE SEALED WITH BUTYL RUBBER JOINT SEALANT CONFORMING TO THE REQUIREMENTS OF ASTM C930, OR MORTAR AS PER NCDOT REQUIREMENTS OR BOTH.
 - STORM CATCH BASIN STRUCTURES ARE NOTED AS "CB #". AND SHALL CONFORM TO NCDOT STANDARD DRAWING 840.01 OR 840.02, WITH FRAME AND GRATES CONFORMING TO NCDOT STD. 840.03. FRAMES MUST BE MARKED AS SUCH, "DO NOT DUMP DRAINS TO STREAMS."
 - STORM DROP INLET STRUCTURES ARE NOTED AS "DI #". AND SHALL CONFORM TO NCDOT STD. 840.14 OR 840.15 WITH FRAME AND GRATES CONFORMING TO STD. 840.16. FRAMES MUST BE MARKED AS SUCH, "DO NOT DUMP DRAINS TO STREAMS."
 - STORM JUNCTION BOX STRUCTURES ARE NOTED AS "JB #". AND SHALL CONFORM TO NCDOT STD. 840.32 WITH MANHOLE RING AND COVER CONFORMING TO NCDOT STD. 840.54 OR CITY STD. SD 14-04. FRAMES MUST BE MARKED AS SUCH, "DO NOT DUMP DRAINS TO STREAMS."
 - STORM PIPE LENGTHS AND SLOPES ARE APPROXIMATE. STORM PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND UNIFORM GRADES.
 - EXISTING STORM DRAINAGE PIPE AND STRUCTURES SHALL BE INSPECTED BY THE CONTRACTOR PRIOR TO JOINING OR AMENDING EXISTING PIPES. ANY STRUCTURAL DEFICIENCIES SUCH AS PIPE CRACKS, WALL CRACKS, EXPOSED REBAR, ETC. SHALL BE REPORTED TO ENGINEER AS SOON AS NOTED.

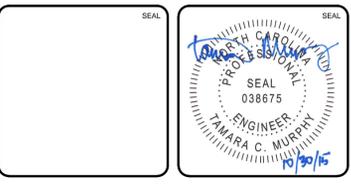
STORMWATER MANAGEMENT PLAN APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



REV NO.	DESCRIPTION	DATE
10	RE-ISSUED FOR CONSTRUCTION TO MCKIM & CREED (Memorandum covering Civil Revisions 10-11)	10/21/15
11	PARKING LOT STORM DRAINAGE - DESIGNER-SUBCONTRACTOR FIELD CHANGE	9/29/15
12	GARAGE-CORRIDOR STORM DRAINAGE, 2ND REVISION - RFI 43, 44 & 45	9/21/15
13	PARKING LOT STORM DRAINAGE - RFI 2 & 3	9/17/15
14	GARAGE-CORRIDOR STORM DRAINAGE - RFI 43, 44, & 45	9/17/15
15	STORM DRAIN PIPE REVISION (CB-1, CB-2, CB-4)	8/20/15
16	STORM INTERFERENCE STRUCTURE	7/23/15
17	ROOF DRAINAGE LEADERS REVISION	6/23/15
18	SLOTTED DRAIN REVISION	5/14/15
19	RE-ISSUED FOR CONSTRUCTION TO MCKIM & CREED (Memorandum covering Civil Revisions 2-11)	9/21/15
20	RE-ISSUED FOR CONSTRUCTION TO MCKIM & CREED (Memorandum covering Civil Revisions 2-8)	9/21/15
21	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/21/15



MCKIM & CREED
 243 North Front Street
 Wilmington, NC 28401
 Phone: (910)343-1048, Fax: (910)251-8282
 NC LICENSE F-1222
 www.mckimcreed.com

SYMPHONY properties
 Orchestrating REAL Solutions

SAWMILL POINT APARTMENTS
 1015 NUTT STREET
 WILMINGTON, NORTH CAROLINA

STORM DRAINAGE PLAN

DATE: 16 DEC 2014
 MCE PROJ.#: 06586-0001
 DRAWN: TCM/RAC
 DESIGNED: JBS/TCM/RAC
 CHECKED: JBS/RMC
 PROJ. MGR.: RMC

SCALE: HORIZONTAL: 1"=30'
 VERTICAL: 1"=30'

DATE: 16 DEC 2014
 MCE PROJ.#: 06586-0001
 DRAWN: TCM/RAC
 DESIGNED: JBS/TCM/RAC
 CHECKED: JBS/RMC
 PROJ. MGR.: RMC

STATUS: RE-ISSUED FOR CONSTRUCTION

METER BOX
SERIAL # 09710378
SERVICE LINE
CONNECTION UNKNOWN

ALMOUNT SHIPPING COMPANY
BOOK 1632, PAGE 113

WATER LINE CONNECTION
TO SECONDARY MARINA WATER PIPING
IF NECESSARY.

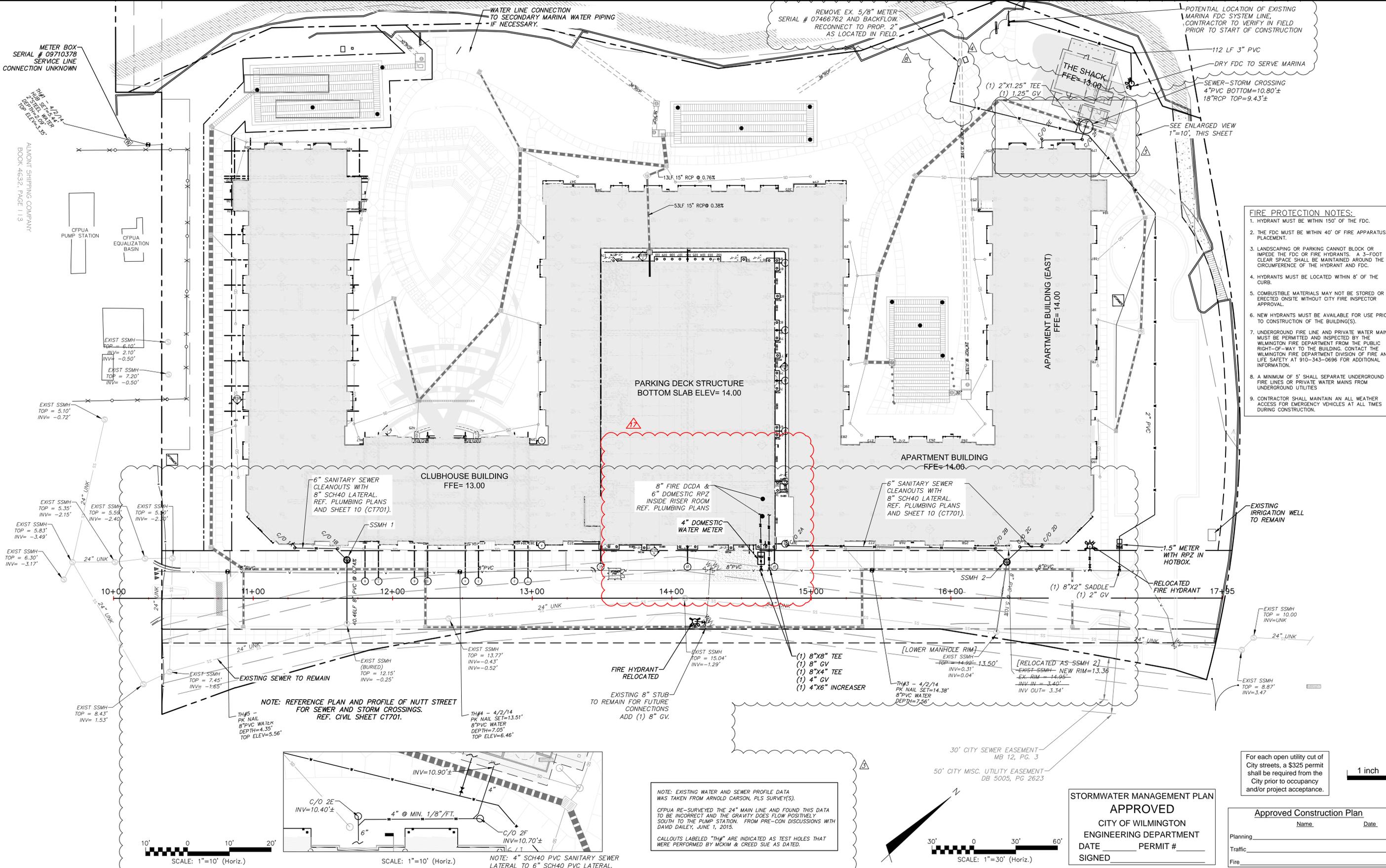
REMOVE EX. 5/8" METER
SERIAL # 07466762 AND BACKFLOW.
RECONNECT TO PROP. 2"
AS LOCATED IN FIELD.

POTENTIAL LOCATION OF EXISTING
MARINA FDC SYSTEM LINE,
CONTRACTOR TO VERIFY IN FIELD
PRIOR TO START OF CONSTRUCTION

112 LF 3" PVC
DRY FDC TO SERVE MARINA
SEWER-STORM CROSSING
4" PVC BOTTOM=10.80±
18" RCP TOP=9.43±

SEE ENLARGED VIEW
1"=10', THIS SHEET

- FIRE PROTECTION NOTES:**
1. HYDRANT MUST BE WITHIN 150' OF THE FDC.
 2. THE FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
 3. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
 4. HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
 5. COMBUSTIBLE MATERIALS MAY NOT BE STORED OR ERECTED ON-SITE WITHOUT CITY FIRE INSPECTOR APPROVAL.
 6. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDING(S).
 7. UNDERGROUND FIRE LINE AND PRIVATE WATER MAINS MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
 8. A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM UNDERGROUND UTILITIES.
 9. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.

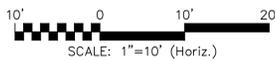


NOTE: REFERENCE PLAN AND PROFILE OF NUTT STREET FOR SEWER AND STORM CROSSINGS. REF. CIVIL SHEET CT701.

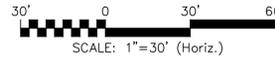
EXISTING 8" STUB TO REMAIN FOR FUTURE CONNECTIONS. ADD (1) 8" GV.

NOTE: EXISTING WATER AND SEWER PROFILE DATA WAS TAKEN FROM ARNOLD CARSON, PLS SURVEY(S).
CFPUA RE-SURVEYED THE 24" MAIN LINE AND FOUND THIS DATA TO BE INCORRECT AND THE GRAVITY DOES FLOW POSITIVELY SOUTH TO THE PUMP STATION. FROM PRE-CON DISCUSSIONS WITH DAVID DAILEY, JUNE 1, 2015.
CALLOUTS LABELED "TH#" ARE INDICATED AS TEST HOLES THAT WERE PERFORMED BY MCKIM & CREED SUE AS DATED.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



SCALE: 1"=10' (Horiz.)



SCALE: 1"=30' (Horiz.)

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____

Approved Construction Plan

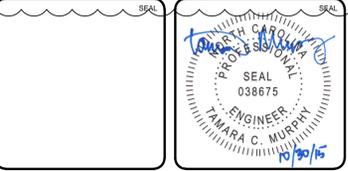
Name _____ Date _____

Planning _____

Traffic _____

Fire _____

NO.	DESCRIPTIONS	DATE
17	RE-ISSUED FOR CONSTRUCTION TO MCKIMLEY BUILDING (Memorandum covering Civil Revisions 5-16)	10/01/15
17	WATER METER LOCATION AND VERTICAL RISER	8/23/15
12	BACKFLOW DEVICES INSIDE RISER ROOM; REF. PLUMBING PLANS.	9/3/15
8	EX. MARINA METER CONNECTION	7/27/15
4	MARINA FDC REVISION PER CITY FIRE	6/24/15
3	WATER AND SEWER REVISIONS PER CFPUA PRE-CON AND ENGINEER'S DESIGN REVISIONS	6/2/15
NA	RE-ISSUED FOR CONSTRUCTION TO THE HOUSING STUDIO (Memorandum covering Civil Revisions 2-1)	9/22/15
NA	RE-ISSUED FOR CONSTRUCTION TO MCKIMLEY BUILDING (Memorandum covering Civil Revisions 2-6)	7/15/15
1	ISSUED FOR CONSTRUCTION TO MCKIMLEY BUILDING	4/16/15



MCKIM & CREED

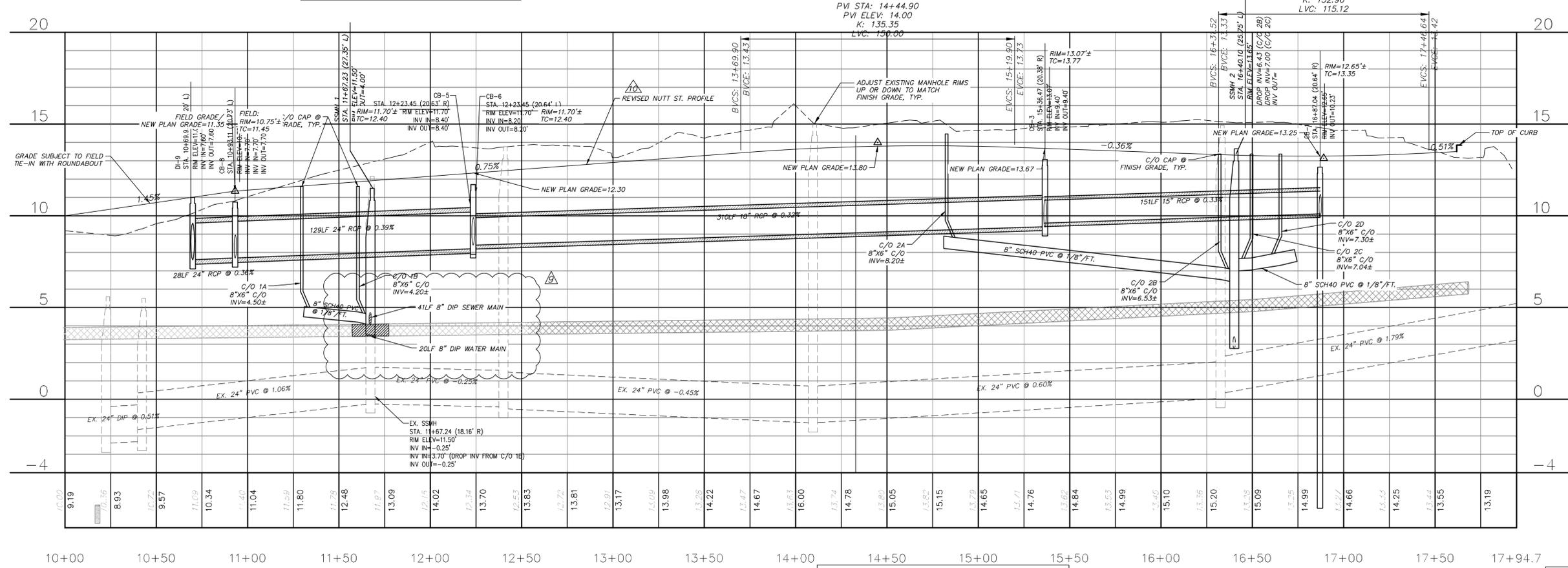
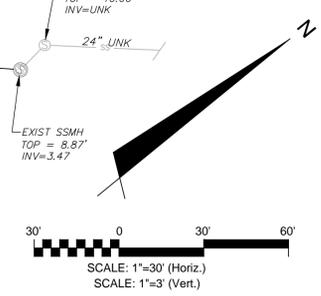
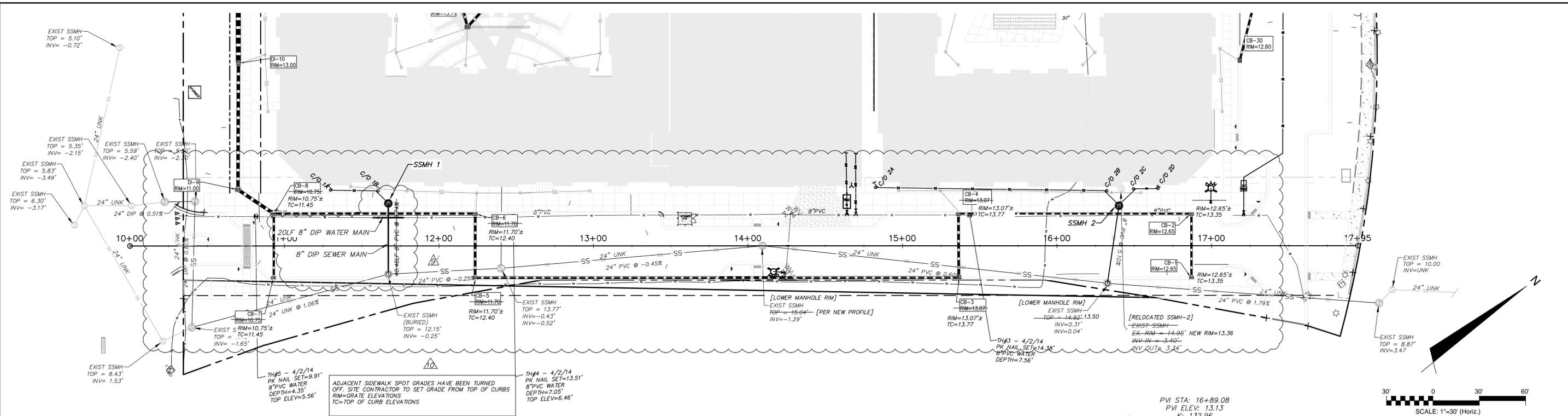
243 North Front Street
Wilmington, NC 28401
Phone: (910)343-1048, Fax: (910)251-8282
NC LICENSE F-1222
www.mckimcreed.com

SYMPHONY properties
Orchestrating REAL Solutions

SAWMILL POINT APARTMENTS
1015 NUTT STREET
WILMINGTON, NORTH CAROLINA

UTILITY PLAN

DATE: 16 DEC 2014	SCALE: HORIZONTAL: 1"=30'	MFC FILE NUMBER: CU101
MCE PROJ. #: 06586-0001	VERTICAL: 1"=30'	DRAWING NUMBER: 9
DRAWN: JBS/TMCRAC		
DESIGNED: JBS/TMCRAC		
CHECKED: JBS/RMC		
PROJ. MGR.: RMC		
STATUS: RE-ISSUED FOR CONSTRUCTION		



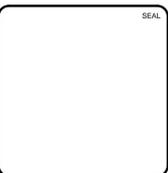
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

1 inch

STORMWATER MANAGEMENT PLAN APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

REV NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/23/15
2	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/23/15
3	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/23/15
4	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/23/15
5	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/23/15
6	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/23/15
7	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/23/15
8	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/23/15
9	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/23/15
10	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/23/15



MCKIM & CREED
 243 North Front Street
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SAWMILL POINT APARTMENTS
 1015 NUTT STREET
 WILMINGTON, NORTH CAROLINA
NUTT STREET ROADWAY PROFILE

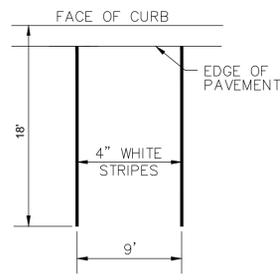
DATE: 16 DEC 2014
 MCE PROJ #: 06586-001
 DRAWN: TCM/RAC
 DESIGNED: JBS/TCM/RAC
 CHECKED: JBS/RMC
 PROJ. MGR.: RMC

SCALE: HORIZONTAL: 1"=30'
 VERTICAL: 1"=3'

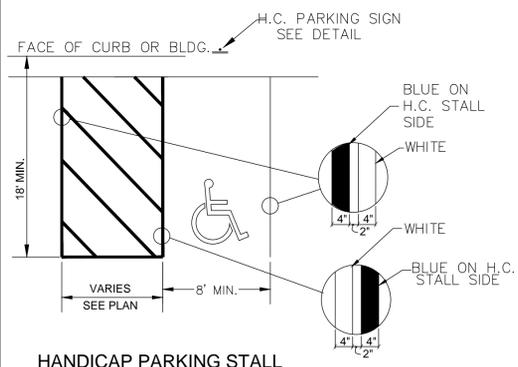
MAC FILE NUMBER: CT701
 DRAWING NUMBER: 10

STATUS: RE-ISSUED FOR CONSTRUCTION

S:\6586\001\00-Drawings\CT701_06586-001.dwg, 10/30/2015 1:35:43 PM, Murphy

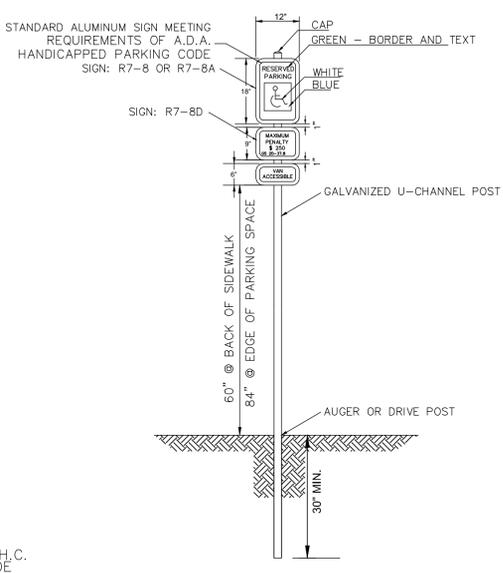


TYPICAL PARKING STALL
NOT TO SCALE

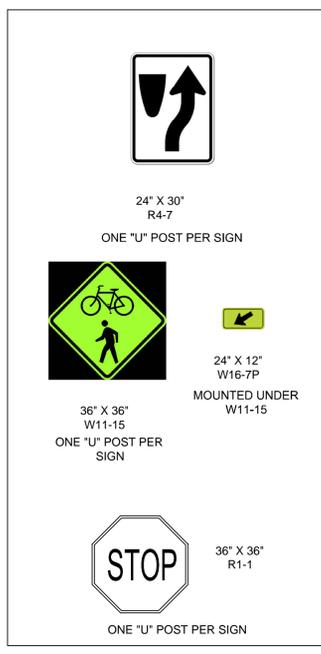


HANDICAP PARKING STALL
NOT TO SCALE

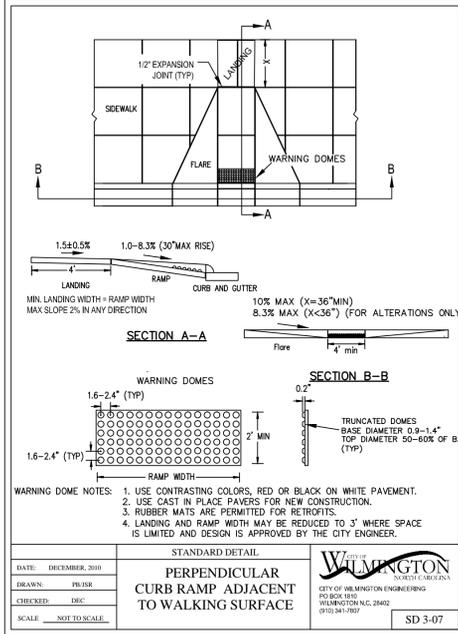
1 PARKING STRIPING & HANDICAP DETAILS
CS501 NOT TO SCALE



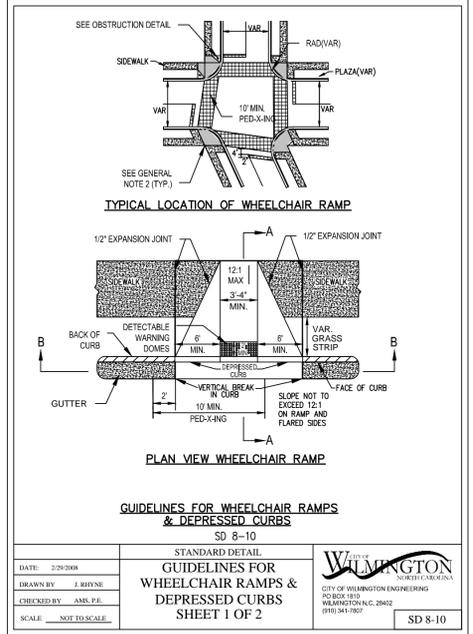
HANDICAP PARKING SIGN
NOT TO SCALE



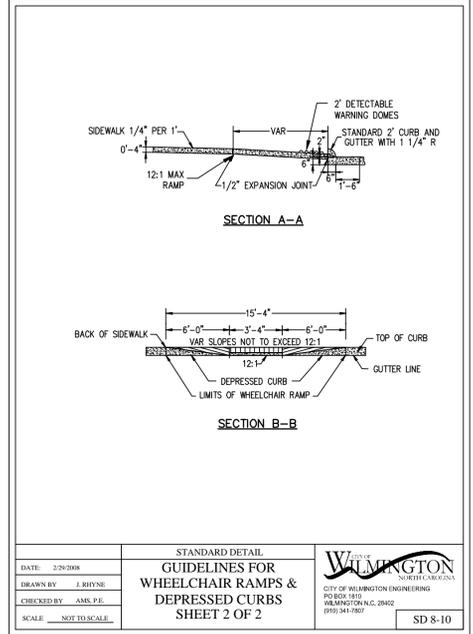
9 NCDOT ROAD SIGN DETAILS
CS501 NOT TO SCALE



PERPENDICULAR CURB RAMP ADJACENT TO WALKING SURFACE
SD 3-07

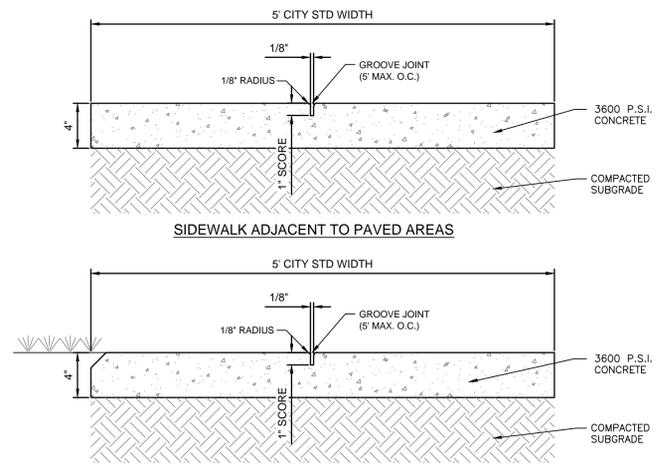


GUIDELINES FOR WHEELCHAIR RAMP & DEPRESSED CURBS
SHEET 1 OF 2
SD 8-10



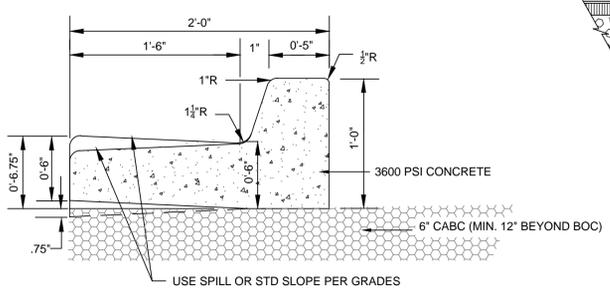
GUIDELINES FOR WHEELCHAIR RAMP & DEPRESSED CURBS
SHEET 2 OF 2
SD 8-10

7 STANDARD CITY HANDICAP RAMP DETAILS
CS501 NOT TO SCALE

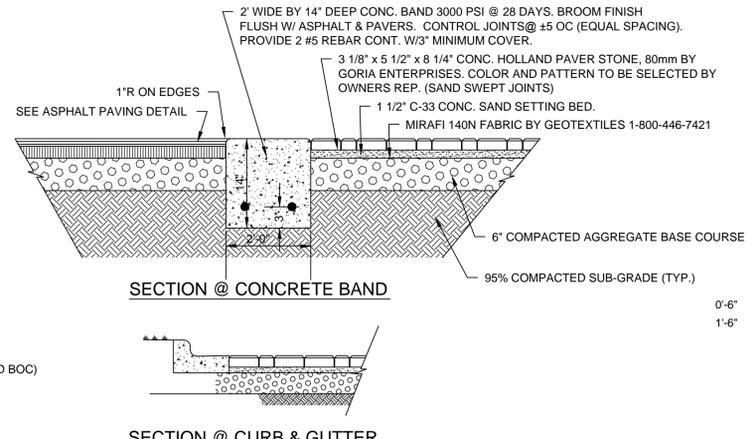


- NOTES:**
- A GROOVE JOINT 1" DEEP WITH 1/8" RADII SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS.
 - ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 30' INTERVALS.
 - A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK ABUTS ANY CURB AND GUTTER AND ANY RIGID STRUCTURES.
 - IN SIDEWALKS AND PLAZA AREAS EXPANSION JOINTS ARE REQUIRED AT NO GREATER THAN 30' INTERVALS.
 - CONCRETE SHALL BE 3600 PSI. IN 28 DAYS.

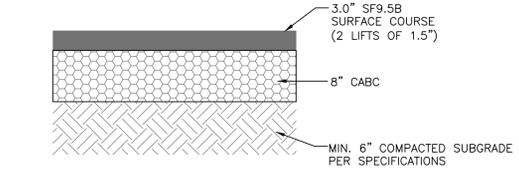
2 CONCRETE SIDEWALK SECTION
CS501 NOT TO SCALE (COW SD 8-15)



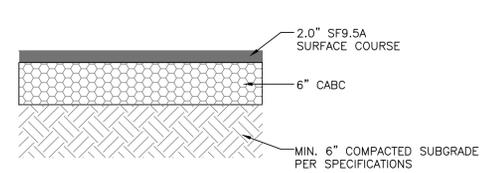
5 STANDARD 24" CURB & GUTTER (TYPE A)
CS501 NOT TO SCALE (COW SD 7-01 & SD 1-02)



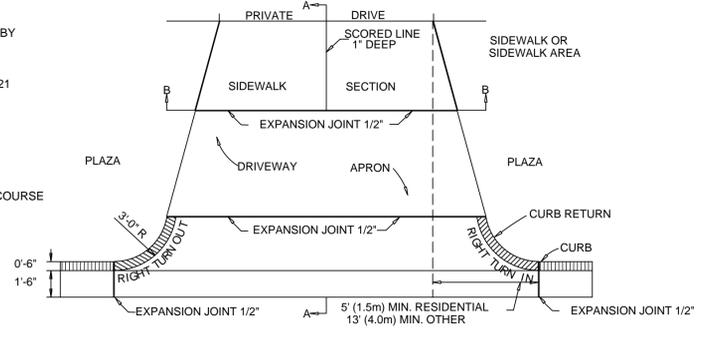
8 BRICK PAVER CROSSWALK
CS501 NOT TO SCALE (COW SD 8-16)



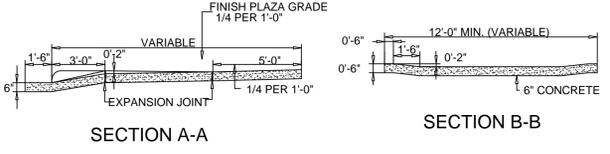
3 NUTT STREET ASPHALT PAVEMENT SECTION
CS501 NOT TO SCALE



4 PARKING LOT PAVEMENT SECTION
CS501 NOT TO SCALE



PAVEMENT PLAN



6 STANDARD CONCRETE DRIVEWAY
CS501 NOT TO SCALE (COW SD 8-02)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

STORMWATER MANAGEMENT PLAN APPROVED

CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE _____ PERMIT # _____

SIGNED _____

REV NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
2	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
3	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
4	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
5	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
6	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
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8	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
9	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15
10	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	10/20/15



MCKIM & CREED

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SYMPHONY properties
Orchestrating REAL Solutions

SAWMILL POINT APARTMENTS
1015 NUTT STREET
WILMINGTON, NORTH CAROLINA

SITE DETAILS

DATE: 16 DEC 2014
MCE PROJ. #: 06586-0001
DRAWN: TCM/RAC
DESIGNED: JBS/TCM/RAC
CHECKED: JBS/RMC
PROJ. MGR.: RMC

SCALE: HORIZONTAL: N/A, VERTICAL: 1/4" PER 1'-0"

MAC FILE NUMBER: CS501
DRAWING NUMBER: 11

STATUS: RE-ISSUED FOR CONSTRUCTION

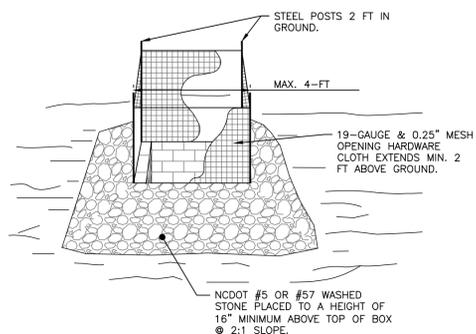
VEGETATION PLAN SPECIFICATIONS

- ALL DISTURBED AREAS SHALL BE DRESSED TO THE EXISTING TYPICAL SECTION AND TILLED OR RIPPED TO A MIN. DEPTH OF 4-INCHES. THE TOP 2 INCHES SHALL BE PULVERIZED TO PROVIDE A UNIFORM SEEDBED.
- LIME AND FERTILIZER SHOULD BE INCORPORATED INTO THE SOIL PRIOR TO SEEDING OR SOD. FOLLOW SOIL TESTS OR AS FOLLOWS:
 AGRICULTURAL LIMESTONE - 2 TONS/ACRE
 FERTILIZER - 1000 LBS/ACRE (10-10-10)
 SUPERPHOSPHATE - 500 LBS/ACRE (20%)
 MULCH - 2 TONS/ACRE (SMALL GRAIN STRAW)
 ANCHOR - ASPHALT EMULSION AT 450 GAL/ACRE
- FOR OPEN AREAS, USE STRAW MULCH AS A MINIMUM FOR STABILIZATION IF THE AREAS CANNOT BE SEEDING ACCORDING TO THE PLANTING DATES. OTHER MULCHING PRACTICES ARE LISTED IN SECTION 6.14 OF THE EROSION CONTROL MANUAL FOR MULCHING.
- FOR DITCHES AND SLOPES, USE EXCELSIOR MATTING AS A MINIMUM FOR STABILIZATION IF THE AREAS CANNOT BE SEEDING ACCORDING TO THE PLANTING DATES. OTHER MATTING PRACTICES ARE LISTED IN SECTION 6.14 OF THE EROSION CONTROL MANUAL FOR MULCHING.
- CHEMICAL STABILIZERS MAY BE USED, BUT IT IS NOT RECOMMENDED FOR VEGETATION GROWTH. REFER TO THE EROSION CONTROL MANUAL FOR A LIST OF STABILIZERS AND FOLLOW MANUFACTURER'S SPECIFICATIONS.
- THE FOLLOWING TABLES ARE REFERENCED FROM NC EROSION CONTROL MANUAL SEC. 6.10 AND 6.11, AND THE STABILIZATION TABLE IS REFERENCED FROM NPDES NCG 010000.

TEMPORARY SEEDING			
GRASS TYPE	AMOUNT/1000 S.F.	TIME OF SEEDING	INITIAL
RYE GRAIN	1-2 LBS.	APRIL - JUNE	25 LBS. 10-10-10
BROWNTOP MILLET	1-2 LBS	JUNE - AUGUST	25 LBS 10-10-10

PERMANENT SEEDING			
GRASS TYPE	AMOUNT/1000 S.F.	TIME OF SEEDING	INITIAL
BERMUDA COMMON	1-2 LBS.	APRIL - JUNE	25 LBS. 10-10-10
FESCUE TALL (KENTUCKY 31)	5-7 LBS	JUNE - AUGUST FEB. - OCT.	25 LBS 10-10-10
SERICEA LESPEDEZA (SLOPES)	1-2 LBS	MARCH - APRIL	25 LBS 10-10-10

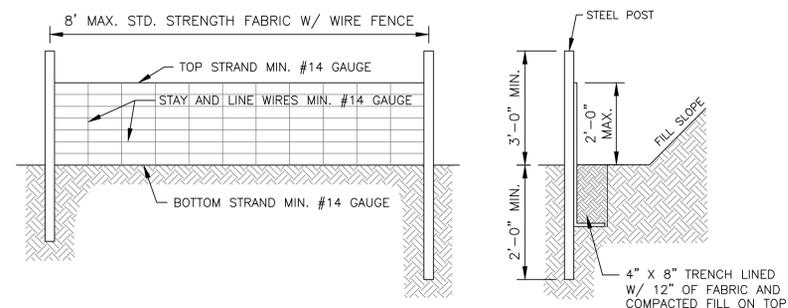
GROUND STABILIZATION CRITERIA		
SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10 FT OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FT IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)



- NOTES:**
- DRIVE 5-FOOT STEEL POSTS (1.25 lb/ft steel) 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
 - SURROUND THE POSTS WITH AT LEAST 19-GAUGE HARDWARE CLOTH WITH A 1/4-INCH MESH OPENING. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM FOR A MIN. 2 FEET ABOVE THE GROUND. PLACING A 2-FOOT FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING AND REMOVAL IS RECOMMENDED.
 - UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET. THE TOP ELEVATION OF THE STRUCTURE MUST BE AT LEAST 12-INCHES LOWER THAN THE SURROUNDING GROUND ELEVATION DOWNSLOPE FROM THE INLET TO ENSURE THAT STORM FLOWS GET INTO THE INTENDED INLET; UNLESS OTHER SEDIMENT-CONTROL DEVICES ARE INSTALLED TO PREVENT OFF-SITE SEDIMENT-RUNOFF.
- ALTERNATE MEASURE:
 THE USE OF INLET SACK BAGS OR PYRAMID SHAPED STEEL STRUCTURES MAY BE USED AS AN ALTERNATE MEASURE DEVICE. CONTACT TRIANGLE STORMWATER SOLUTIONS OR OTHER MANUFACTURERS.

TEMPORARY INLET PROTECTION

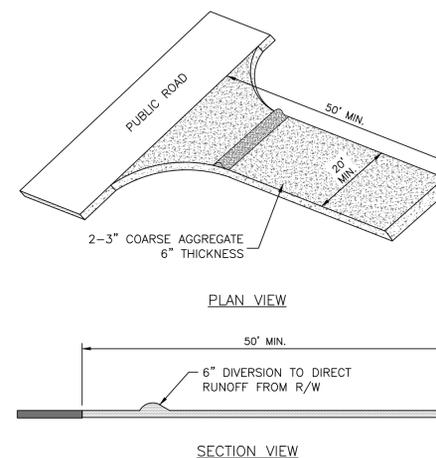
NOT TO SCALE
 NCDENR PRACTICE STD. 6.51



- NOTES:**
- WIRE FENCE (IF USED) SHALL BE MINIMUM 14 GAUGE WITH A MAXIMUM MESH OPENING OF 6-INCHES.
 - SYNTHETIC FILTER FABRIC OF AT LEAST 95% BY WEIGHT OF POLYOLEFIN'S OR POLYESTER, WHICH IS CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE REQUIREMENTS IN ASTM D 6461 AND ALSO SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS ACCORDING TO ASTM D 4355.
 - SEE THE NC EROSION CONTROL MANUAL FOR SPECIFICATIONS INSTALLING SEDIMENT FENCE USING THE SLICING METHOD MACHINERY.

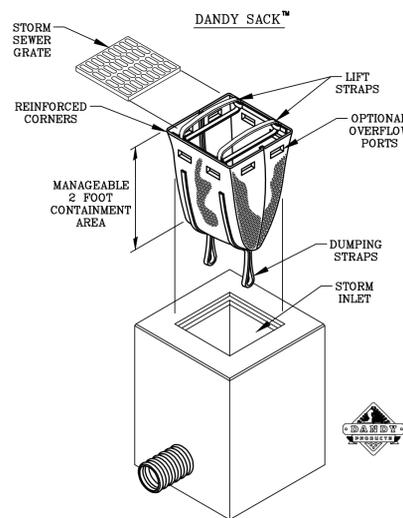
TEMPORARY SILT FENCE

NOT TO SCALE
 NCDENR PRACTICE STD. 6.62



TEMPORARY CONSTRUCTION ENTRANCE

NOT TO SCALE
 NCDENR PRACTICE STD. 6.06



NOTE: THE DANDY SACK™ WILL BE MANUFACTURED IN THE U.S.A. FROM A NON MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

REGULAR FLOW DANDY SACK™ (BLACK)				
Mechanical Properties	Test Method	Units	MARV	
Grab Tensile Strength	ASTM D 4832	kn (lbf)	1.78 (400)	1.40 (315)
Grab Tensile Elongation	ASTM D 4832	%	15	11
Puncture Strength	ASTM D 4833	kn (lbf)	0.67 (150)	
Mullen Burst Strength	ASTM D 3786	kPa (psi)	5506 (800)	
Trapezoid Tear Strength	ASTM D 4533	kn (lbf)	0.67 (150) x 0.75 (168)	
UV Resistance	ASTM D 4355	%	90	
Apparent Opening Size	ASTM D 4753	mm (US Std. Sieve)	0.425 (40)	
Flow Rate	ASTM D 4491	l/min/m² (gal/min/ft²)	2852 (70)	
Permittivity	ASTM D 4491	Sec⁻¹	0.90	

HI-FLOW DANDY SACK™ (SAFETY ORANGE)				
Mechanical Properties	Test Method	Units	MARV	
Grab Tensile Strength	ASTM D 4832	kn (lbf)	1.62 (365)	0.89 (200)
Grab Tensile Elongation	ASTM D 4832	%	24	10
Puncture Strength	ASTM D 4833	kn (lbf)	0.48 (100)	
Mullen Burst Strength	ASTM D 3786	kPa (psi)	3097 (450)	
Trapezoid Tear Strength	ASTM D 4533	kn (lbf)	0.91 (115) x 0.53 (75)	
UV Resistance	ASTM D 4355	%	90	
Apparent Opening Size	ASTM D 4753	mm (US Std. Sieve)	0.425 (40)	
Flow Rate	ASTM D 4491	l/min/m² (gal/min/ft²)	5907 (145)	
Permittivity	ASTM D 4491	Sec⁻¹	2.1	

*Note: All Dandy Sacks™ can be ordered with our optional oil absorbent pillows

TEMPORARY DANDY SACK® INLET PROTECTION

NOT TO SCALE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

1 inch

Approved Construction Plan

Name _____ Date _____

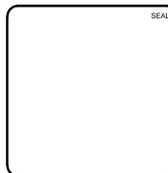
Planning _____

Traffic _____

Fire _____

STORMWATER MANAGEMENT PLAN
APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____

REV. NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/2/15
2	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/2/15
3	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/2/15
4	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/2/15
5	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/2/15
6	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/2/15
7	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/2/15
8	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/2/15
9	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/2/15
10	ISSUED FOR CONSTRUCTION TO MCKIM & CREED	4/2/15



MCKIM & CREED
 243 North Front Street
 Wilmington, NC 28401
 Phone: (910)343-1048, Fax: (910)251-8282
 NC LICENSE F-1222
 www.mckimcreed.com

SYMPHONY properties
 Orchestrating REAL Solutions

SAWMILL POINT APARTMENTS
 1015 NUTT STREET
 WILMINGTON, NORTH CAROLINA

SEDIMENT & EROSION CONTROL DETAILS

DATE:	16 DEC 2014
MCE PROJ. #	06586-0001
DRAWN	TCM/RAC
DESIGNED	JBS/TCM/RAC
CHECKED	JBS/RMC
PROJ. MGR.	RMC

SCALE	HORIZONTAL:	VERTICAL:
	N/A	N/A
M/C FILE NUMBER	CE501	
DRAWING NUMBER	14	
REVISION	RE-ISSUED FOR CONSTRUCTION	



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 333 West Trade Street, Suite 300
 Charlotte, NC 28202
 T: 704.333.7862 F: 704.343.9380



SAWMILL POINT
 WILMINGTON, NORTH CAROLINA

SAWMILL POINT
 WILMINGTON, NORTH CAROLINA

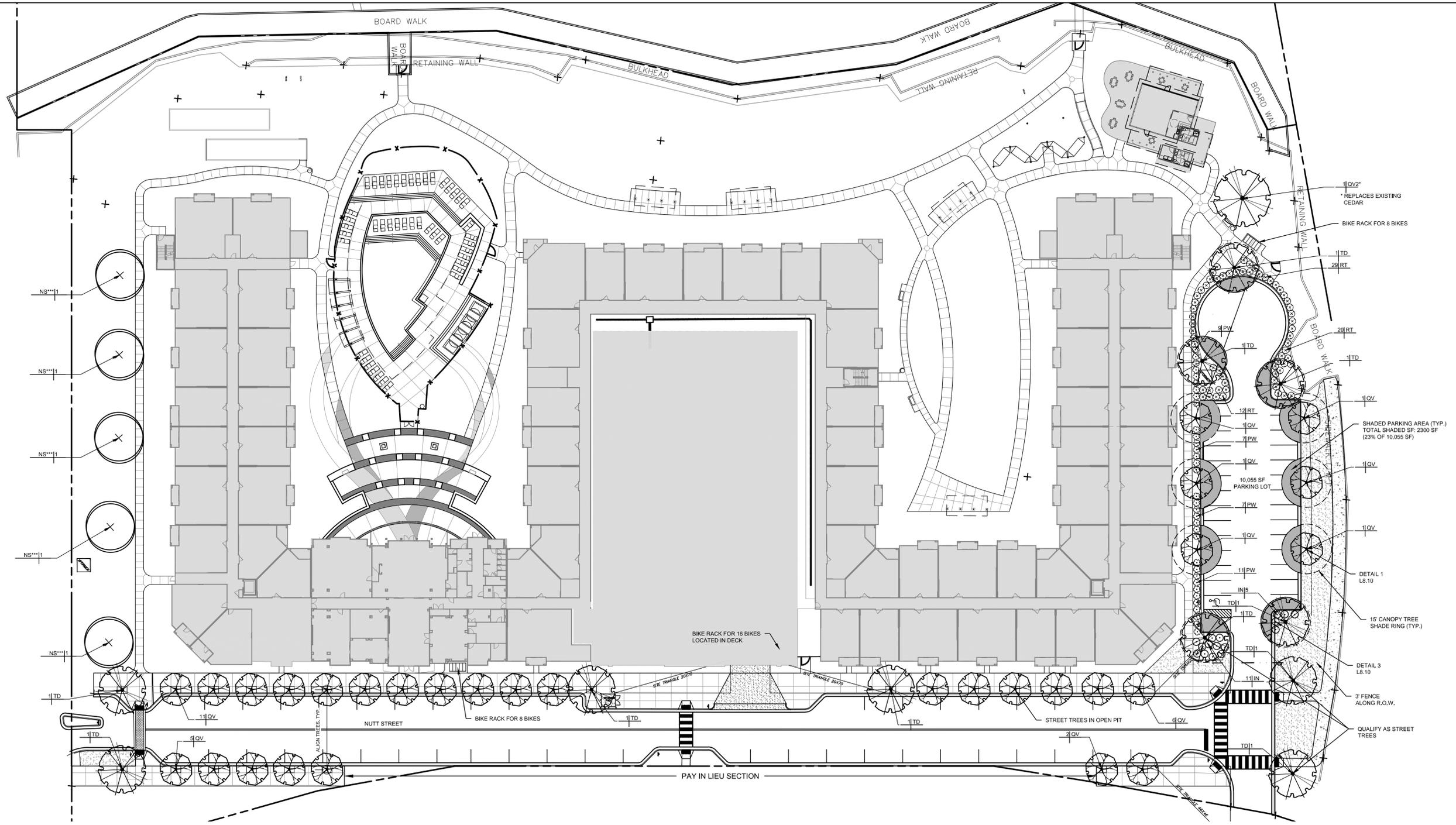


Project No: 1321
 Issue Date: 23 January 2015
 Issued For: CONSTRUCTION
 07.10.15 ISSUE TO GC
 10.30.15 TRANSFORMER
 ADJUSTMENT

Key Plan

LANDSCAPE PLAN

L8.00



CBD - STREET TREES - NUTT STREET

LENGTH OF STREET FRONTAGE	REQUIRED	PROVIDED
WEST: 660 LINEAR FEET*	22 (1 PER 30 LF)	22
EAST: 265 LINEAR FEET**	9 (1 PER 30 LF)	9

*LINEAR FOOTAGE DOES NOT INCLUDE DRIVEWAY
 ** LINEAR FOOTAGE DOES NOT INCLUDE PAY IN LIEU SECTION BETWEEN PROPOSED SIDEWALKS

PLANT SCHEDULE

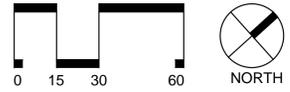
CANOPY TREES:

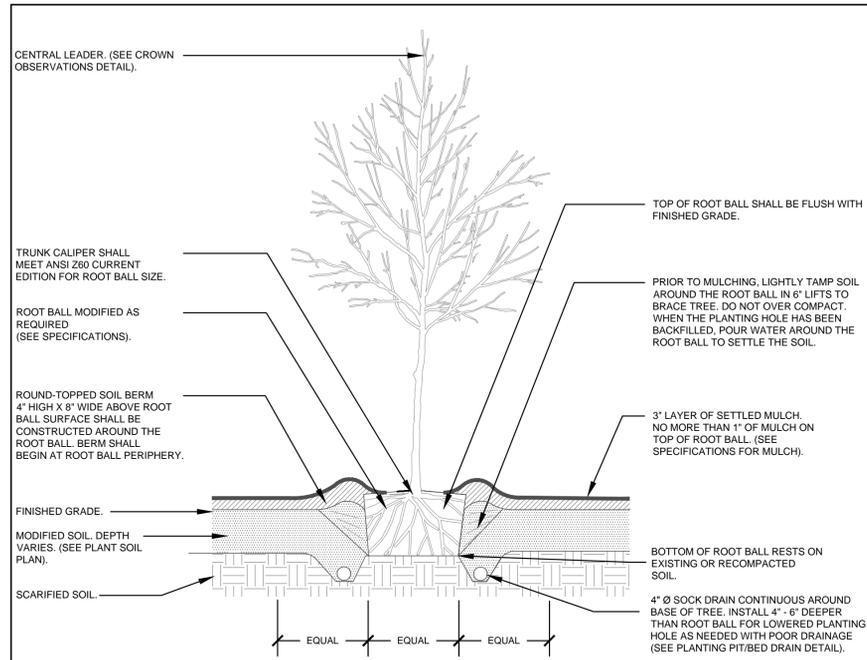
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	ROOT	SPACING	REMARKS
QV	30	Quercus virginiana 'High Rise'	High Rise Live Oak	2.5" CAL		B&B	As Shown	
TD	11	Taxodium distichum 'Autumn Gold'	Bald Cypress	2.5" CAL		B&B	As Shown	
QV2	1	Quercus virginiana	Southern Live Oak	2.5" CAL		B&B	As Shown	
NS**	5	Nyssa sylvatica	Sour Gum	2.5" CAL		B&B	As Shown	

***5 TREES TO MITIGATE THE REMOVAL OF THE CEDAR AS REQUIRED

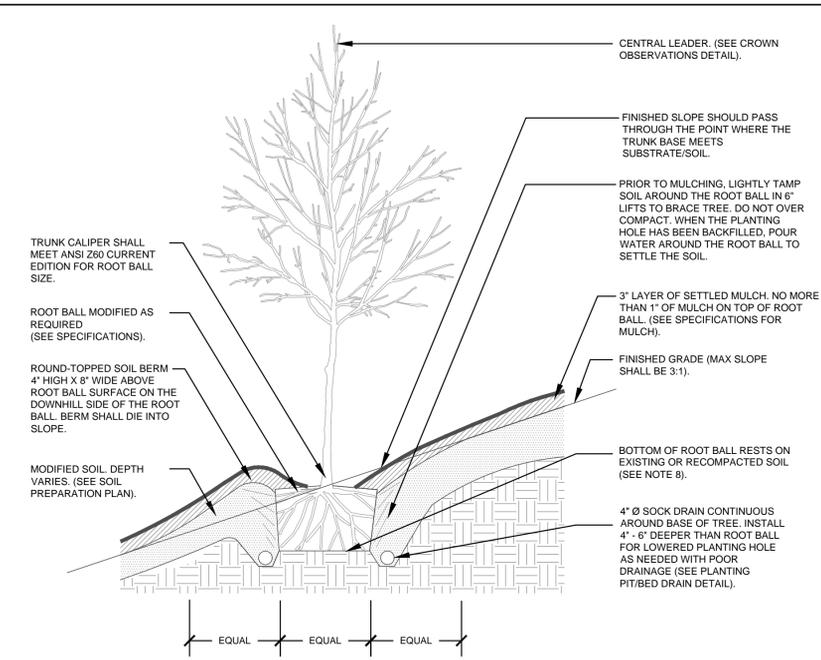
SHRUBS:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	ROOT	SPACING	REMARKS
PW	34	Pittosporum tobira 'Wheeler's Dwarf'	Dwarf Pittosporum		18" MIN	CONT	As Shown	
IN	16	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly		36" MIN	CONT	As Shown	Parking Screening
RT	61	Rhaphiolepis umbellata 'Eleanor Tabor'	Indian Hawthorne		18" MIN	CONT	As Shown	

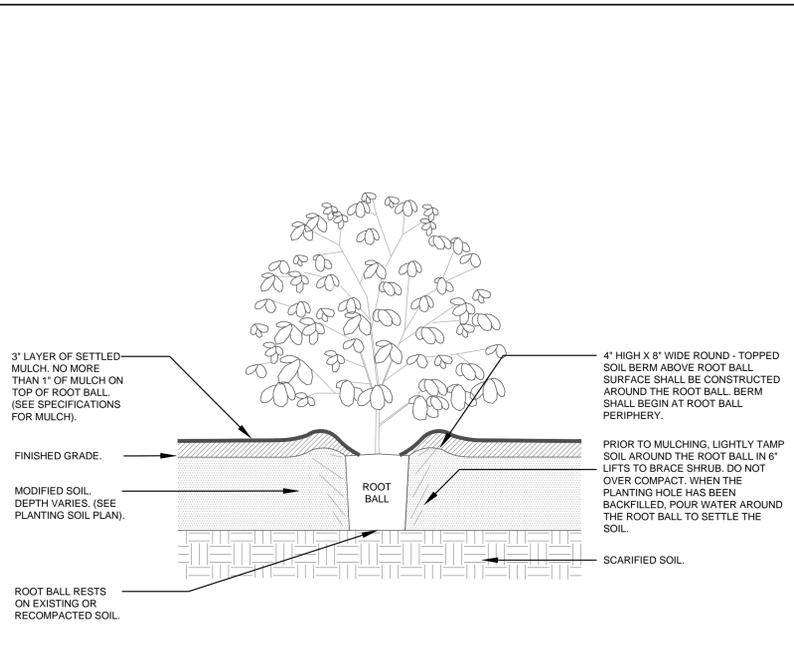




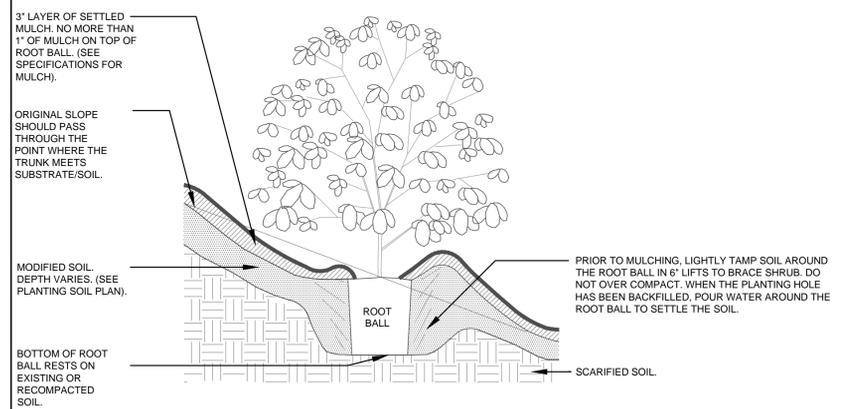
1 | TREE (TYPICAL)
NOT TO SCALE SECTION



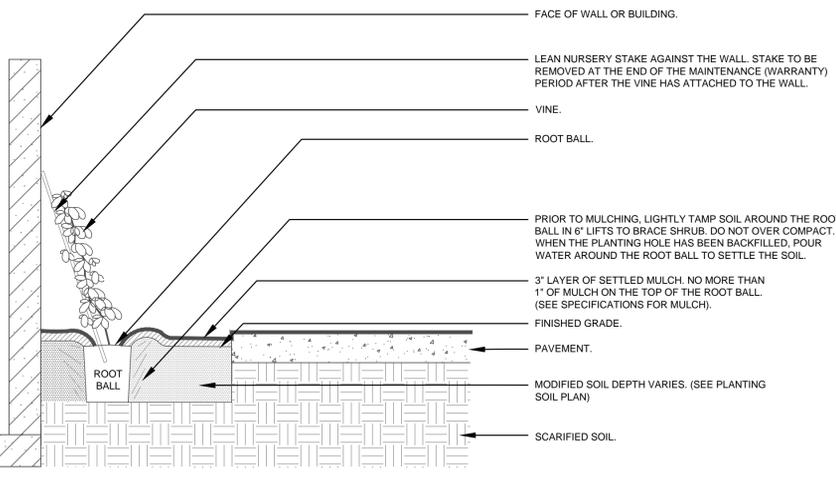
2 | TREE ON SLOPE (TYPICAL)
NOT TO SCALE SECTION



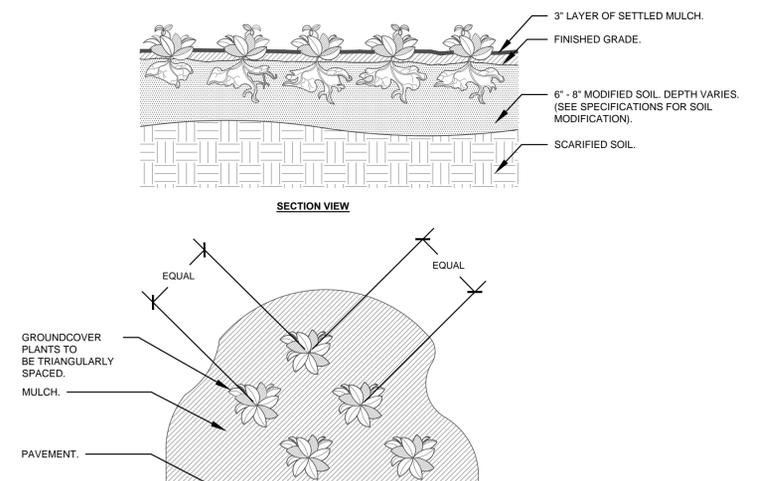
3 | SHRUB (TYPICAL)
NOT TO SCALE SECTION



4 | SHRUB ON SLOPE (TYPICAL)
NOT TO SCALE SECTION



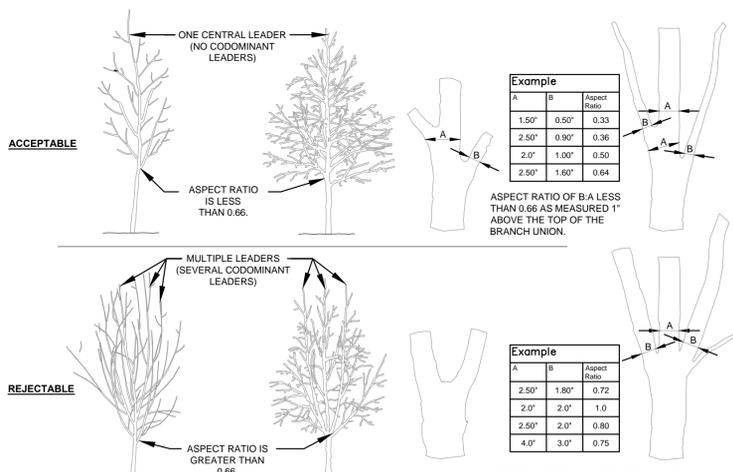
5 | VINE (TYPICAL)
NOT TO SCALE SECTION



6 | GROUNDCOVER PLANTING (TYPICAL)
NOT TO SCALE SECTION

PLANTING NOTES:

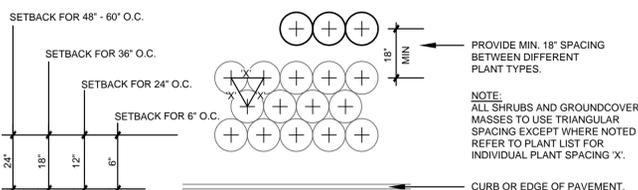
- DO NOT STAKE TREES EXCEPT WHERE SPECIFIED BY LANDSCAPE ARCHITECT. STAKING IS REQUIRED FOR TREES PLANTED ON SLOPES.
- WHERE SEVERAL TREES WILL BE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE, TILL IN SOIL AMENDMENTS TO A DEPTH OF 4-6\"/>



7 | CROWN OBSERVATIONS - HIGH BRANCHED
NOT TO SCALE SECTION

NOTES:

- SEE PLANTING LEGEND FOR GROUNDCOVER SPECIES, SIZE AND SPACING DIMENSION.
- SMALL ROOTS (1/2\"/>



8 | SHRUB AND GROUNDCOVER SPACING
NOT TO SCALE SECTION



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SAWMILL POINT
WILMINGTON, NORTH CAROLINA



Project No: 1321
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07.10.15 ISSUE TO GC
09.22.15 RE-ISSUED TO GC

Key Plan

LANDSCAPE DETAILS



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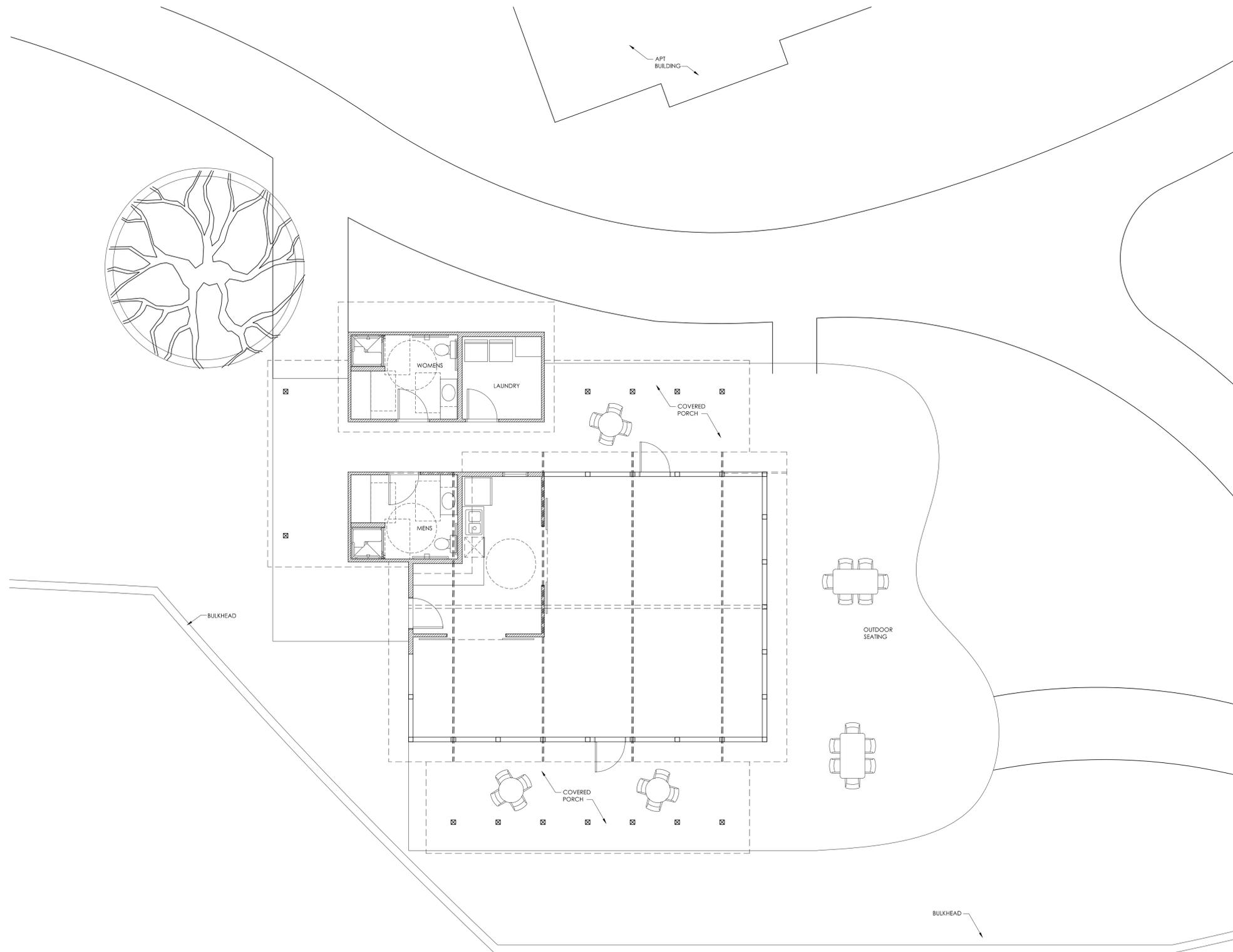


Project No: 1321
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CONSTRUCTION

Key Plan

SHACK SITE PLAN

SK1.0



1 SHACK SITE PLAN
3/16" = 1'-0"



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3 OVERALL SOUTH ELEVATION KEY (NORTH - O.H.)
 1/16" = 1'-0"



2 OVERALL EAST ELEVATION KEY - NORTH END
 1/16" = 1'-0"



1 OVERALL EAST ELEVATION KEY - SOUTH END
 1/16" = 1'-0"

SAWMILL POINT
 WILMINGTON, NORTH CAROLINA



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Key Plan

ELEVATIONS



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Key Plan

ELEVATIONS



2 OVERALL WEST ELEVATION KEY - SOUTH END
1/16" = 1'-0"



1 OVERALL WEST ELEVATION KEY - NORTH END
1/16" = 1'-0"



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4 OVERALL SOUTH ELEVATION KEY - SEGMENT E (COURTYARD)
 1/16" = 1'-0"



3 OVERALL NORTH ELEVATION KEY - SEGMENT D & C (COURTYARD)
 1/16" = 1'-0"



2 OVERALL SOUTH ELEVATION KEY - SEGMENT C (COURTYARD)
 1/16" = 1'-0"



1 OVERALL NORTH ELEVATION KEY - SEGMENT A (COURTYARD)
 1/16" = 1'-0"

Key Plan

ELEVATIONS



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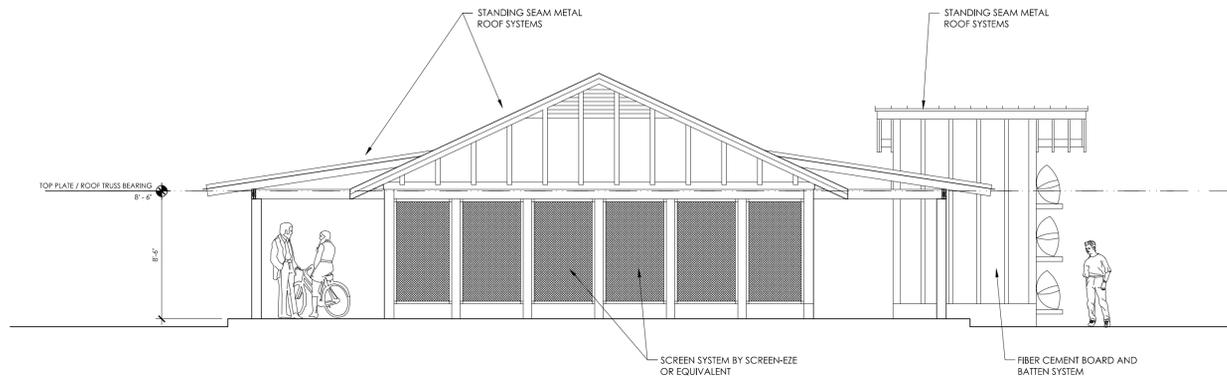


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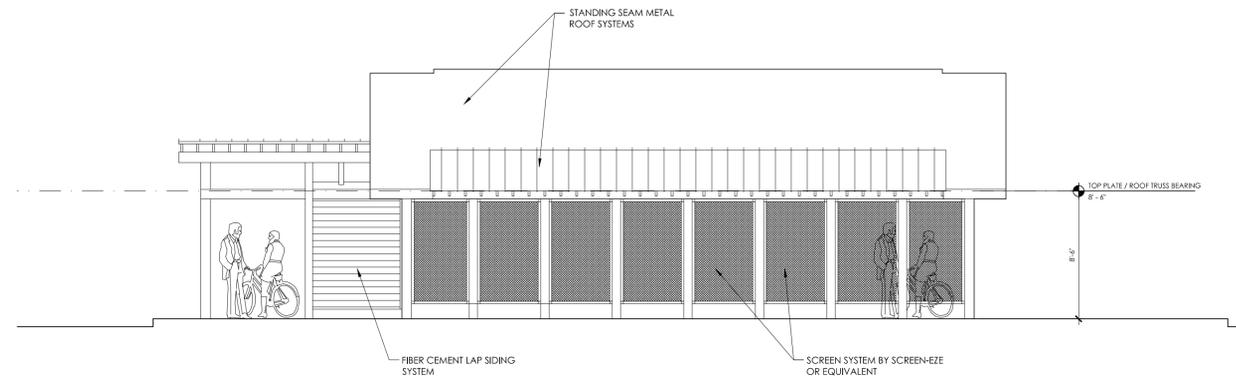
Key Plan

SHACK ELEVATIONS

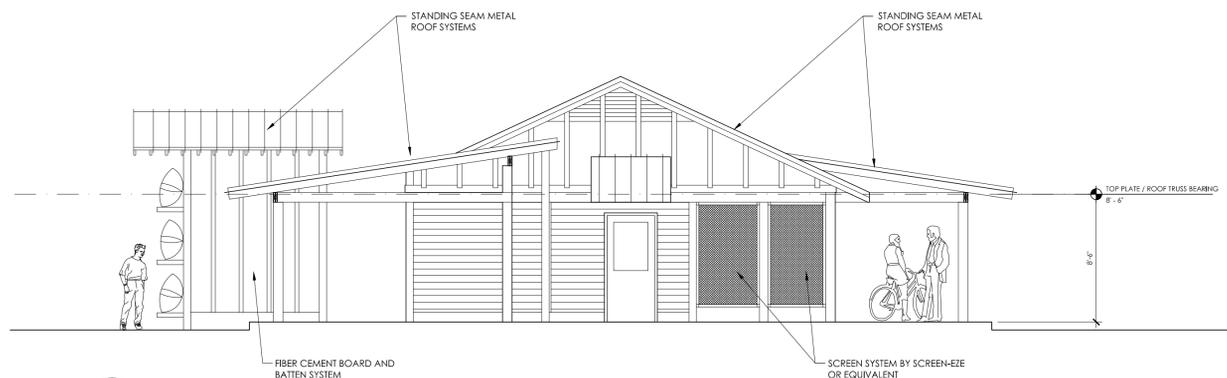
SK1.2



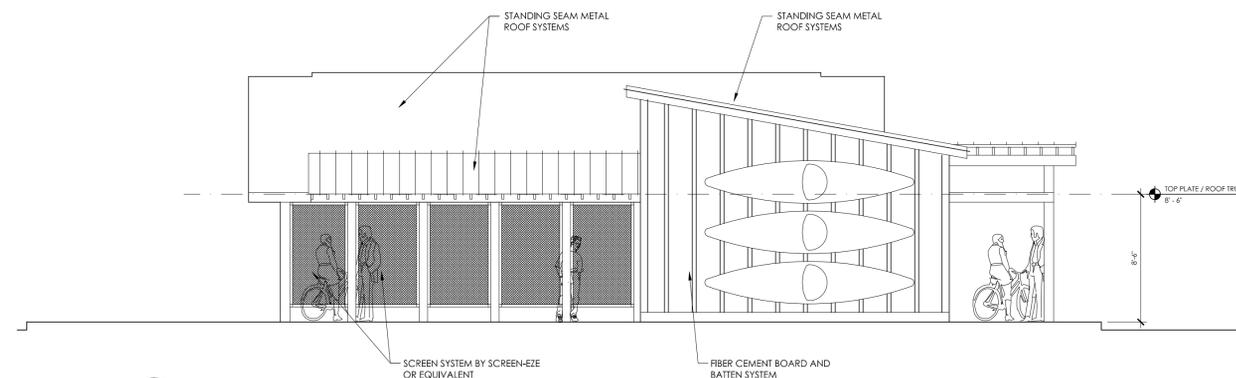
4 SAWMILL SHACK - SOUTH ELEVATION
3/16" = 1'-0"



2 SAWMILL SHACK - WEST ELEVATION
3/16" = 1'-0"



3 SAWMILL SHACK - NORTH ELEVATION
3/16" = 1'-0"



1 SAWMILL SHACK - EAST ELEVATION
3/16" = 1'-0"



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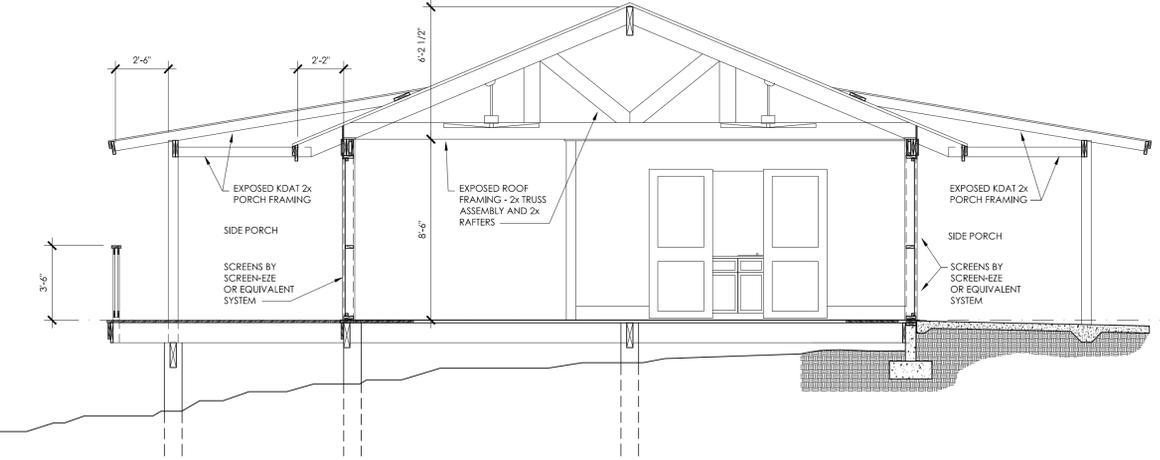


Project No: 1321
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Issued For: PERMIT-FOR
CONSTRUCTION

Key Plan

SHACK BUILDING
SECTION & WALL
SECTIONS

SK1.3



1 SHACK BUILDING SECTION
1/4" = 1'-0"