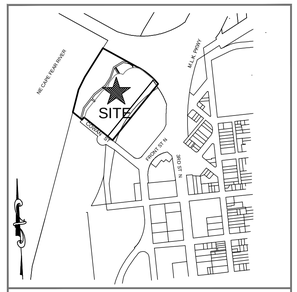


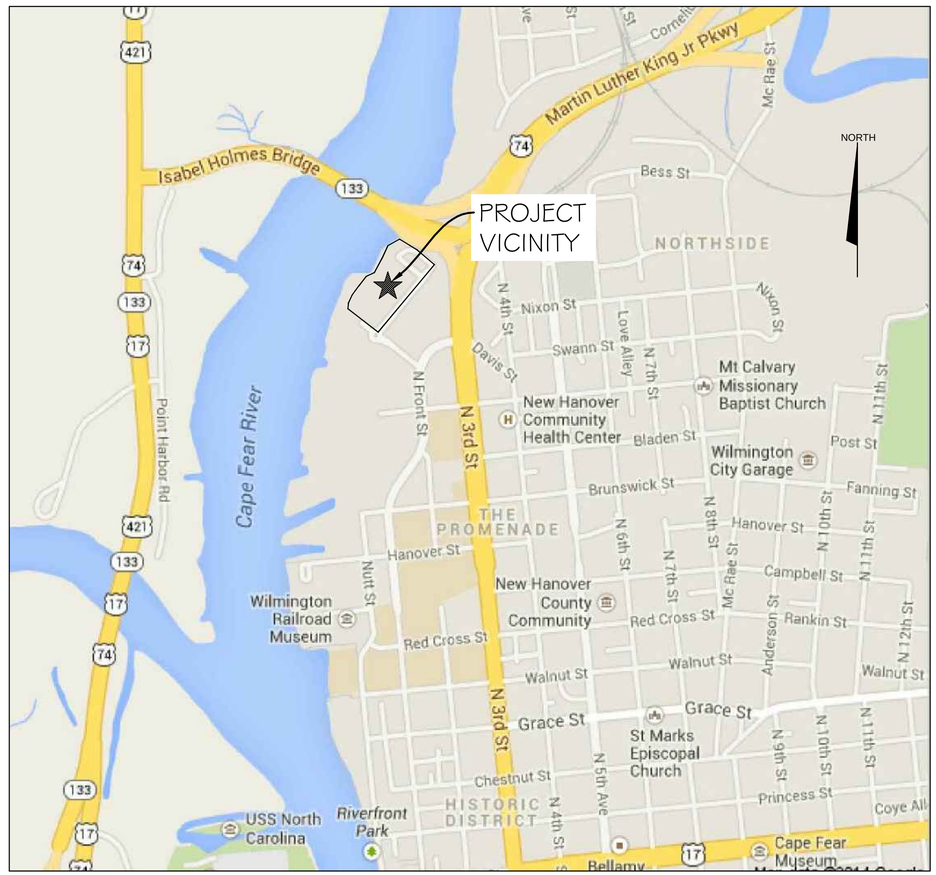
VICINITY MAP
N.T.S.

SAWMILL POINT APARTMENTS

1015 NUTT ST.
WILMINGTON, NORTH CAROLINA

CITY OF WILMINGTON
TRC CONSTRUCTION RELEASE SET

MARCH 9, 2015



REF. GOOGLE MAP IMAGES ONLINE

VICINITY MAP
SCALE: 1" = 1000'

OWNER / DEVELOPER:

SAWMILL POINT APARTMENTS, LLC
103 TORREY PINES DRIVE
CARY, NORTH CAROLINA 27513

OWNER'S DESIGNATED REPRESENTATIVE:
BLAIR M. BOOTH, PRESIDENT
SAWMILL POINT APARTMENTS, LLC
bbooth@symphony-properties.com
(919) 439-1040

PROJECT ENGINEER / REPRESENTATIVE:
J. BRANCH SMITH, PE
McKIM & CREED, INC.
243 NORTH FRONT STREET
WILMINGTON, NORTH CAROLINA 28401
brsmith@mckimcreed.com
(910) 343-1048

PROJECT ADDRESS:
1015 NUTT STREET
WILMINGTON, NC 28401

TAX PARCEL IDENTIFICATION NUMBER:
R04712-002-003-000

PROPERTY ZONING:
CBD - CENTRAL BUSINESS DISTRICT

SHEET INDEX - SAWMILL POINT

SHEET #	FILE #	DESCRIPTION
1	G-001	COVER SHEET
	SURVEY	ARNOLD CARSON, PLS EXISTING CONDITIONS SURVEY
3	CE-101	SEDIMENT & EROSION CONTROL PLAN - STAGE 1
4	CE-102	SEDIMENT & EROSION CONTROL PLAN - STAGE 2
5	CD-101	DEMOLITION PLAN
6	CS-101	SITE PLAN
7	CG-101	GRADING PLAN
8	CG-102	STORM DRAINAGE PLAN
9	CG-502	STORMWATER MANAGEMENT DETAILS
10	CU-101	UTILITY PLAN
11	CT-701	NUTT STREET ROADWAY PROFILE
12	CS-501	SITE DETAILS
13	CG-501	STORM DRAINAGE DETAILS
14	CE-501	SEDIMENT & EROSION CONTROL DETAILS
~~15~~	~~CU-501~~	~~CFPUA STD. DETAILS~~
~~16~~	~~CU-502~~	~~CFPUA STD. DETAILS~~
~~17~~	~~CU-503~~	~~CFPUA STD. DETAILS~~
~~18~~	~~CU-504~~	~~CFPUA STD. DETAILS~~
~~19~~	~~CU-505~~	~~CFPUA STD. DETAILS~~
~~20~~	~~CU-506~~	~~CFPUA STD. DETAILS~~
	L.800	LANDSCAPE PLANS BY STEWART, INC.
	L.810	LANDSCAPE PLANS BY STEWART, INC.

CITY OF WILMINGTON STANDARD NOTES

1. CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4949.
2. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
3. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
4. ONCE STREETS ARE OPEN TO TRAFFIC, THE DEVELOPER SHALL CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
5. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
6. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND CURBING SHALL BE REPLACED.
7. CONTACT KAREN DIXON AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
8. IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION HE SHALL APPLY WITH THE CFPUA IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
9. CONTACT TRAFFIC ENGINEERING AT (910)341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
10. TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
11. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
12. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
13. STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
14. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY UTILITY.
15. NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
16. PERMITTING OF BUSINESS IDENTIFICATION SIGNAGE IS A SEPARATE PROCESS. NCDOT/CITY OF WILMINGTON WILL NOT ALLOW OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY.

Know what's **below.**
Call before you dig.

NORTH CAROLINA PROFESSIONAL SEAL 034354 03/09/15 ENGINEER JAMES BRANCH SMITH

FINAL DESIGN
NOT FOR CONSTRUCTION

McKIM & CREED
243 North Front Street
Wilmington, North Carolina 28401
Phone: (910)343-1048 , Fax: (910)251-8282
NC LICENSE NO. F-1222
www.mckimcreed.com

SYMPHONY properties
Orchestrating REAL Solutions

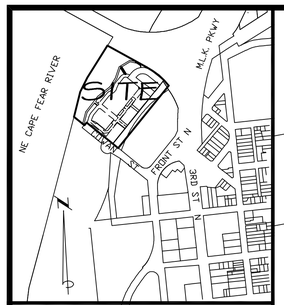
STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT #_____
SIGNED_____

Approved Construction Plan
Name Date
Planning_____
Traffic_____
Fire_____

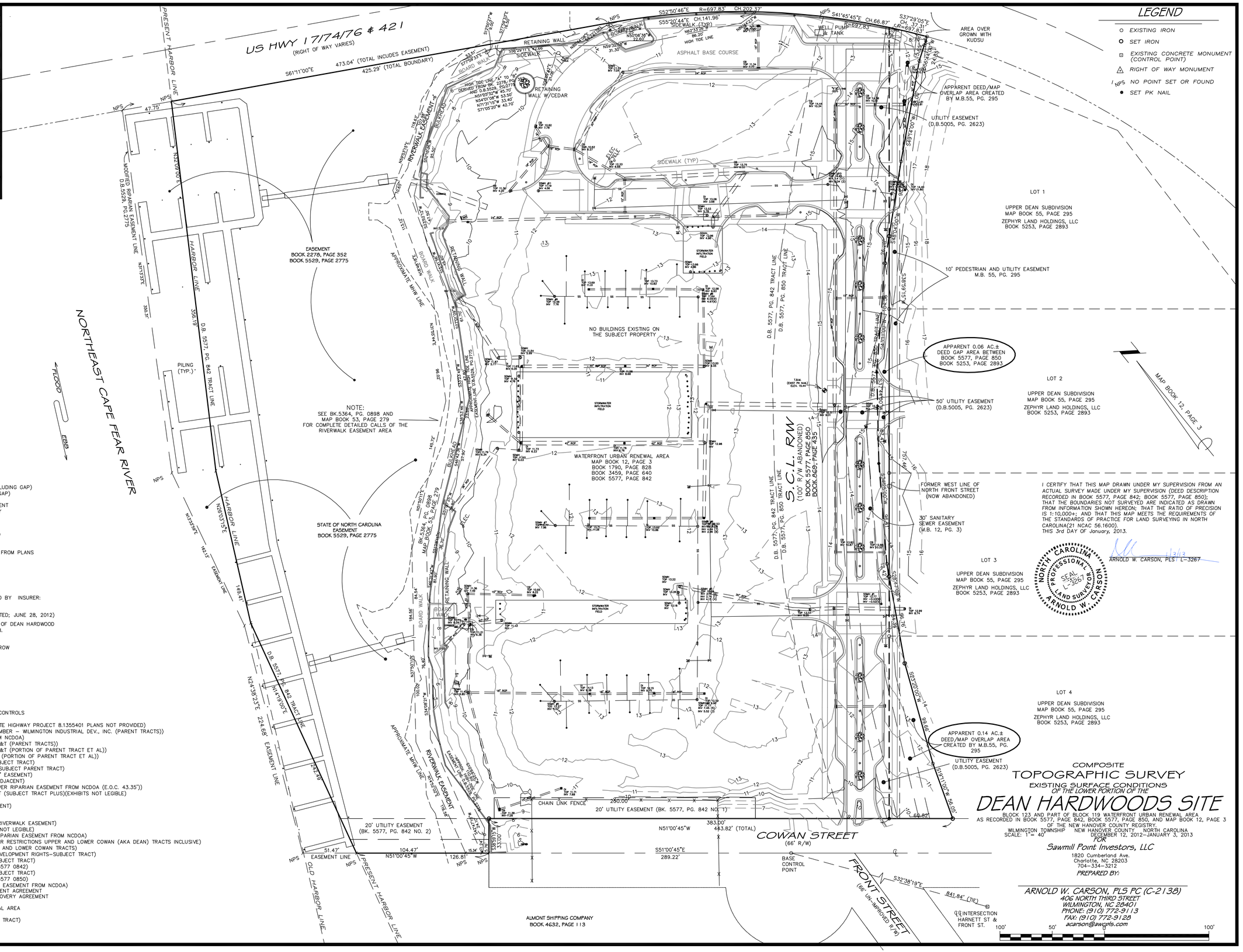
1 inch

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

SAWMILL POINT
TRC CONSTRUCTION RELEASE - MAR. 9, 2015
06586-0001



LOCATION MAP
NOT TO SCALE



LEGEND

- EXISTING IRON
- SET IRON
- EXISTING CONCRETE MONUMENT (CONTROL POINT)
- RIGHT OF WAY MONUMENT
- NPS NO POINT SET OR FOUND
- SET PK NAIL

LEGEND

UTILITIES AND OTHER

- EXISTING DROP INLET
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING CATCH BASIN
- EXISTING STORM DRAIN MH
- EXISTING STORM DRAIN PIPE
- EXISTING SAN. SEWER MH
- EXISTING SS CLEANOUT
- EXISTING SAN. SEWER LINE
- EXISTING LIGHT
- EXISTING 4"–6" DBH OAK
- EXISTING ELECTRICAL BOX
- EXISTING ELECTRICAL PANEL
- EXISTING ELECTRICAL TRANSFORMER
- EXISTING CABLE TV PEDESTAL
- EXISTING TELEPHONE PEDESTAL
- WATER METER
- BACK FLOW PREVENTER

NOTES:

1. TOTAL AREA = 11.13 AC.± (TO HARBOR LINE) (INCLUDING GAP)
   8.12 AC.± (TO MHW) (INCLUDING GAP)
2. THIS TRACT IS LOCATED IN ZONE "AE" (EL 9)" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 3720311800 K DATED 6/2/06.
3. UTILITIES SHOWN HEREON WERE LOCATED BY THIS FIRM AT VARIOUS TIMES, THERE ARE ADDITIONAL UNDERGROUND UTILITIES WHICH ARE NOT REFLECTED ON THIS SURVEY. CALL NC ONE CALL PRIOR TO DIGGING OR FOR ADDITIONAL PLANNING PURPOSES.
4. SOME OF THE IMPROVEMENTS SHOWN HEREON ARE FROM PLANS PREPARED BY: Coastal Site Design, PC
   3805 Cherry Avenue
   Wilmington, NC 28403–6209
   (910) 791–4441
5. ZONING AND SETBACK INFORMATION TO BE VERIFIED BY INSURER:
   ZONED: CBD–CENTRAL BUSINESS DISTRICT

(CITY OF WILMINGTON ZONING VERIFICATION FORM DATED; JUNE 28, 2012)

SETBACKS ACCORDING TO PLAN ENTITLED "SITE PALN OF DEAN HARDWOOD SITE" DATED: 1/17/07 LAST REVISION DATE: 6/25/08.

BUILDING SETBACKS;

MINIMUM FRONT SETBACK: ON ROW OR WITHIN 5' OF ROW

PROPOSED FRONT SETBACK: 0'

MINIMUM SIDE SETBACK: 0'

PROPOSED SIDE SETBACK: 0'

SURVEY REFERENCES:

BOOK/PAGE	
0769 0494	DECLARATION OF REGULATIONS AND CONTROLS
0869 0435	(RAILROAD ROW, SUBJECT TRACT)
1086 0833	NCDOT RIGHTS OF WAY (LEGIBLE STATE HIGHWAY PROJECT 8.1355401 PLANS NOT PROVIDED)
1238 1166	DEED OF TRUST (IMPORT–EXPORT LUMBER – WILMINGTON INDUSTRIAL DEV., INC. (PARENT TRACTS))
2278 0352	EASEMENT (RIPARIAN EASEMENT FROM NCDOA)
2724 0780	DEED OF TRUST (DEANCO, INC. – BB&T (PARENT TRACTS))
4581 0262	DEED OF TRUST (DEANCO, INC. – BB&T (PORTION OF PARENT TRACT ET AL))
4619 0214	DEED OF TRUST (BB&T CSC – BB&T (PORTION OF PARENT TRACT ET AL))
4890 0106	QUITCLAIM DEED (RAILROAD ROW, SUBJECT TRACT)
4979 0966	DEED OF TRUST (SFA) (PORTION OF SUBJECT PARENT TRACT)
5005 2623	C.O.W. STREET CLOSURE (RETAINS 50' EASEMENT)
5063 2390	WATERFRONT LAND HOLDINGS, LLC (ADJACENT)
5146 1071	EASEMENT TRANSFER "CAMA" (C.F.RIVER RIPARIAN EASEMENT FROM NCDOA (E.O.C. 43.35'))
5199 2046	RAIL CORRIDOR VACATION AGREEMENT (SUBJECT TRACT PLUS)(EXHIBITS NOT LEGIBLE)
5199 2055	(RAILROAD ROW, SUBJECT TRACT)
5253 2893	ZEPHYR LAND HOLDINGS, LLC (ADJACENT)
5341 0372	NOTICE OF CONTRACT
5364 0898	C.O.W. RIVERWALK EASEMENT
5364 0904	SUBORDINATION AGREEMENT (C.O.W. RIVERWALK EASEMENT)
5371 1106	DEVELOPMENT AGREEMENT (EXHIBITS NOT LEGIBLE)
5529 2775	EASEMENT MODIFICATION (MODIFIED RIPARIAN EASEMENT FROM NCDOA)
5540 1056	RESTRICTIVE COVENANT (STORM WATER RESTRICTIONS UPPER AND LOWER COWAN (AKA DEAN) TRACTS INCLUSIVE)
5253 2905	COST RECOVERY AGREEMENT (UPPER AND LOWER COWAN TRACTS)
5577 0842	TRUSTEE'S DEED (ASSIGNMENT OF DEVELOPMENT RIGHTS–SUBJECT TRACT)
5577 0850	TRUSTEE'S DEED (RAILROAD ROW, SUBJECT TRACT)
5577 0848	NOTICE OF FORECLOSURE (SUBJECT 5577 0842)
5577 0850	TRUSTEE'S DEED (RAILROAD ROW, SUBJECT TRACT)
5577 0855	NOTICE OF FORECLOSURE (SUBJECT 5577 0850)
5577 0857	ASSIGNMENT OF EASEMENT (RIPARIAN EASEMENT FROM NCDOA)
5577 0863	ASSIGNMENT OF RIGHTS IN DEVELOPMENT AGREEMENT
5577 0869	ASSIGNMENT OF RIGHTS IN COST RECOVERY AGREEMENT
M.B./PG.	
012 003	MAP OF WATERFRONT URBAN RENEWAL AREA
053 279	MAP OF RIVERWALK EASEMENT AREA
055 295	UPPER DEAN SUBDIVISION (ADJACENT TRACT)

I CERTIFY THAT THIS MAP DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 5577, PAGE 842; BOOK 5577, PAGE 850); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION SHOWN HEREON; THAT THE RATIO OF PRECISION IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA(21 NCAC 56.1600).
THIS 3rd DAY OF January, 2013.

1/3/13
ARNOLD W. CARSON, PLS | L–3267

NORTH CAROLINA PROFESSIONAL SEAL L-3267 LAND SURVEYOR ARNOLD W. CARSON

COMPOSITE
TOPOGRAPHIC SURVEY
EXISTING SURFACE CONDITIONS
OF THE LOWER PORTION OF THE
DEAN HARDWOODS SITE

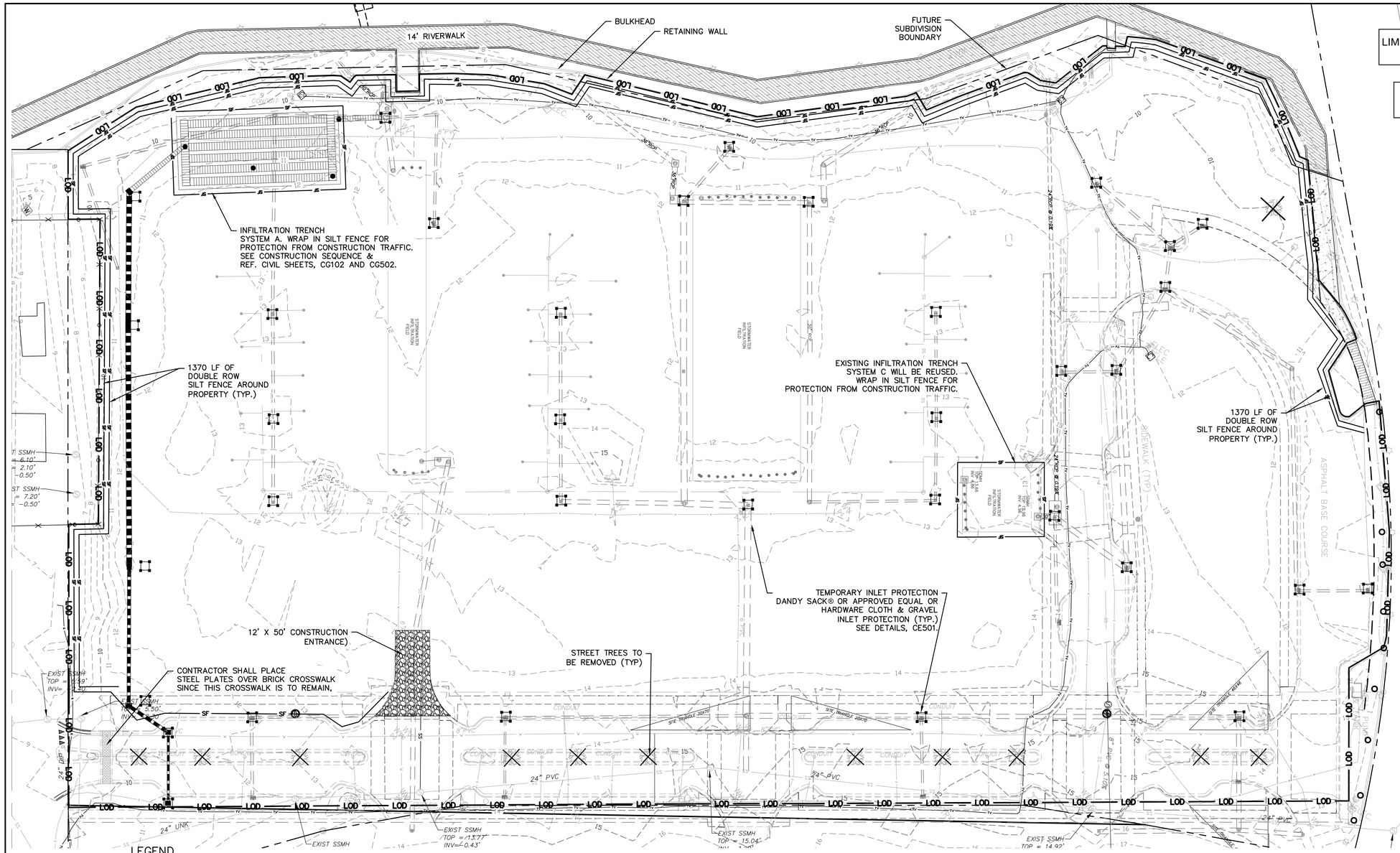
BLOCK 123 AND PART OF BLOCK 119 WATERFRONT URBAN RENEWAL AREA
AS RECORDED IN BOOK 5577, PAGE 842, BOOK 5577, PAGE 850, AND MAP BOOK 12, PAGE 3
OF THE NEW HANOVER COUNTY REGISTRY.
WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA
SCALE: 1" = 40' DECEMBER 12, 2012–JANUARY 3, 2013

FOR
Sawmill Point Investors, LLC
1820 Cumberland Ave.
Charlotte, NC 28203
704–334–3212

PREPARED BY:

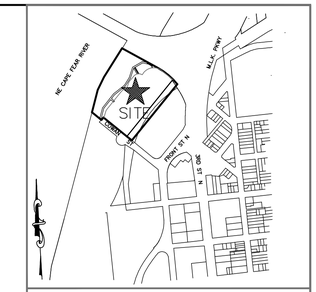
ARNOLD W. CARSON, PLS PC (C-2138)
406 NORTH THIRD STREET
WILMINGTON, NC 28401
PHONE: (910) 772-9113
FAX: (910) 772-9128
acarson@awcpls.com

GMAWC
Lowerdeansurvey 2012 topo130103 ac cert.dwg



LIMITS OF DISTURBANCE = 7.11 AC

LAT: 34° 14' 59" N
LONG: 77° 56' 59" W



VICINITY MAP
N.T.S.

STAGE 1 CONSTRUCTION SEQUENCE

1. ESTABLISH LIMITS OF DISTURBANCE AS SHOWN.
2. A PRECONSTRUCTION CONFERENCE MUST BE HELD 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES. THE EROSION CONTROL INSPECTOR, ENGINEER, AND CONTRACTOR SHALL MEET AT THE NEW HANOVER COUNTY EROSION CONTROL INSPECTOR'S OFFICE.
3. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE AS SHOWN. CONTRACTOR SHALL MAINTAIN A SUFFICIENT GRAVEL ENTRANCE UNTIL FINAL SUBGRADE IS ESTABLISHED. IF DIRT/MUD GETS ON THE STREET, THEN A WASH RACK WILL NEED TO BE INSTALLED.
4. INSTALL SILT FENCING AS NOTED ON PLANS BEFORE COMMENCING ANY LAND DISTURBANCE ACTIVITY. ENSURE SILT FENCE PROTECTS INFILTRATION SYSTEMS.
5. INSTALL INLET PROTECTION AS SHOWN ON PLANS. CONTRACTOR TO USE DANDY SACK® OR APPROVED EQUAL OR HARDWARE CLOTH & GRAVEL INLET PROTECTION DEPENDING ON INLET'S LOCATION. INLET PROTECTION TO REMAIN IN PLACE UNTIL INLET IS REMOVED ACCORDING TO DEMOLITION PLAN. DEMOLITION OF EXISTING STORM DRAIN SYSTEM(S) SHALL NOT COMMENCE UNTIL PROPOSED STORM DRAIN SYSTEM SHOWN ON THIS PLAN IS CONSTRUCTED.
6. COMMENCE GRUBBING AND ROUGH GRADING WITHIN THE LIMITS OF CONSTRUCTION.
7. COMMENCE DEMOLITION OF EXISTING INFILTRATION TRENCH SYSTEM(S) NECESSARY FOR THE CONSTRUCTION OF THE PROPOSED INFILTRATION TRENCH SYSTEM AS SHOWN ON THIS PLAN.
8. COMMENCE CONSTRUCTION OF PROPOSED INFILTRATION TRENCH SYSTEM AS SHOWN ON THIS PLAN (SEE ALSO CG-502). DEMOLITION OF REMAINING EXISTING INFILTRATION TRENCH SYSTEM(S) SHALL NOT COMMENCE UNTIL PROPOSED INFILTRATION TRENCH SYSTEM SHOWN ON THIS PLAN IS CONSTRUCTED AND OPERATIONAL.
9. COMMENCE DEMOLITION OF EXISTING ASPHALT, CURB & GUTTER, SIDEWALKS, CROSSWALKS, UTILITY SERVICES, REMAINING INFILTRATION TRENCH SYSTEMS, ETC PER THE DEMOLITION PLAN (CD-101). ALL DEMOLITION MATERIAL SHALL BE DISPOSED OF, SALVAGED, OR RECYCLED PER THE PROJECT SPECIFICATIONS.
10. COORDINATE DISCONNECTION OF EXISTING UTILITIES WITH THE PROPER AUTHORITIES.
11. PROVIDE TEMPORARY STABILIZATION AND SEEDING AS NECESSARY TO PREVENT EROSION. REFER TO SHEET CE501 FOR GROUND STABILIZATION CRITERIA AND SEEDING SCHEDULE.

EROSION CONTROL NOTES:

1. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE. **LIMITS OF DISTURBANCE 7.11 ACRES.**
2. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE. ANY BUILDER THAT ANTICIPATES THE DISTURBANCE OF MORE THAN 1 CUMULATIVE ACRE WILL BE REQUIRED TO GET AN EROSION CONTROL PERMIT FROM NEW HANOVER COUNTY.
3. SEE SHEET CE501 FOR GROUND STABILIZATION REQUIREMENTS.
4. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE NEW HANOVER COUNTY ENGINEERING DEPARTMENT.
5. SLOPES SHALL BE GRADED NO STEEPER THAN 3:1.
6. ADDITIONAL DEVICES MAY BE REQUIRED AS AGREED UP ON BY FIELD INSPECTOR, ENGINEER, AND OWNER.
7. IF ACTIVE CONSTRUCTION CEASES IN ANY AREA FOR MORE THAN 15 WORKING DAYS, ALL DISTURBED AREAS MUST BE SEEDED, MULCHED, AND TACKED.
8. **WITHIN 24 HOURS FOLLOWING ANY RAIN EVENT, THE CONTRACTOR SHALL INSPECT AND REPAIR, AS NECESSARY, ALL DAMAGED EROSION CONTROL MEASURES.**

EROSION CONTROL MAINTENANCE PLAN:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
2. ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES/EXITS THAT WILL BE PERIODICALLY TOP-DRESSED WITH 2-3" COARSE STONE TO MAINTAIN 6" THICKNESS. ENTRANCES/EXITS WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED, OR TRACKED ONTO THE CONSTRUCTION ENTRANCE/EXIT OR PUBLIC ROADWAYS. (NCDENR PRACTICE 6.06)
3. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF-FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. (NCDENR PRACTICE 6.62)
4. SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTIONS WHEN THE SEDIMENT REACHES HALF OF THE DEPTH TO THE TOP OF THE ROCK. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT CONTROL MEASURE NO LONGER DRAINS AS INTENDED. REMOVE DEBRIS FROM THE ROCK AS NECESSARY TO ALLOW FOR PROPER DRAINAGE. (NCDENR PRACTICES 6.51)
5. SILT SACKS SHALL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND SILT SACKS ONCE A WEEK AND AFTER EVERY RAIN EVENT. (NHC PRACTICES)
6. ALL SEEDED AREAS WILL BE FERTILIZED, RE-SEEDED AS NECESSARY AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES.

LEGEND

RBC	= REBAR & CAP		= SANITARY SEWER MANHOLE
IPF	= IRON PIPE FOUND		= POWER POLE
INV.	= INVERT	GW	= GUY WIRE
EL.	= ELEVATION		= CABLE PEDESTAL
	= WELL		= TELEPHONE PEDESTAL
	= FIRE HYDRANT		= TELEPHONE MANHOLE
	= WATER VALVE		= GAS VALVE
	= GRATED INLET		= ASPHALT PAVEMENT
	= YARD INLET		
	= STORM DRAIN MANHOLE		= TEMPORARY INLET PROTECTION
LOD	= LOD		= LIMITS OF DISTURBANCE LINE
SF	= SF		= SILT FENCE LINE
SD	= SD		= UNDERGROUND STORM LINE
SS	= SS		= UNDERGROUND SANITARY LINE
W	= W		= UNDERGROUND WATER LINE

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT #_____
SIGNED_____

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

1 inch

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

811 Know what's below. Call before you dig.

N

30' 0 30' 60'
SCALE: 1"=30' (Horiz.)

NOTE COW(18-458)

NO EQUIPMENT IS ALLOWED ONSITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.

NOTE (G.S. 113A-57 (2))

THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 21 CALENDAR DAYS OF COMPLETION OF ANY GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVISES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.

REV.NO.	DESCRIPTIONS	DATE
4	TRC PERMITTING SET PER FEB 2014 COMMENTS; COW CONSTRUCTION RELEASE SET	03/09/15
3	REISSUED TO CITY FOR TRC COMMENTS	02/06/15
2	APARTMENT PERMITTING SET TO NHC	01/23/15
1	TRC PERMITTING SET PER DEC 2014 COMMENTS	01/20/15

REVISIONS

SEAL

SEAL
NORTH CAROLINA PROFESSIONAL SEAL 034354 ENGINEER JAMES BRANCH SMITH
03/09/15

McKIM&CREED
243 North Front Street
Wilmington, NC 28401
Phone: (910)343-1048, Fax: (910)251-8282
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SYMPHONY properties
Orchestrating REAL Solutions

SAWMILL POINT APARTMENTS
1015 NUTT STREET
WILMINGTON, NORTH CAROLINA

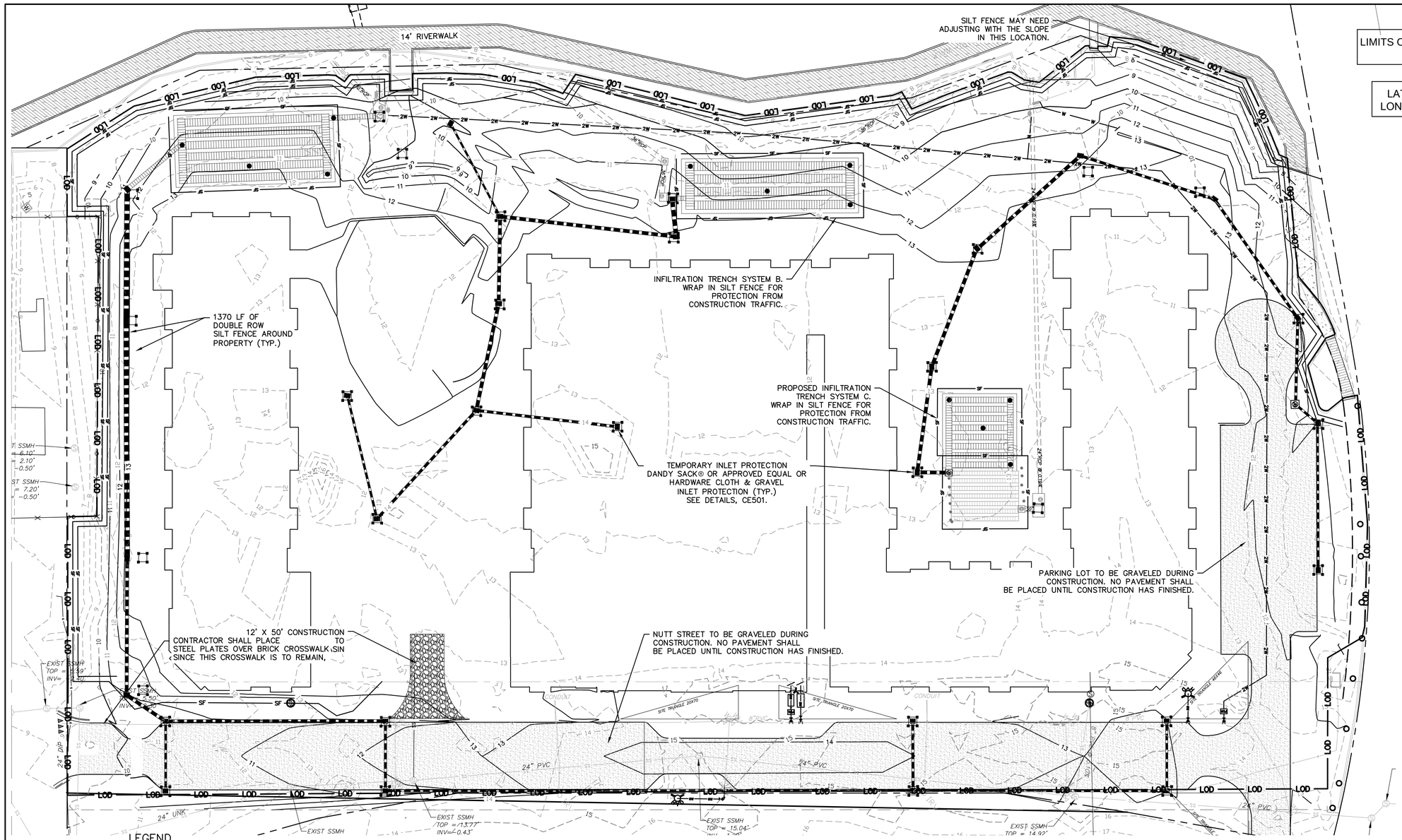
SEDIMENT & EROSION CONTROL
STAGE 1

DATE:	16 DEC 2014
MCE PROJ. #	06586-0001
DRAWN	TCM/RAC
DESIGNED	JBS/TCM/RAC
CHECKED	JBS/RMC
PROJ. MGR.	RMC

SCALE
HORIZONTAL: 1"=30'
VERTICAL:

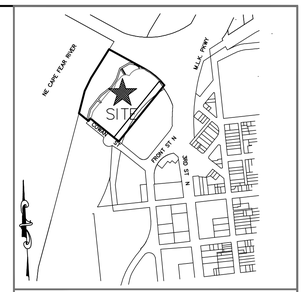
M&C FILE NUMBER CE101
DRAWING NUMBER 3

STATUS: FINAL DESIGN
NOT FOR CONSTRUCTION
REVISION 4



LIMITS OF DISTURBANCE = 7.11 AC

LAT: 34° 14' 59" N
LONG: 77° 56' 59" W



VICINITY MAP
N.T.S.

STAGE 2 CONSTRUCTION SEQUENCE

1. INSTALL SEWER AND WATER AND STORMWATER MANAGEMENT FACILITIES TO INCLUDE PIPING, CATCH BASINS, DROP INLETS AND INFILTRATION TRENCH SYSTEMS INCLUDING INSTALLATION OF STAGE TWO INLET PROTECTION.
2. REMOVE ACCUMULATED SEDIMENT FROM SEDIMENT CONTROL MEASURES AS REQUIRED ON THE PLANS AND PERMIT.
3. COMPLETE PARKING AREAS AND ENTRANCE CONSTRUCTION TO SUBGRADE. COMPACT ALL FILL AREAS TO 95% STD. PROCTOR MAXIMUM DRY DENSITY.
4. INSTALL GRAVEL BASE IN PARKING AREAS.
5. INSTALL CONCRETE CURB AND GUTTER.
6. CONTRACTOR SHALL CONTINUOUSLY MAINTAIN EROSION CONTROL MEASURES AND CLEAN AND REPAIR TEMPORARY SEDIMENT MEASURES TO MEET NEW HANOVER COUNTY APPROVAL.
7. UPON COMPLETION OF CONSTRUCTION, PRIOR TO FINAL ASPHALT LIFT INSTALLATION, CONTRACTOR TO REQUEST FINAL INSPECTION FROM NEW HANOVER COUNTY EROSION CONTROL INSPECTOR TO ALLOW REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES.
8. INSTALL LANDSCAPING AND ESTABLISH FINAL GRADES AS SHOWN ON CG101.
9. INSTALL PERMANENT SEEDING. REFER TO GROUND STABILIZATION CRITERIA TABLE FOR AREAS THAT REQUIRE 7-DAY STABILIZATION. ALL OTHER AREAS NOT REQUIRING 7-DAY STABILIZATION SHALL BE STABILIZED WITHIN 14-DAYS.
10. REMOVE ALL SEDIMENT FROM ALL STORM DRAIN PIPES.
11. SILT FENCE MUST REMAIN INSTALLED AND FUNCTIONING PROPERLY UNTIL THE LIMITS OF CONSTRUCTION HAVE BEEN PERMANENTLY STABILIZED.

GROUND STABILIZATION CRITERIA

SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10 FT OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FT IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)

LEGEND

RBC	= REBAR & CAP		= SANITARY SEWER MANHOLE
IPF	= IRON PIPE FOUND		= POWER POLE
INV.	= INVERT	GW	= GUY WIRE
EL.	= ELEVATION		= CABLE PEDESTAL
W	= WELL	T	= TELEPHONE PEDESTAL
	= FIRE HYDRANT	T	= TELEPHONE MANHOLE
	= WATER VALVE		= GAS VALVE
	= GRATED INLET		= ASPHALT PAVEMENT
	= YARD INLET		
D	= STORM DRAIN MANHOLE		
			= TEMPORARY INLET PROTECTION
			= LIMITS OF DISTURBANCE LINE
SF		SF	= SILT FENCE LINE
SD		SD	= UNDERGROUND STORM LINE
SS		SS	= UNDERGROUND SANITARY LINE
W		W	= UNDERGROUND WATER LINE

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT #_____
SIGNED_____

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

1 inch

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

811 Know what's below. Call before you dig.

30' 0 30' 60'
SCALE: 1"=30' (Horiz.)

NOTE COW(18-458)

NO EQUIPMENT IS ALLOWED ONSITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.

NOTE (G.S. 113A-57 (2))

THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 21 CALENDAR DAYS OF COMPLETION OF ANY GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVISES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.

REV.NO.	DESCRIPTIONS	DATE
4	TRC PERMITTING SET PER FEB 2014 COMMENTS; COW CONSTRUCTION RELEASE SET	03/09/15
3	REISSUED TO CITY FOR TRC COMMENTS	02/06/15
2	APARTMENT PERMITTING SET TO NHC	01/23/15
1	TRC PERMITTING SET PER DEC 2014 COMMENTS	01/20/15

REVISIONS

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NORTH CAROLINA PROFESSIONAL SEAL 034354 ENGINEER JAMES BRANCH SMITH
03/09/15

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SAWMILL POINT APARTMENTS
1015 NUTT STREET
WILMINGTON, NORTH CAROLINA

SEDIMENT & EROSION CONTROL
STAGE 2

DATE:	16 DEC 2014
MCE PROJ. #	06586-0001
DRAWN	TCM/RAC
DESIGNED	JBS/TCM/RAC
CHECKED	JBS/RMC
PROJ. MGR.	RMC

SCALE
HORIZONTAL: 1"=30'
VERTICAL:

M&C FILE NUMBER: CE102
DRAWING NUMBER: 4

STATUS: FINAL DESIGN
NOT FOR CONSTRUCTION
REVISION: 4

EXISTING DOCK TO MARINA

PROTECT EXISTING ELECTRICAL PANEL AND FDC

REMOVE FIRE HYDRANT

EXISTING DOCK TO MARINA

PROTECT EXISTING ELECTRICAL PANEL

EXISTING STORM TO BE REMOVED AND OUTFALL PLUGGED. REF. STORM PLANS.

RETAINING WALL

BULKHEAD

BULKHEAD

RETAINING WALL

EXISTING WATERLINE TO BE REMOVED (TYP.)

EXISTING STORMWATER SYSTEM TO BE REMOVED (TYP.)

EXISTING STORMWATER INFILTRATION TRENCH TO BE REMOVED (TYP.)

EXISTING GRAVITY SANITARY SEWER TO BE REMOVED (TYP.)

RETAINING WALL W/ CEDAR

RETAINING WALL

BOARD WALK

EXISTING STORMWATER SYSTEM TO BE REMOVED (TYP.)

SIDEWALK (TYP.)

PROTECT EXISTING STREET LIGHT (TYP.)

EXISTING CURB & GUTTER TO BE REMOVED (TYP.)

ASPHALT BASE COURSE

SIDEWALK (TYP.)

EXISTING GRAVITY SANITARY SEWER TO BE REMOVED (TYP.)

EXISTING CURB & GUTTER TO BE REMOVED (TYP.)

EXISTING DRIVEWAY TO BE CLOSED AND NEW 24" CURB AND GUTTER INSTALLED

EXISTING GRAVITY SANITARY SEWER TO BE REMOVED (TYP.) SEE UTILITY SHEET (CU-101)

EXISTING STORMWATER SYSTEM TO BE REMOVED (TYP.)

EXISTING ASPHALT TO BE REMOVED (TYP.)

EXISTING DRIVEWAY TO BE CLOSED AND NEW 24" CURB AND GUTTER INSTALLED

EXISTING CONCRETE SIDEWALK TO BE REMOVED (TYP.)

EXISTING WATERLINE TO BE REMOVED (TYP.) WATERLINE TO BE CAPPED AT WATER MAIN

EXISTING CROSSWALK TO BE REMOVED (TYP.)

EXISTING WATERLINE TO BE REMOVED (TYP.) WATERLINE TO BE CAPPED AT WATER MAIN

EXISTING SANITARY SEWER MANHOLE TO BE RELOCATED

EXISTING WATERLINE TO BE REMOVED (TYP.) WATERLINE TO BE CAPPED AT WATER MAIN

PROTECT EXISTING IRRIGATION WELL AND TANK (TYP.)

WELL

PUMP TANK

EXISTING CURB & GUTTER TO BE REMOVED (TYP.)

REMOVE FIRE HYDRANT

EXISTING CURB & GUTTER TO BE REMOVED (TYP.)

RELOCATE EXISTING HYDRANT REF. UTILITY PLANS.

EXISTING CURB & GUTTER TO BE REMOVED (TYP.)

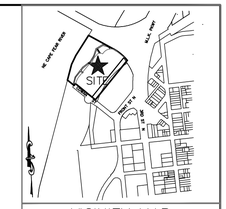
REMOVE FH

REMOVE EXISTING STREET LIGHTS IN NUTT STREET R/W AND STORE/STOCKPILE FOR FUTURE INSTALLATION (TYP.)

RELOCATE EXISTING HYDRANT REF. UTILITY PLANS.

EXISTING CROSSWALK TO BE REMOVED (TYP.)

PROTECT EXISTING STREET LIGHTS.)



VICINITY MAP
N.T.S.

N

30' 0 30' 60'
SCALE: 1"=30' (Horiz.)

LEGEND

RBC	= REBAR & CAP		= SANITARY SEWER MANHOLE
IPF	= IRON PIPE FOUND		= POWER POLE
INV.	= INVERT	GW	= GUY WIRE
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	= WATER VALVE		= GAS VALVE
	= GRATED INLET		= ASPHALT PAVEMENT
	= YARD INLET		= TEMPORARY TREE PROTECTION
	= STORM DRAIN MANHOLE		= TEMPORARY INLET PROTECTION
SD		SD	= UNDERGROUND STORM LINE
SS		SS	= UNDERGROUND SANITARY LINE
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1 inch

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT #_____
SIGNED_____

REV.NO.	DESCRIPTIONS	DATE
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REVISIONS

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NORTH CAROLINA PROFESSIONAL SEAL 034354 ENGINEER JAMES BRANCH SMITH
03/09/15

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SAWMILL POINT APARTMENTS
1015 NUTT STREET
WILMINGTON, NORTH CAROLINA

DEMOLITION PLAN

DATE:	16 DEC 2014
MCE PROJ. #	06586-0001
DRAWN	TCM/RAC
DESIGNED	JBS/TCM/RAC
CHECKED	JBS/RMC
PROJ. MGR.	RMC

SCALE
HORIZONTAL: 1"=30'
VERTICAL:

M&C FILE NUMBER CD101
DRAWING NUMBER 5

STATUS: FINAL DESIGN
NOT FOR CONSTRUCTION
REVISION 4

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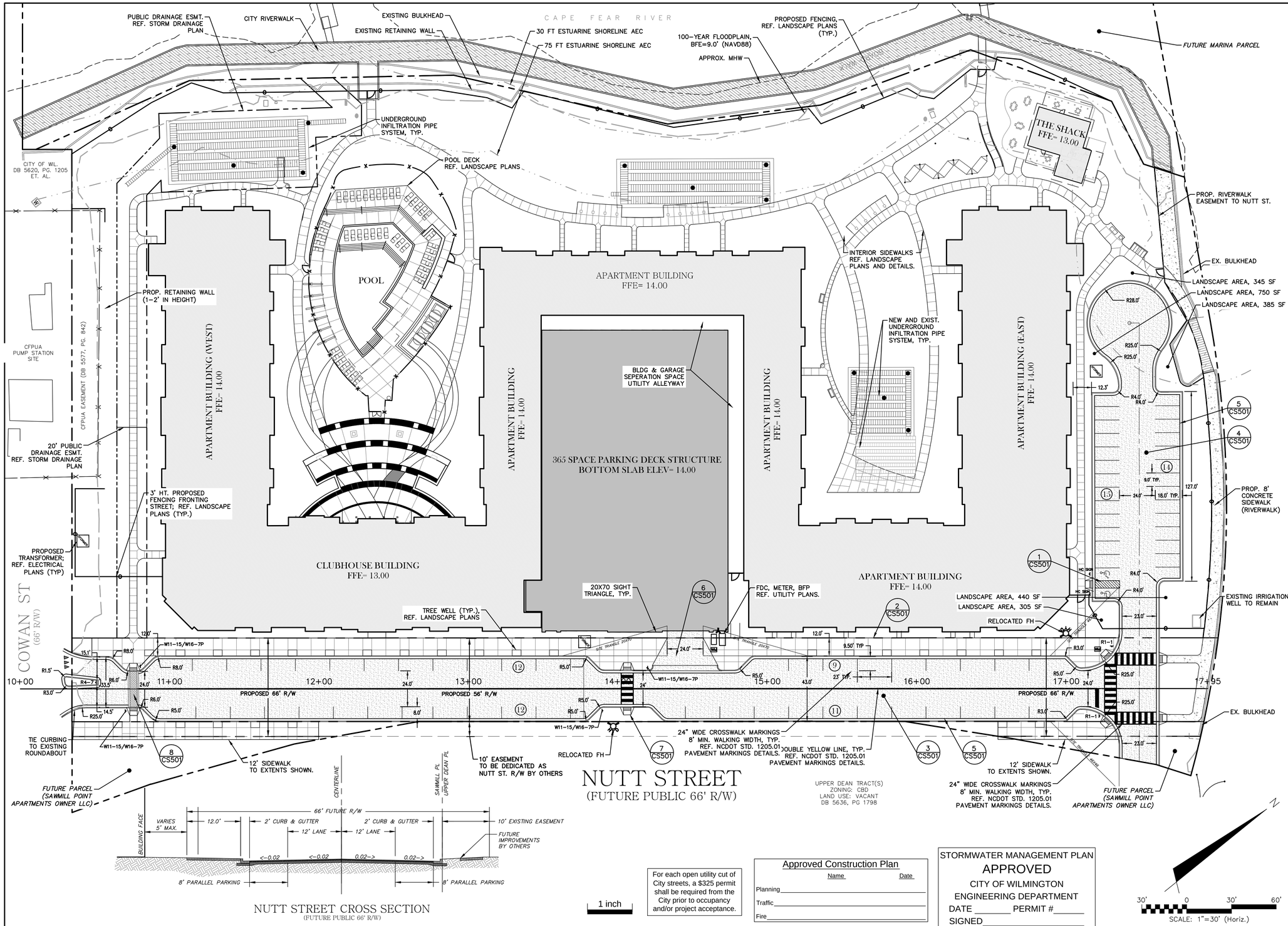

SITE DATA TABLE	SAWMILL POINT	
PARCEL ADDRESS	1015 NUTT STREET	
BUILDING SETBACKS	REQUIRED	PROPOSED
FRONT	ON R/W OR WITHIN 5'	WITHIN 5'
REAR	0	105', 99', 84',
SIDE (INTERIOR)	0	86'
SIDE (CORNER)	0	61'
TAX PARCEL IDENTIFICATION NUMBER(S):	R04712-002-003-000	
	R04712-002-004-000	
CURRENT ZONING:	CBD-CENTRAL BUSINESS DISTRICT	
TOTAL ACREAGE TO EXISTING HARBOUR LINE	11.13 ACRES (484,823 SF)	
TOTAL ACREAGE WITHIN THE PROPOSED APARTMENT SUBDIVISION	7.56 ACRES (329,385 SF)	
NC BUILDING CODE CONSTRUCTION TYPE	VA	
NUMBER OF UNITS	280	
NUMBER OF BUILDINGS	3	
BUILDING HEIGHT	55'	
NUMBER OF STORIES & SQUARE FEET PER FLOOR	4 STORIES - 84,755 SF/FLOOR	
TOTAL AMOUNT OF DISTURBED AREA	7.11 ACRES	
CAMA LAND USE CLASSIFICATION*	CONSERVATION*	
EXISTING PERMITTED (#2008031) IMPERVIOUS AREA	135,036	SF
* PROJECT IS LOCATED IN THE "URBAN WATERFRONT" AS DESCRIBED BY COASTAL AREA MANAGEMENT ACT (CAMA).		
IMPERVIOUS AREA (PROPOSED)		
ROOF TOPS	85,173	SF
ROADWAYS (ON-SITE)	30,683	SF
PARKING	11,694	SF
SIDEWALKS	26,174	SF
OTHER (PARKING DECK)	25,308	SF
TOTAL S.F. (ONSITE IMPERVIOUS AREA)	179032	SF
PERCENTAGE (ONSITE IMPERVIOUS AREA/ONSITE AREA) = 153,724/329,385	46.67	%
PARKING CALCULATIONS		
PROPOSED USE:	MULTI-FAMILY	
TOTAL SPACES PROVIDED	428 (1.53 SPACES PER UNIT)	
SURFACE PARKING PROVIDED	29 SPACES	
PARKING DECK SPACES PROVIDED	365 SPACES	
SPACES PROVIDED ON NUTT STREET	34 SPACES	
ACCESSIBLE SPACES IN PARKING DECK	10	
ACCESSIBLE SPACES PROVIDED	12 (6 VAN)	
BICYCLE SPACES PROVIDED (5 PER 100 SPACES)	20	
SEC. 18-529, EACH PARKING SPACE LOCATED AT THE PERIMETER OF A PARKING FACILITY SHALL BE EQUIPPED WITH A CURB, WHEEL STOP, OR SIMILAR DEVICE TO PREVENT VEHICLE ENCROACHMENT BEYOND PROPERTY LINES OF PARKING LOTS AND INTO PEDESTRIAN WAYS OR TRAFFIC AISLES.		
BUILDING FRONTAGE CALCULATIONS		
TOTAL BUILDING FRONTAGE	560 LF	
BUILDING FRONTAGE WITHIN 5' OF R/W REQUIRED	280 LF	
BUILDING FRONTAGE WITHIN 5' OF R/W PROVIDED	299 LF	
FLOOD ZONE INFORMATION		
100-YEAR FLOODPLAIN ELEV.	9' (NAVD 88)	
PROPOSED BUILDING FINISHED FLOOR ELEVS.	13.0' & 14.0' (NAVD 88)	

NOTE: WASTE DISPOSAL RECEPTACLES WILL BE WITHIN PARKING GARAGE ONLY.

NOTE: IF THESE UNITS ARE SOLD AT ANY POINT, THE BUYER MUST RECEIVE A SUBDIVISION STREET DISCLOSURE STATEMENT.

NOTE: ANY FUTURE DRIVEWAYS INTO THE NUTT STREET 66' R/W MUST BE IN COMPLIANCE WITH THE CITY OF WILMINGTON STANDARDS.

NOTE: PEDESTRIAN CROSSING SIGNS SHALL BE INSTALLED NO LESS THAN 5' FROM THE NUTT ST. CROSSWALKS IN ACCORDANCE TO THE CITY OF WILMINGTON AND SEC. 5-575.

REF. SHEET CS501 FOR SITE DETAILS AND STREET SIGNAGE DETAILS.

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Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT #_____
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REV.NO.	DESCRIPTIONS	DATE
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REVISIONS

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03/09/15

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SAWMILL POINT APARTMENTS
1015 NUTT STREET
WILMINGTON, NORTH CAROLINA

SITE PLAN

DATE:	16 DEC 2014
MCE PROJ. #	06586-0001
DRAWN	TCM/RAC
DESIGNED	JBS/TCM/RAC
CHECKED	JBS/RMC
PROJ. MGR.	RMC

SCALE
HORIZONTAL: 1"=30'
VERTICAL:

M&C FILE NUMBER CS101
DRAWING NUMBER 6

STATUS: FINAL DESIGN
NOT FOR CONSTRUCTION
REVISION 4

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

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	Name	Date
Planning		
Traffic		
Fire		

1 inch

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
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DATE _____ PERMIT #_____
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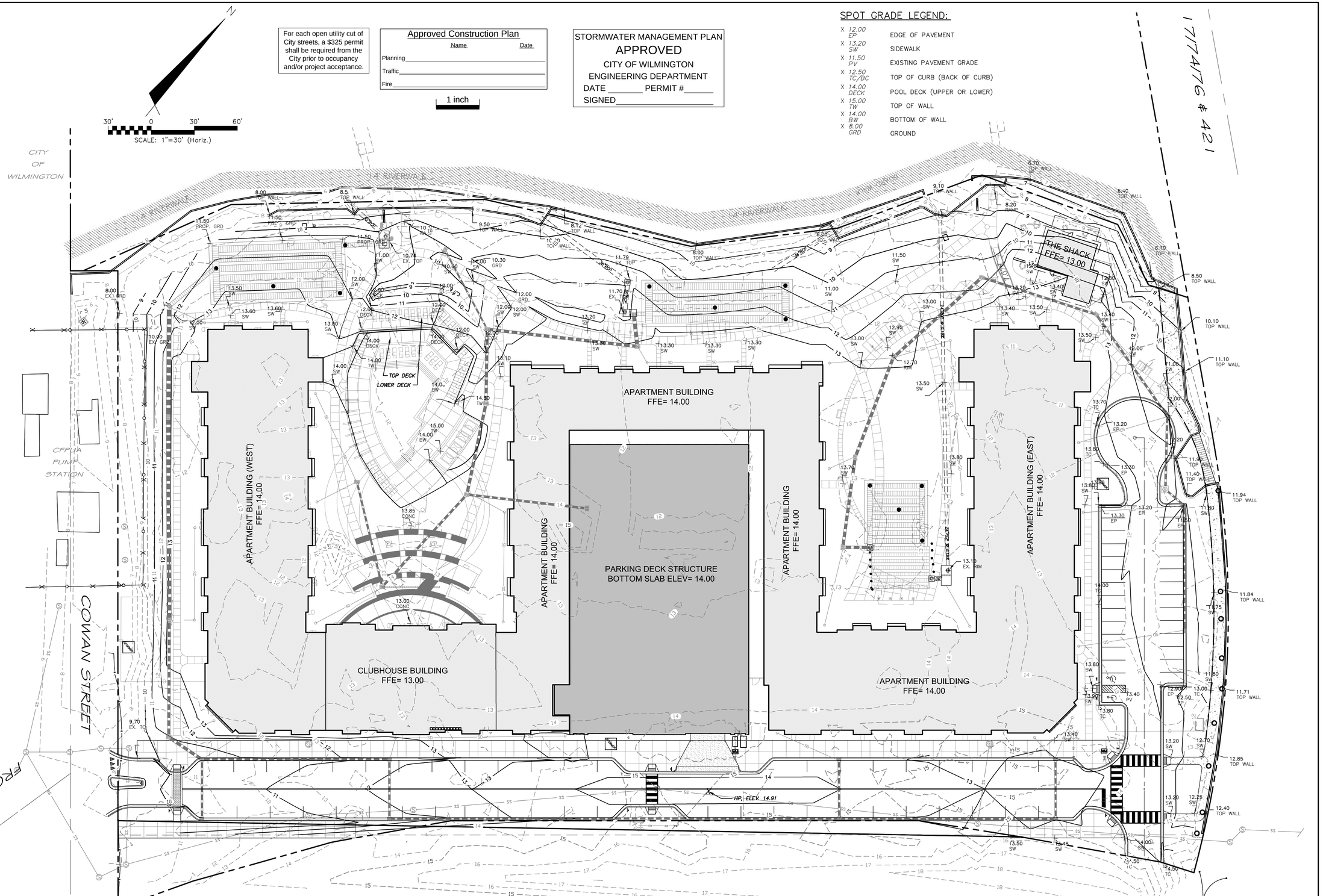
SPOT GRADE LEGEND:

X 12.00 EP	EDGE OF PAVEMENT
X 13.20 SW	SIDEWALK
X 11.50 PV	EXISTING PAVEMENT GRADE
X 12.50 TC/BC	TOP OF CURB (BACK OF CURB)
X 14.00 DECK	POOL DECK (UPPER OR LOWER)
X 15.00 TW	TOP OF WALL
X 14.00 BW	BOTTOM OF WALL
X 8.00 GRD	GROUND



REV.NO.	DESCRIPTIONS	DATE
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3	REISSUED TO CITY FOR TRC COMMENTS	02/06/15
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SAWMILL POINT APARTMENTS
1015 NUTT STREET
WILMINGTON, NORTH CAROLINA

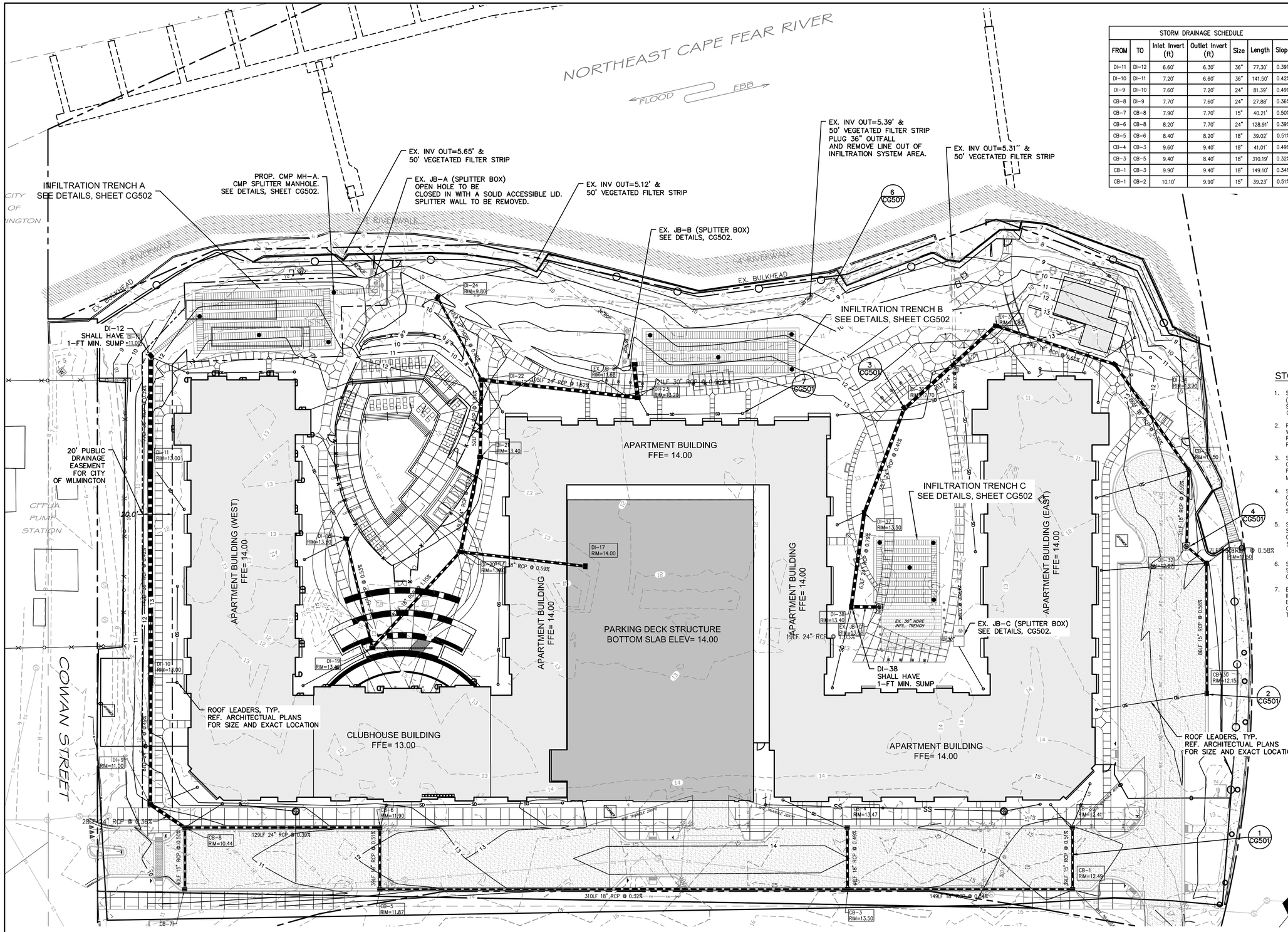
GRADING PLAN

DATE:	16 DEC 2014
MCE PROJ. #	06586-0001
DRAWN	TCM/RAC
DESIGNED	JBS/TCM/RAC
CHECKED	JBS/RMC
PROJ. MGR.	RMC

SCALE
HORIZONTAL: 1"=30'
VERTICAL:

M&C FILE NUMBER CG101
DRAWING NUMBER 7

STATUS: FINAL DESIGN
NOT FOR CONSTRUCTION
REVISION 4



STORM DRAINAGE SCHEDULE						
FROM	TO	Inlet Invert (ft)	Outlet Invert (ft)	Size	Length	Slope
DI-11	DI-12	6.60'	6.30'	36"	77.30'	0.39%
DI-10	DI-11	7.20'	6.60'	36"	141.50'	0.42%
DI-9	DI-10	7.60'	7.20'	24"	81.39'	0.49%
CB-8	DI-9	7.70'	7.60'	24"	27.88'	0.36%
CB-7	CB-8	7.90'	7.70'	15"	40.21'	0.50%
CB-6	CB-8	8.20'	7.70'	24"	128.91'	0.39%
CB-5	CB-6	8.40'	8.20'	18"	39.02'	0.51%
CB-4	CB-3	9.60'	9.40'	18"	41.01'	0.49%
CB-3	CB-5	9.40'	8.40'	18"	310.19'	0.32%
CB-1	CB-3	9.90'	9.40'	18"	149.10'	0.34%
CB-1	CB-2	10.10'	9.90'	15"	39.23'	0.51%

STORM DRAINAGE SCHEDULE						
FROM	TO	Inlet Invert (ft)	Outlet Invert (ft)	Size	Length	Slope
EX. JB-B	DI-23	6.30'	6.16'	30"	21.26'	0.66%
DI-24	DI-22	8.30'	8.00'	12"	62.46'	0.48%
DI-22	DI-23	8.00'	6.30'	24"	105.21'	1.62%
DI-21	DI-22	9.00'	8.00'	24"	51.66'	1.94%
DI-20	DI-21	9.50'	9.00'	24"	64.83'	0.77%
DI-19	DI-20	10.50'	9.50'	18"	87.23'	1.15%
DI-18	DI-19	10.90'	10.50'	15"	75.23'	0.53%
DI-17	DI-20	10.00'	9.50'	18"	84.23'	0.59%

STORM DRAINAGE SCHEDULE						
FROM	TO	Inlet Invert (ft)	Outlet Invert (ft)	Size	Length	Slope
JB-32	CB-33	8.40'	8.10'	18"	51.05'	0.59%
DI-38	EX. JB-C1	6.00'	5.80'	24"	19.04'	1.05%
DI-37	DI-38	6.50'	6.00'	24"	63.22'	0.79%
DI-36	DI-37	6.80'	6.50'	24"	73.00'	0.41%
DI-35	DI-36	7.30'	6.80'	24"	80.99'	0.62%
DI-34	DI-35	7.80'	7.30'	18"	83.68'	0.60%
CB-33	DI-34	8.10'	7.80'	18"	86.26'	0.35%
CB-31	JB-32	8.50'	8.40'	15"	17.27'	0.58%
CB-30	CB-31	9.00'	8.50'	15"	85.68'	0.58%

STORM DRAINAGE NOTES

1. STORM PIPE SHALL BE NCDOT CLASS III REINFORCED CONCRETE PIPE (RCP) (C-WALL PIPE WITH O-RING GASKETS OR ENGINEER-APPROVED SUBSTITUTE AND SHALL CONFORM TO LATEST ASTM C76, C361, AND CONTRACT SPECIFICATIONS.
2. RCP STORM PIPE JOINTS AND WALL PENETRATIONS SHALL BE SEALED WITH BUTYL RUBBER JOINT SEALANT CONFORMING TO THE REQUIREMENTS OF ASTM C990, OR MORTAR AS PER NCDOT REQUIREMENTS OR BOTH.
3. STORM CATCH BASIN STRUCTURES ARE NOTED AS "CB #" AND SHALL CONFORM TO NCDOT STANDARD DRAWING 840.01 OR 840.02, WITH FRAME AND GRATES CONFORMING TO NCDOT STD. 840.03. FRAMES MUST BE MARKED AS SUCH, "DO NOT DUMP DRAINS TO STREAMS."
4. STORM DROP INLET STRUCTURES ARE NOTED AS "DI #" AND SHALL CONFORM TO NCDOT STD. 840.14 OR 840.15 WITH FRAME AND GRATES CONFORMING TO STD. 840.16. FRAMES MUST BE MARKED AS SUCH, "DO NOT DUMP DRAINS TO STREAMS."
5. STORM JUNCTION BOX STRUCTURES ARE NOTED AS "JB #" AND SHALL CONFORM TO NCDOT STD. 840.32 WITH MANHOLE RING AND COVER CONFORMING TO NCDOT STD. 840.54 OR CITY STD. SD 14-04. FRAMES MUST BE MARKED AS SUCH, "DO NOT DUMP DRAINS TO STREAMS."
6. STORM PIPE LENGTHS AND SLOPES SHOWN ARE APPROXIMATE. STORM PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND UNIFORM GRADES.
7. EXISTING STORM DRAINAGE PIPE AND STRUCTURES SHALL BE INSPECTED BY THE CONTRACTOR PRIOR TO JOINING OR AMENDING EXISTING PIPES. ANY STRUCTURAL DEFICIENCIES SUCH AS PIPE CRACKS, WALL CRACKS, EXPOSED REBAR, ETC. SHALL BE REPORTED TO ENGINEER AS SOON AS NOTED.

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT #_____
SIGNED_____

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Traffic		
Fire		

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03/09/15

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SAWMILL POINT APARTMENTS
1015 NUTT STREET
WILMINGTON, NORTH CAROLINA

STORM DRAINAGE PLAN

DATE:	16 DEC 2014
MCE PROJ. #	06586-0001
DRAWN	TCM/RAC
DESIGNED	JBS/TCM/RAC
CHECKED	JBS/RMC
PROJ. MGR:	RMC

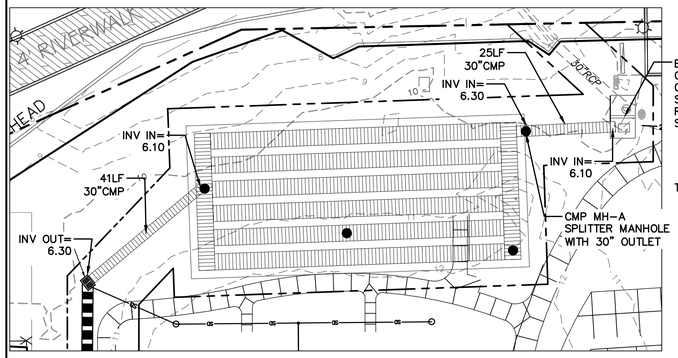
SCALE
HORIZONTAL: 1"=30'
VERTICAL:

M&C FILE NUMBER CG102
DRAWING NUMBER 8

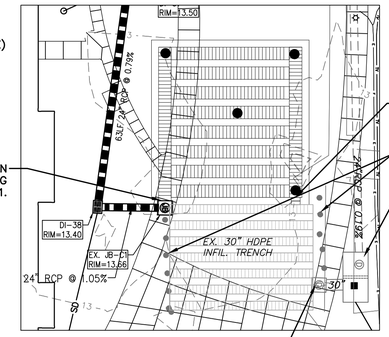
STATUS: FINAL DESIGN
NOT FOR CONSTRUCTION
REVISION 4

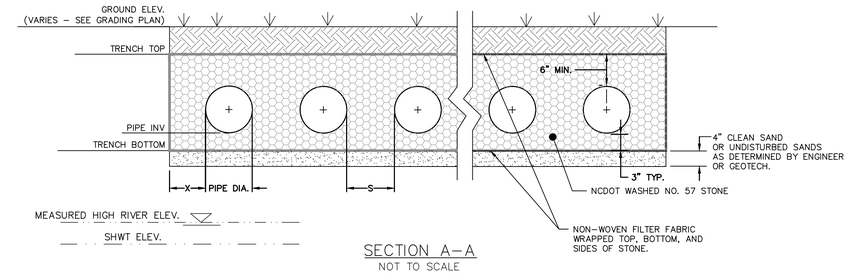
S:\06586\0001\00 Drawings\CG102_6586-0001.dwg, 3/9/2015 4:29:42 PM, bsmith

INFILTRATION TRENCH SYSTEM A



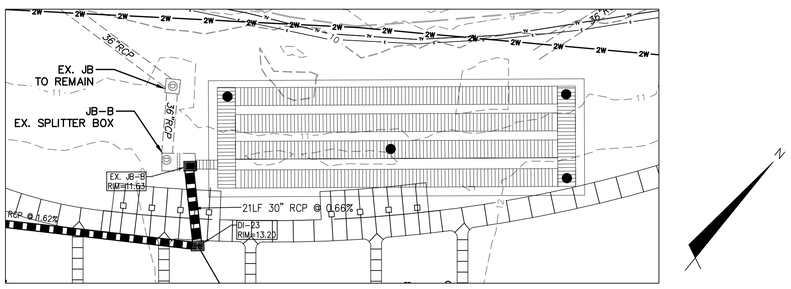
INFILTRATION TRENCH SYSTEM C





SECTION A–A
NOT TO SCALE

INFILTRATION TRENCH SYSTEM B



1 inch

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT #_____
SIGNED_____

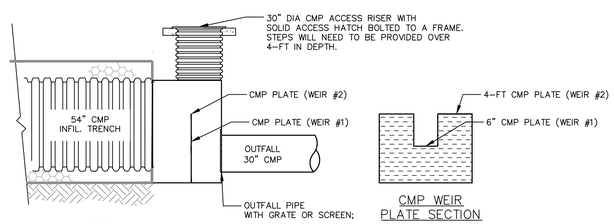
10' 0 10' 20'
SCALE: 1"=10' (Horiz.)

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

SPLITTER /BYPASS STRUCTURE TABLE			
DESIGN	CMP MH–A	EX. JB–B	EX. JB–C2
RIM ELEVATION	11.50'	11.63'	13.08'
WEIR #2 ELEVATION	10.55'	11.17'	8.60'
WEIR #1 ELEVATION	10.10'	10.90'	N/A
SUMP ELEVATION	5.10'	4.6' ±	3.2' ±
OUTFALL PIPE INVERT	6.30'	6.03'	5.78'

NOTES:
1. EXISTING ELEVATIONS TAKEN FROM COMBINATION OF FIELD MEASUREMENTS AND TOPOGRAPHY SURVEY BY ARNOLD CARSON, PLS DATED JAN. 2013.



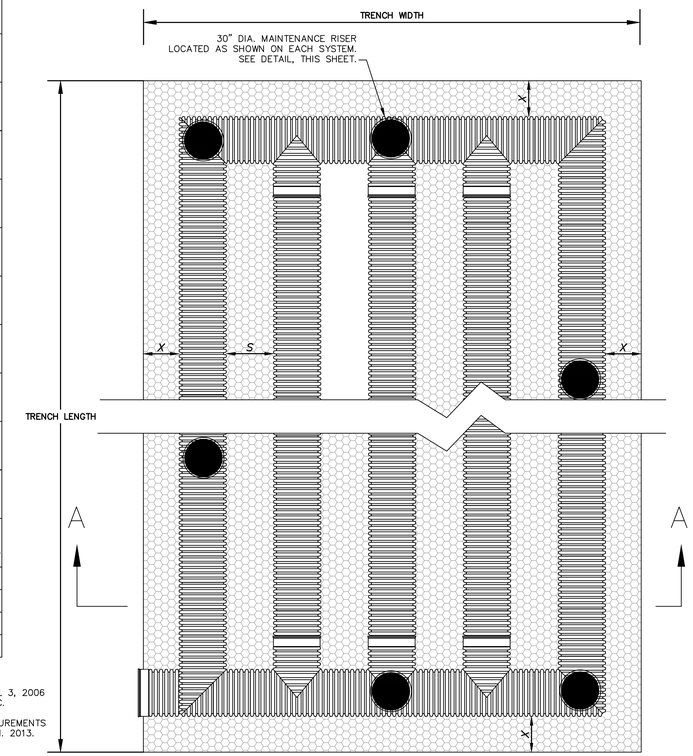
CMP WEIR
PLATE SECTION

NOTES:
1. CONTRACTOR TO SUBMIT RISER MANHOLE AND DETAILS FOR ENGINEER APPROVAL.
2. SEE SPLITTER BOX TABLE FOR ELEVATIONS.

CMP SPLITTER MANHOLE (CMP MH-A)
NOT TO SCALE

INFILTRATION TRENCH SYSTEM TABLE			
DESIGN	INFILTRATION SYSTEM A	INFILTRATION SYSTEM B	INFILTRATION SYSTEM C
# OF RUNS	6	4	EX. 7@30" & PROP. 8@42" TOTAL=15
PIPE DIAMETER (IN)	54"CMP	60"CMP	EX. 30"HDPE & PROP. 42"CMP
MIN. X (IN)	1/2 DIA. OF PIPE	1/2 DIA. OF PIPE	1/2 DIA. OF PIPE
MIN. S (IN)	1/2 DIA. OF PIPE	1/2 DIA. OF PIPE	1/2 DIA. OF PIPE
TRENCH WIDTH (FT)	43'	32.5'	PROP. 44'
TRENCH LENGTH (FT)	95'	105'	PROP. 44'
SHWT ELEVATION	3.80'	3.80'	3.80'
HIGH RIVER ELEVATION	3.75'	3.87'	3.89'
TRENCH BOTTOM ELEVATION	5.85'	5.85'	EX. 4.46' & PROP. 4.46'
PIPE TRENCH INVERT	6.10'	6.10'	EX. 4.96' & PROP. 4.96'
TRENCH TOP ELEVATION	11.10'	11.60'	EX. 9.68' (EST.) & PROP. 8.96'
10–YR WSEL	9.2'	9.4'	7.0'
25–YR WSEL	10.6'	11.2'	8.7'
50–YR WSEL	11.1'	11.7'	9.2'
100–YR WSEL	11.3'	11.9'	9.4'

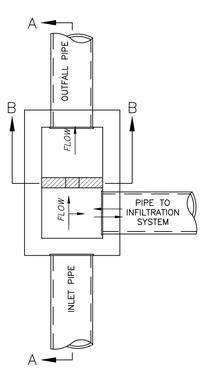
NOTES:
1. SHWT AND HIGH RIVER ELEVATIONS TAKEN FROM SITE & SOILS EVALUATION REPORT BY DWAYNE GRAHAM, RS, LSS DATED APRIL 3, 2006 FOR PLANTATION BUILDING CORP. AND COASTAL SITE DESIGN, PC.
2. EXISTING ELEVATIONS TAKEN FROM COMBINATION OF FIELD MEASUREMENTS AND TOPOGRAPHY SURVEY BY ARNOLD CARSON, PLS DATED JAN. 2013.



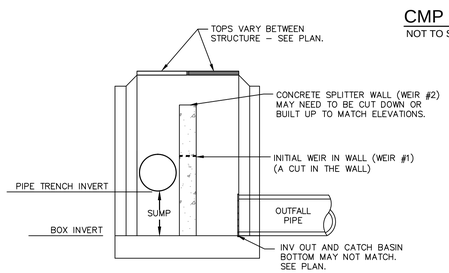
PLAN VIEW
NOT TO SCALE

NOTES:
1. INFILTRATION TRENCH PIPE SHALL BE CONTECH PERFORATED ALUMINIZED OR ALUMINUM CMP PIPE MEETING AASHTO M–36, CLASS 2 PERFORATIONS (3/8" DIA); OR PERFORATED HDPE MEETING AASHTO CLASS 2, TYPE S PERFORATIONS. CONTRACTOR TO SUBMIT INFILTRATION TRENCH SPECIFICATION FOR ENGINEER APPROVAL.
2. CMP OR HDPE PIPE TO BE INSTALLED PER ASTM & MANUFACTURER'S RECOMMENDATIONS. PIPE JOINTS TO BE PER MANUFACTURER'S RECOMMENDATIONS AS AN UNDERGROUND INFILTRATION SYSTEM..
3. SEE TABLE FOR NUMBER OF PIPE RUNS AND DIMENSIONS.
4. IT IS IMPORTANT THAT FILL MATERIAL FOR THE INFILTRATION TRENCHES SHALL BE SAME MATERIAL AS EXISTING SOILS UNDERLYING THE TRENCH. BE SURE NOT TO COMPACT THE SAND UNDER THE TRENCH SO THAT PROPER INFILTRATION RATES CAN OCCUR BELOW THE TRENCHES.

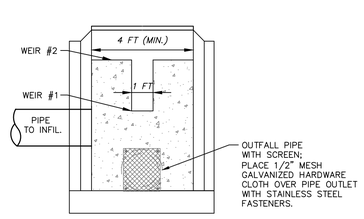
TYP. INFILTRATION TRENCH SYSTEM
NOT TO SCALE



PLAN

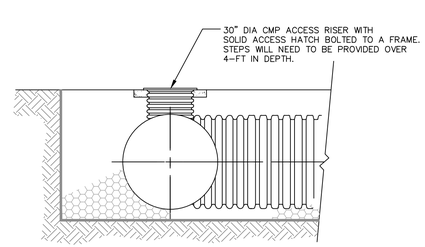


SECTION A–A



SECTION B–B

EXISTING SPLITTER OUTLET BOX (TYP.)
NOT TO SCALE



TYP. CMP ACCESS RISER
NOT TO SCALE

REV.NO.	DESCRIPTIONS	DATE
4	TRC PERMITTING SET PER FEB 2014 COMMENTS; CCW CONSTRUCTION RELEASE SET	03/09/15
3	REISSUED TO CITY FOR TRC COMMENTS	02/06/15
2	APARTMENT PERMITTING SET TO NHC	01/23/15
1	TRC PERMITTING SET PER DEC 2014 COMMENTS	01/20/15

REVISIONS

SEAL

SEAL
NORTH CAROLINA PROFESSIONAL SEAL 034354 ENGINEER JAMES BRANCH SMITH
03/09/15

McKIM&CREED
243 North Front Street
Wilmington, NC 28401
Phone: (910)343-1048, Fax: (910)251-8282
NC LICENSE F-1222
www.mckimcreed.com

SYMPHONY properties
Orchestrating REAL Solutions

SAWMILL POINT APARTMENTS
1015 NUTT STREET
WILMINGTON, NORTH CAROLINA

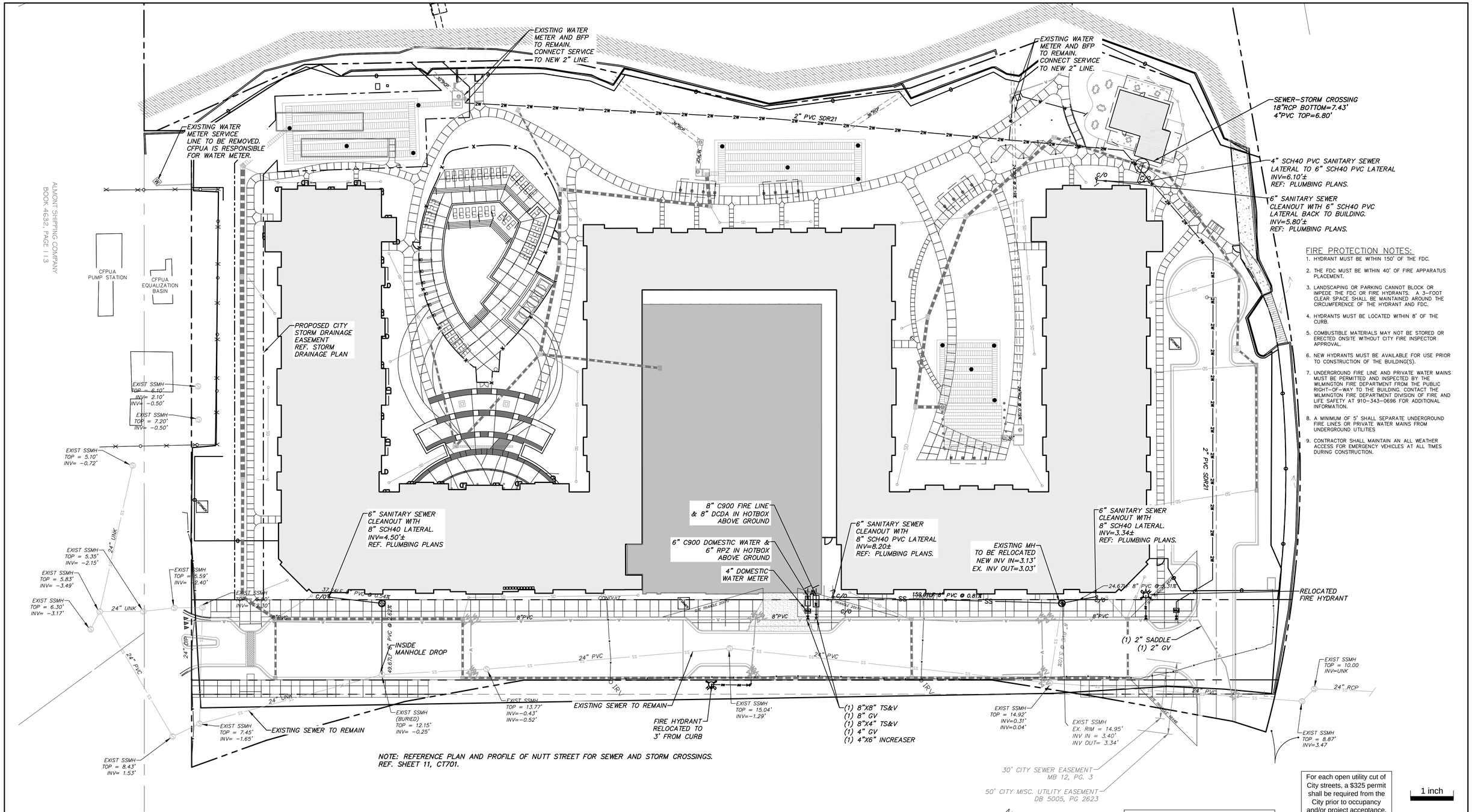
INFILTRATION TRENCH SYSTEM
AND OUTLET STRUCTURE DETAILS

DATE:	16 DEC 2014
MCE PROJ. #	06586-0001
DRAWN	TCM/RAC
DESIGNED	JBS/TCM/RAC
CHECKED	JBS/RMC
PROJ. MGR.	RMC

SCALE
HORIZONTAL: N/A
VERTICAL:

M&C FILE NUMBER: CG502
DRAWING NUMBER: 9

STATUS: FINAL DESIGN
NOT FOR CONSTRUCTION
REVISION: 4



FIRE PROTECTION NOTES:

1. HYDRANT MUST BE WITHIN 150' OF THE FDC.
2. THE FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
3. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
4. HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
5. COMBUSTIBLE MATERIALS MAY NOT BE STORED OR ERECTED ONSITE WITHOUT CITY FIRE INSPECTOR APPROVAL.
6. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDING(S).
7. UNDERGROUND FIRE LINE AND PRIVATE WATER MAINS MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
8. A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM UNDERGROUND UTILITIES
9. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

1 inch

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT #_____
SIGNED_____

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

REV.NO.	DESCRIPTIONS	DATE
4	TRC PERMITTING SET PER FEB 2014 COMMENTS; COW CONSTRUCTION RELEASE SET	03/09/15
3	REISSUED TO CITY FOR TRC COMMENTS	02/06/15
2	APARTMENT PERMITTING SET TO NHC	01/23/15
1	TRC PERMITTING SET PER DEC 2014 COMMENTS	01/20/15

REVISIONS

SEAL

SEAL
NORTH CAROLINA PROFESSIONAL SEAL 034354 ENGINEER JAMES BRANCH SMITH
03/09/15

McKIM&CREED
243 North Front Street
Wilmington, NC 28401
Phone: (910)343-1048, Fax: (910)251-8282
NC LICENSE F-1222
www.mckimcreed.com

SYMPHONY properties
Orchestrating REAL Solutions

SAWMILL POINT APARTMENTS
1015 NUTT STREET
WILMINGTON, NORTH CAROLINA

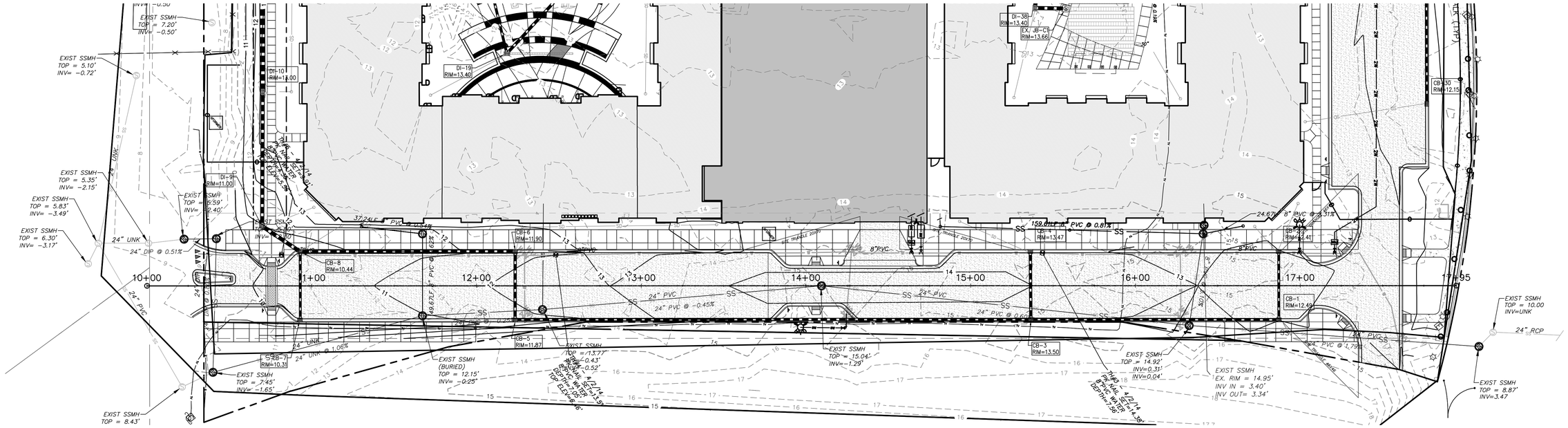
UTILITY PLAN

DATE:	16 DEC 2014
MCE PROJ. #	06586-0001
DRAWN	TCM/RAC
DESIGNED	JBS/TCM/RAC
CHECKED	JBS/RMC
PROJ. MGR.	RMC

SCALE
HORIZONTAL: 1"=30'
VERTICAL:

M&C FILE NUMBER: CU101
DRAWING NUMBER: 10

STATUS: FINAL DESIGN
NOT FOR CONSTRUCTION
REVISION: 4



STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT #_____
SIGNED_____

Approved Construction Plan

Name Date

Planning_____

Traffic_____

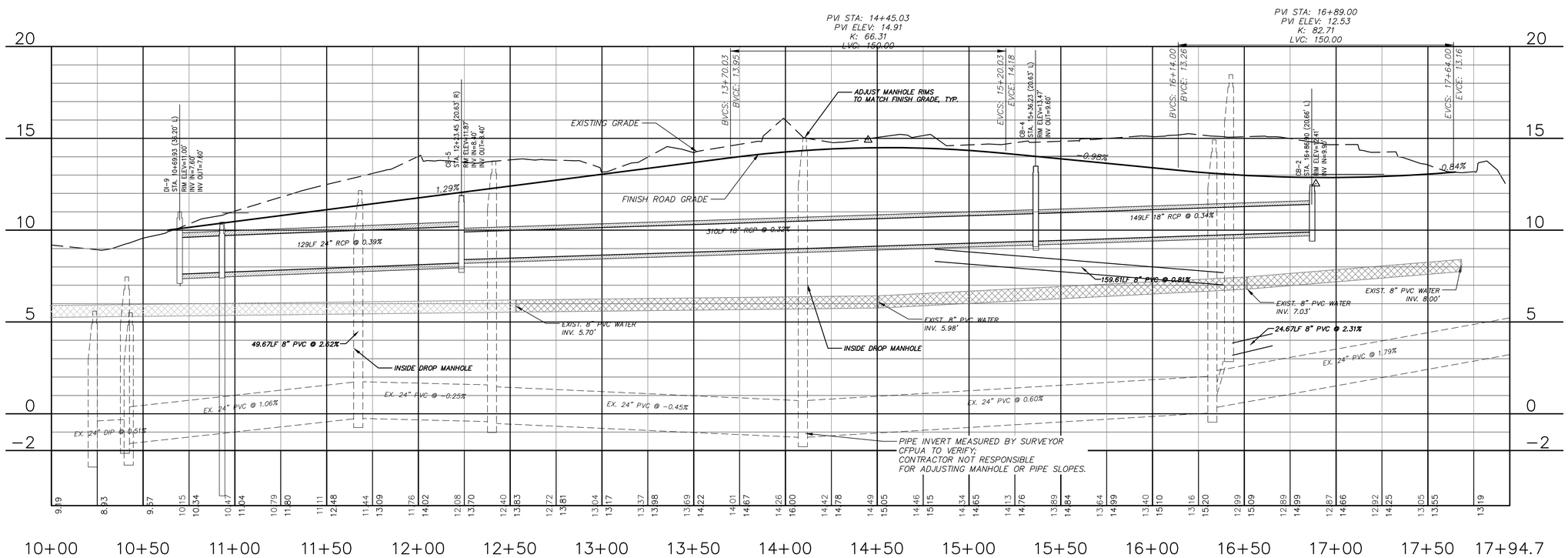
Fire_____

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

1 inch

30' 0 30' 60'

SCALE: 1"=30' (Horiz.)
SCALE: 1"=3' (Vert.)



REV.NO.	DESCRIPTIONS	DATE
4	TRC PERMITTING SET PER FEB 2014 COMMENTS; COW CONSTRUCTION RELEASE SET	03/09/15
3	REISSUED TO CITY FOR TRC COMMENTS	02/06/15
2	APARTMENT PERMITTING SET TO NAC	01/23/15
1	TRC PERMITTING SET PER DEC 2014 COMMENTS	01/20/15

REVISIONS

SEAL

SEAL
NORTH CAROLINA PROFESSIONAL SEAL 034354 ENGINEER JAMES BRANCH SMITH
03/09/15

McKIM&CREED
243 North Front Street
Wilmington, NC 28401
Phone: (910)343-1048, Fax: (910)251-8282
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SYMPHONY properties
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SAWMILL POINT APARTMENTS
1015 NUTT STREET
WILMINGTON, NORTH CAROLINA

NUTT STREET ROADWAY PROFILE

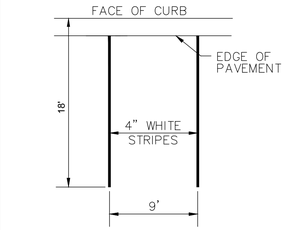
DATE:	16 DEC 2014
MCE PROJ. #	06586-0001
DRAWN	TCM/RAC
DESIGNED	JBS/TCM/RAC
CHECKED	JBS/RMC
PROJ. MGR.	RMC

SCALE
HORIZONTAL: 1"=30'
VERTICAL: 1"=3'

M&C FILE NUMBER CT701
DRAWING NUMBER 11

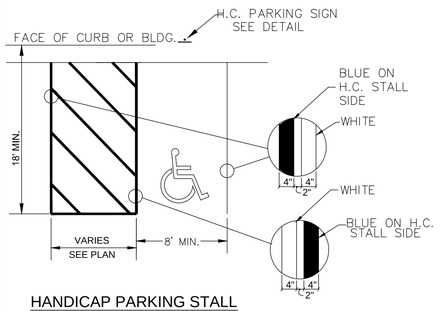
STATUS: FINAL DESIGN
NOT FOR CONSTRUCTION
REVISION 4

S:\06586\0001\06-Drawings\CT701_06586-0001.dwg 3/9/2015 4:25:50 PM bsmith



TYPICAL PARKING STALL

NOT TO SCALE

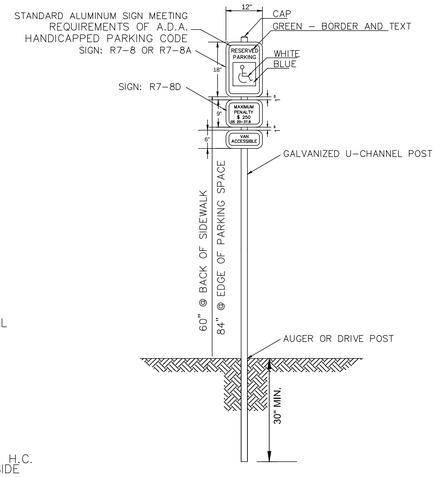


HANDICAP PARKING STALL

NOT TO SCALE

1 CS501 PARKING STRIPING & HANDICAP DETAILS

NOT TO SCALE

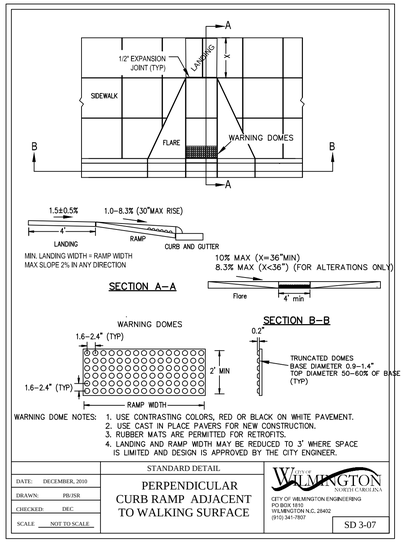


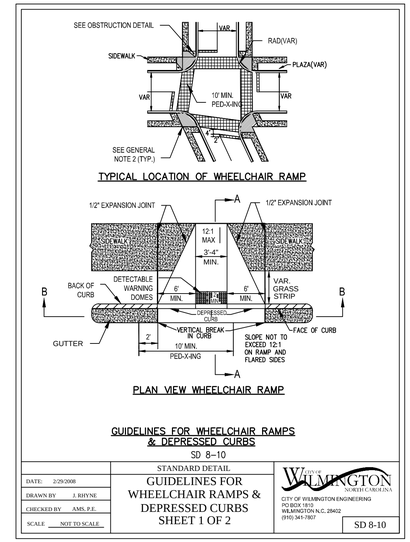
HANDICAP PARKING SIGN

NOT TO SCALE

9 CS501 NCDOT ROAD SIGN DETAILS

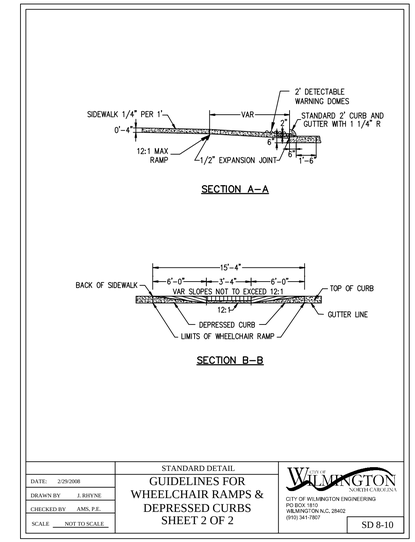
NOT TO SCALE

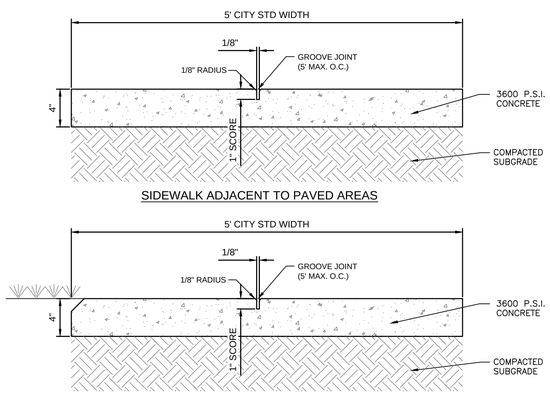




7 CS501 STANDARD CITY HANDICAP RAMP DETAILS

NOT TO SCALE





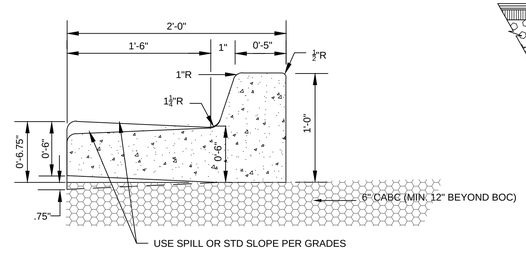
NOTES:

1. A GROOVE JOINT 1" DEEP WITH 1/8" RADII SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS.
2. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 30' INTERVALS.
3. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK ABUTS ANY CURB AND GUTTER AND ANY RIGID STRUCTURES.
4. IN SIDEWALKS AND PLAZA AREAS EXPANSION JOINTS ARE REQUIRED AT NO GREATER THAN 30' INTERVALS.
5. CONCRETE SHALL BE 3600 PSI. IN 28 DAYS.

***REF. LANDSCAPE PLANS AND DETAILS FOR INTERIOR SIDEWALKS AND STREET SIDEWALK JOINT PATTERNS

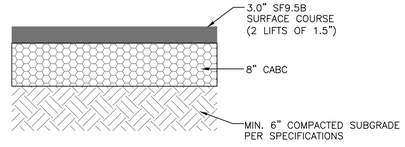
2 CS501 CONCETE SIDEWALK SECTION

NOT TO SCALE (COW SD 8-15)



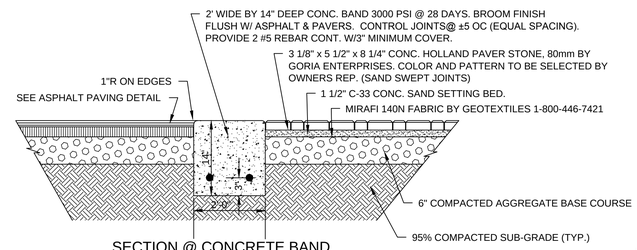
5 CS501 STANDARD 24" CURB & GUTTER (TYPE A)

NOT TO SCALE (COW SD 7-01 & SD 1-02)

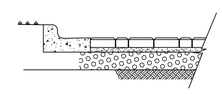


3 CS501 NUTT STREET ASPHALT PAVEMENT SECTION

NOT TO SCALE



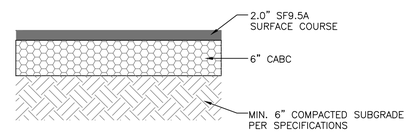
SECTION @ CONCRETE BAND



SECTION @ CURB & GUTTER

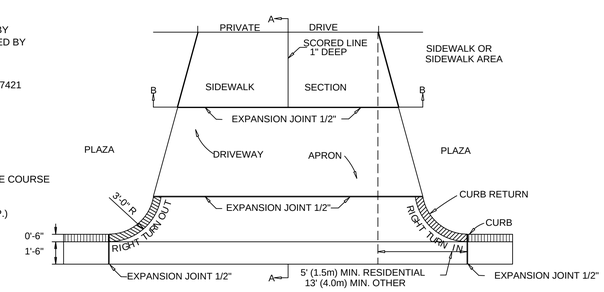
8 CS501 BRICK PAVER CROSSWALK

NOT TO SCALE (COW SD 8-16)

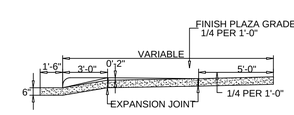


4 CS501 PARKING LOT PAVEMENT SECTION

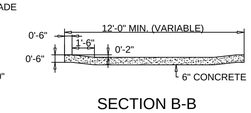
NOT TO SCALE



PAVEMENT PLAN



SECTION A-A



SECTION B-B

6 CS501 STANDARD CONCETE DRIVEWAY

NOT TO SCALE (COW SD 8-02)

1 inch

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____

REV.NO.	DESCRIPTIONS	DATE
4	TRC PERMITTING SET PER FEB 2014 COMMENTS; COW CONSTRUCTION RELEASE SET	03/09/15
3	REISSUED TO CITY FOR TRC COMMENTS	02/06/15
2	APARTMENT PERMITTING SET TO NHC	01/23/15
1	TRC PERMITTING SET PER DEC 2014 COMMENTS	01/20/15

REVISIONS

SEAL

SEAL
NORTH CAROLINA PROFESSIONAL SEAL 034354 ENGINEER JAMES BRANCH SMITH
03/09/15

McKIM&CREED
243 North Front Street
Wilmington, NC 28401
Phone: (910)343-1048, Fax: (910)251-8282
NC LICENSE F-1222
www.mckimcreed.com

SYMPHONY properties
Orchestrating REAL Solutions

SAWMILL POINT APARTMENTS
1015 NUTT STREET
WILMINGTON, NORTH CAROLINA

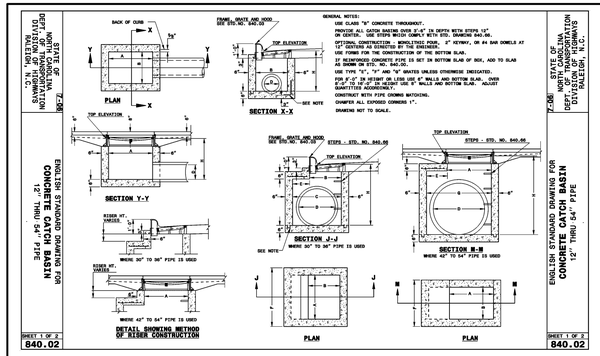
SITE DETAILS

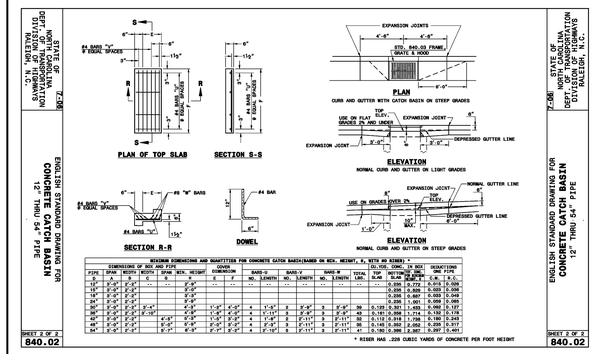
DATE:	16 DEC 2014
MCE PROJ. #	06586-0001
DRAWN	TCM/RAC
DESIGNED	JBS/TCM/RAC
CHECKED	JBS/RMC
PROJ. MGR.	RMC

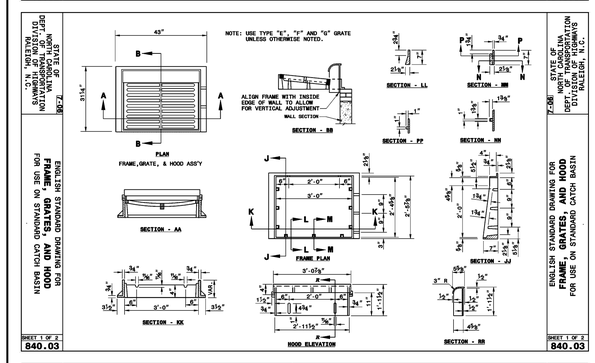
SCALE
HORIZONTAL: N/A
VERTICAL:

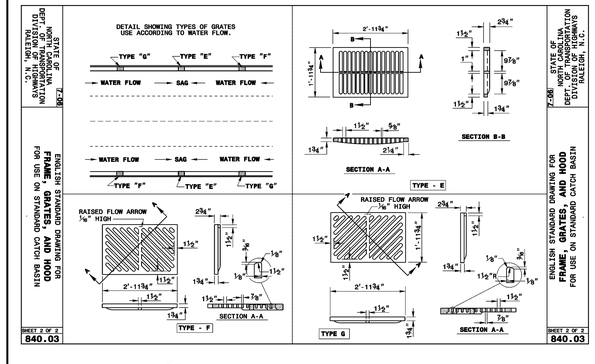
M&C FILE NUMBER CS501
DRAWING NUMBER 12

STATUS: FINAL DESIGN NOT FOR CONSTRUCTION
REVISION 4

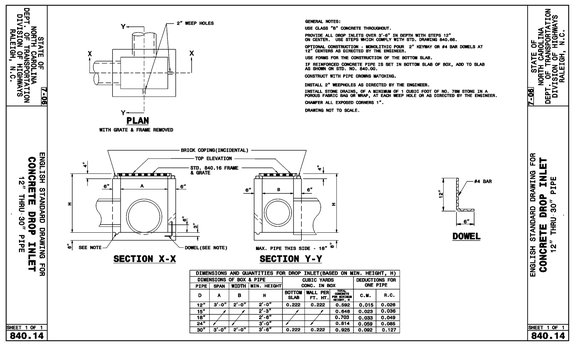


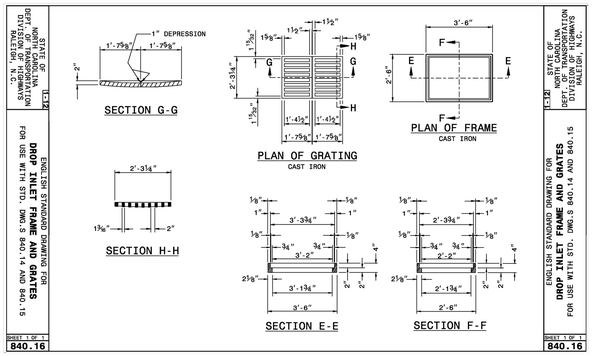






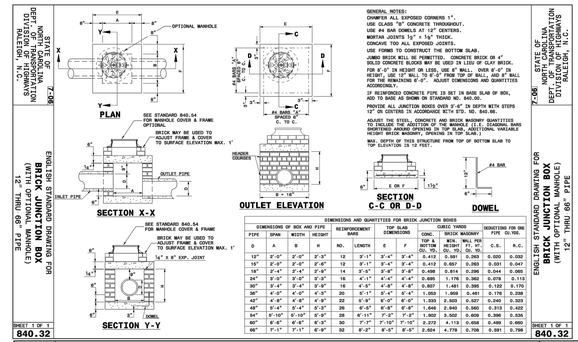
2 CG501 NCDOT CATCH BASIN DETAILS
NOT TO SCALE

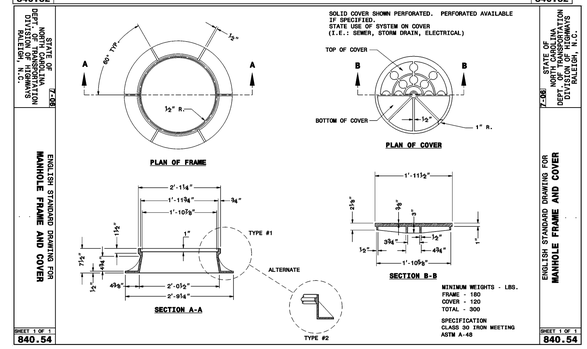




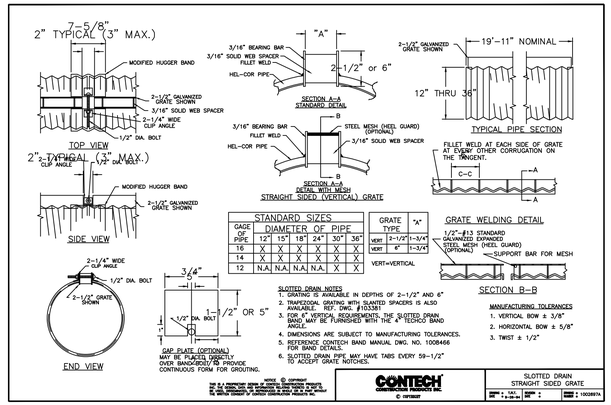
3 CG501 NCDOT DROP INLET DETAILS
NOT TO SCALE

NOTE:
1. STAMP FRA,ME AND GRATES AS "DO NOT DUMP, DRAINS TO STREAMS" OR GLUE MEDALLION AS APPROVED BY ENGINEER OR CITY OF WILMINGTON.

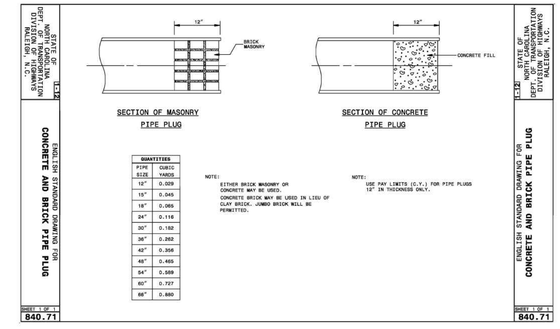




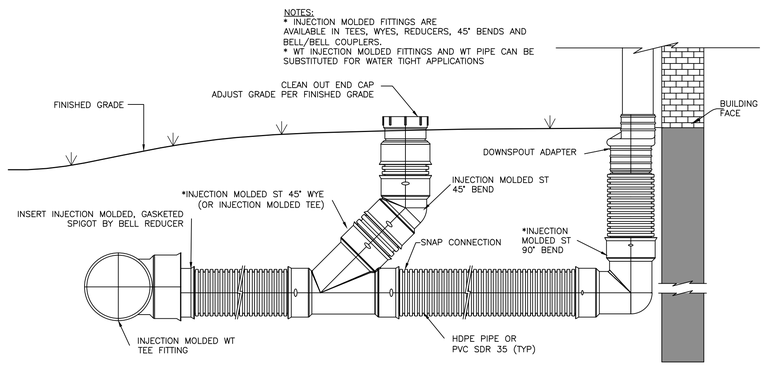
4 CG501 NCDOT JUNCTION BOX DETAILS
NOT TO SCALE



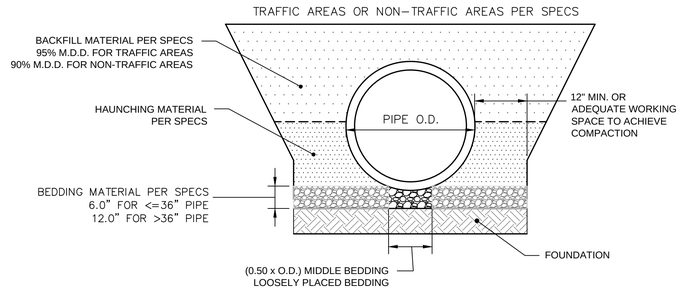
5 CG501 CONTECH SLOT DRAIN DETAIL
NOT TO SCALE



6 CG501 NCDOT BRICK PIPE PLUG
NOT TO SCALE



7 CG501 ROOF DRAIN CLEANOUT AND PIPE DETAIL
NOT TO SCALE



NOTES:
1. INSTALLATION DETAIL REFERENCES ASTM C-1479, "STANDARD PRACTICE FOR INSTALLATION OF CONCRETE SEWER, STORM DRAIN, AND CULVERT PIPE USING STANDARD INSTALLATIONS," LATEST EDITION.
2. EXCAVATION FOR STORM DRAINAGE PIPE SHALL BE TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.
3. THE BEDDING SHALL PROVIDE A FIRM FOUNDATION OF UNIFORM DENSITY ALONG THE ENTIRE LENGTH OF PIPE. RECESSES SHALL BE MADE TO ACCOMMODATE BELLS AND JOINTS.
4. WHERE UNSUITABLE SOILS ARE ENCOUNTERED AS DEFINED PER THE SPECIFICATIONS, UNSUITABLE SOILS MUST BE UNDERCUT AND FILLED WITH SUITABLE SOIL AND COMPACTED TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT IN ACCORDANCE WITH ASTM D 698.

1 CG501 CONCRETE PIPE TRENCH DETAIL
NOT TO SCALE (REF. ACPA GUIDELINES)

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

1 inch

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT #_____
SIGNED_____

REV.NO.	DESCRIPTIONS	DATE
4	TRC PERMITTING SET PER FEB 2014 COMMENTS; COW CONSTRUCTION RELEASE SET	03/09/15
3	REISSUED TO CITY FOR TRC COMMENTS	02/06/15
2	APARTMENT PERMITTING SET TO NHC	01/23/15
1	TRC PERMITTING SET PER DEC 2014 COMMENTS	01/20/15

REVISIONS

SEAL

SEAL
NORTH CAROLINA PROFESSIONAL SEAL 034354 ENGINEER JAMES BRANCH SMITH
03/09/15

McKIM&CREED
243 North Front Street
Wilmington, NC 28401
Phone: (910)343-1048, Fax: (910)251-8282
NC LICENSE F-1222
www.mckimcreed.com

SYMPHONY properties
Orchestrating REAL Solutions

SAWMILL POINT APARTMENTS
1015 NUTT STREET
WILMINGTON, NORTH CAROLINA

STORM DRAINAGE AND GRADING DETAILS

DATE:	16 DEC 2014
MCE PROJ. #	06586-0001
DRAWN	TCM/RAC
DESIGNED	JBS/TCM/RAC
CHECKED	JBS/RMC
PROJ. MGR.	RMC

SCALE
HORIZONTAL: N/A
VERTICAL:

M&C FILE NUMBER CG501
DRAWING NUMBER 13

STATUS: FINAL DESIGN
NOT FOR CONSTRUCTION
REVISION 4

VEGETATION PLAN SPECIFICATIONS

1. ALL DISTURBED AREAS SHALL BE DRESSED TO THE EXISTING TYPICAL SECTION AND TILLED OR RIPPED TO A MIN. DEPTH OF 4–INCHES. THE TOP 2 INCHES SHALL BE PULVERIZED TO PROVIDE A UNIFORM SEEDBED.
2. LIME AND FERTILIZER SHOULD BE INCORPORATED INTO THE SOIL PRIOR TO SEEDING OR SOD. FOLLOW SOIL TESTS OR AS FOLLOWS:
   AGRICULTURAL LIMESTONE – 2 TONS/ACRE
   FERTILIZER – 1000 LBS/ACRE (10–10–10)
   SUPERPHOSPHATE – 500 LBS/ACRE (20%)
   MULCH – 2 TONS/ACRE (SMALL GRAIN STRAW)
   ANCHOR – ASPHALT EMULSION AT 450 GAL/ACRE
3. FOR OPEN AREAS, USE STRAW MULCH AS A MINIMUM FOR STABILIZATION IF THE AREAS CANNOT BE SEEDED ACCORDING TO THE PLANTING DATES. OTHER MULCHING PRACTICES ARE LISTED IN SECTION 6.14 OF THE EROSION CONTROL MANUAL FOR MULCHING.
4. FOR DITCHES AND SLOPES, USE EXCELSIOR MATTING AS A MINIMUM FOR STABILIZATION IF THE AREAS CANNOT BE SEEDED ACCORDING TO THE PLANTING DATES. OTHER MATTING PRACTICES ARE LISTED IN SECTION 6.14 OF THE EROSION CONTROL MANUAL FOR MULCHING.
5. CHEMICAL STABILIZERS MAY BE USED, BUT IT IS NOT RECOMMENDED FOR VEGETATION GROWTH. REFER TO THE EROSION CONTROL MANUAL FOR A LIST OF STABILIZERS AND FOLLOW MANUFACTURER'S SPECIFICATIONS.
6. THE FOLLOWING TABLES ARE REFERENCED FROM NC EROSION CONTROL MANUAL SEC. 6.10 AND 6.11, AND THE STABILIZATION TABLE IS REFERENCED FROM NPDES NCG 010000.

TEMPORARY SEEDING

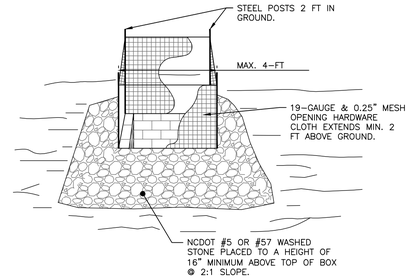
GRASS TYPE	AMOUNT/ 1000 S.F.	TIME OF SEEDING	INITIAL
RYE GRAIN	1–2 LBS.	APRIL – JUNE	25 LBS. 10–10–10
BROWNTOP MILLET	1–2 LBS	JUNE – AUGUST	25 LBS 10–10–10

PERMANENT SEEDING

GRASS TYPE	AMOUNT/ 1000 S.F.	TIME OF SEEDING	INITIAL
BERMUDA, COMMON	1–2 LBS.	APRIL – JUNE	25 LBS. 10–10–10
FESCUE, TALL (KENTUCKY 31)	5–7 LBS	JUNE – AUGUST FEB. – OCT.	25 LBS 10–10–10
SERICEA LESPEDEZA (SLOPES)	1–2 LBS	MARCH – APRIL	25 LBS 10–10–10

GROUND STABILIZATION CRITERIA

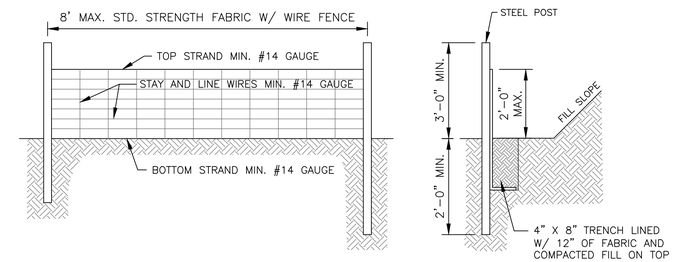
SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10 FT OR LESS IN IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FT IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)



NOTES:
1. DRIVE 5–FOOT STEEL POSTS (1.25 lb/lf steel) 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
2. SURROUND THE POSTS WITH AT LEAST 19–GAUGE HARDWARE CLOTH WITH A 1/4–INCH MESH OPENING. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM FOR A MIN. 2 FEET ABOVE THE GROUND. PLACING A 2–FOOT FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING AND REMOVAL IS RECOMMENDED.
3. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET. THE TOP ELEVATION OF THE STRUCTURE MUST BE AT LEAST 12–INCHES LOWER THAN THE SURROUNDING GROUND ELEVATION DOWNSLOPE FROM THE INLET TO ENSURE THAT STORM FLOWS GET INTO THE INTENDED INLET; UNLESS OTHER SEDIMENT–CONTROL DEVICES ARE INSTALLED TO PREVENT OFF–SITE SEDIMENT–RUNOFF.

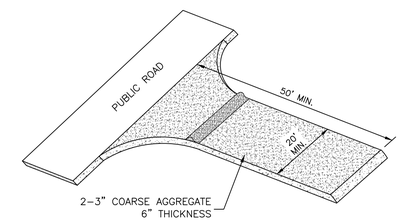
ALTERNATE MEASURE:
THE USE OF INLET SACK BAGS OR PYRAMID SHAPED STEEL STRUCTURES MAY BE USED AS AN ALTERNATE MEASURE DEVICE. CONTACT TRIANGLE STORMWATER SOLUTIONS OR OTHER MANUFACTURERS.

TEMPORARY INLET PROTECTION
NOT TO SCALE
NCDENR PRACTICE STD. 6.51

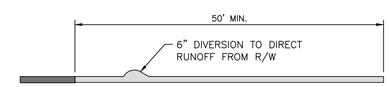


NOTES:
1. WIRE FENCE (IF USED) SHALL BE MINIMUM 14 GAUGE WITH A MAXIMUM MESH OPENING OF 6–INCHES.
2. SYNTHETIC FILTER FABRIC OF AT LEAST 95% BY WEIGHT OF POLYOLEFIN'S OR POLYESTER, WHICH IS CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE REQUIREMENTS IN ASTM D 6461 AND ALSO SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS ACCORDING TO ASTM D 4355.
3. SEE THE NC EROSION CONTROL MANUAL FOR SPECIFICATIONS INSTALLING SEDIMENT FENCE USING THE SLICING METHOD MACHINERY.

TEMPORARY SILT FENCE
NOT TO SCALE
NCDENR PRACTICE STD. 6.62

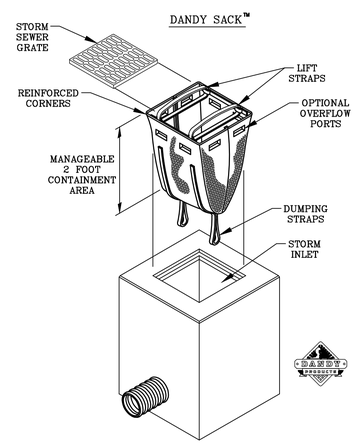


PLAN VIEW



SECTION VIEW

TEMPORARY CONSTRUCTION ENTRANCE
NOT TO SCALE
NCDENR PRACTICE STD. 6.06



DANDY SACK™ SPECIFICATIONS

NOTE: THE DANDY SACK™ WILL BE **MANUFACTURED IN THE U.S.A.** FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

REGULAR FLOW DANDY SACK™ (BLACK)

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.78 (400) x 1.40 (315)
Grab Tensile Elongation	ASTM D 4632	%	15 x 10
Puncture Strength	ASTM D 4833	kN (lbs)	0.67 (150)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	5506 (800)
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.67 (150) x 0.73 (165)
UV Resistence	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm. (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	l/min/m² (gal/min/ft²)	2852 (70)
Permittivity	ASTM D 4491	Sec⁻¹	0.90

HI–FLOW DANDY SACK™ (SAFETY ORANGE)

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.62 (365) X 0.89 (200)
Grab Tensile Elongation	ASTM D 4632	%	24 X 10
Puncture Strength	ASTM D 4833	kN (lbs)	0.40 (90)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	3097 (450)
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.51 (115) X 0.33 (75)
UV Resistence	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm. (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	l/min/m² (gal/min/ft²)	5907 (145)
Permittivity	ASTM D 4491	Sec⁻¹	2.1

*Note: All Dandy Sacks™ can be ordered with our optional oil absorbent pillows

TEMPORARY DANDY SACK® INLET PROTECTION
NOT TO SCALE

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

1 inch

Approved Construction Plan

Name Date

Planning_____

Traffic_____

Fire_____

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT #_____
SIGNED_____

REV.NO.	DESCRIPTIONS	DATE
4	TRC PERMITTING SET PER FEB 2014 COMMENTS; CCW CONSTRUCTION RELEASE SET	03/09/15
3	REISSUED TO CITY FOR TRC COMMENTS	02/06/15
2	APARTMENT PERMITTING SET TO NHC	01/23/15
1	TRC PERMITTING SET PER DEC 2014 COMMENTS	01/20/15

REVISIONS

SEAL

SEAL
NORTH CAROLINA PROFESSIONAL SEAL 034354 ENGINEER JAMES BRANCH SMITH
03/09/15

McKIM&CREED
243 North Front Street
Wilmington, NC 28401
Phone: (910)343-1048, Fax: (910)251-8282
NC LICENSE F-1222
www.mckimcreed.com

SYMPHONY properties
Orchestrating REAL Solutions

SAWMILL POINT APARTMENTS
1015 NUTT STREET
WILMINGTON, NORTH CAROLINA

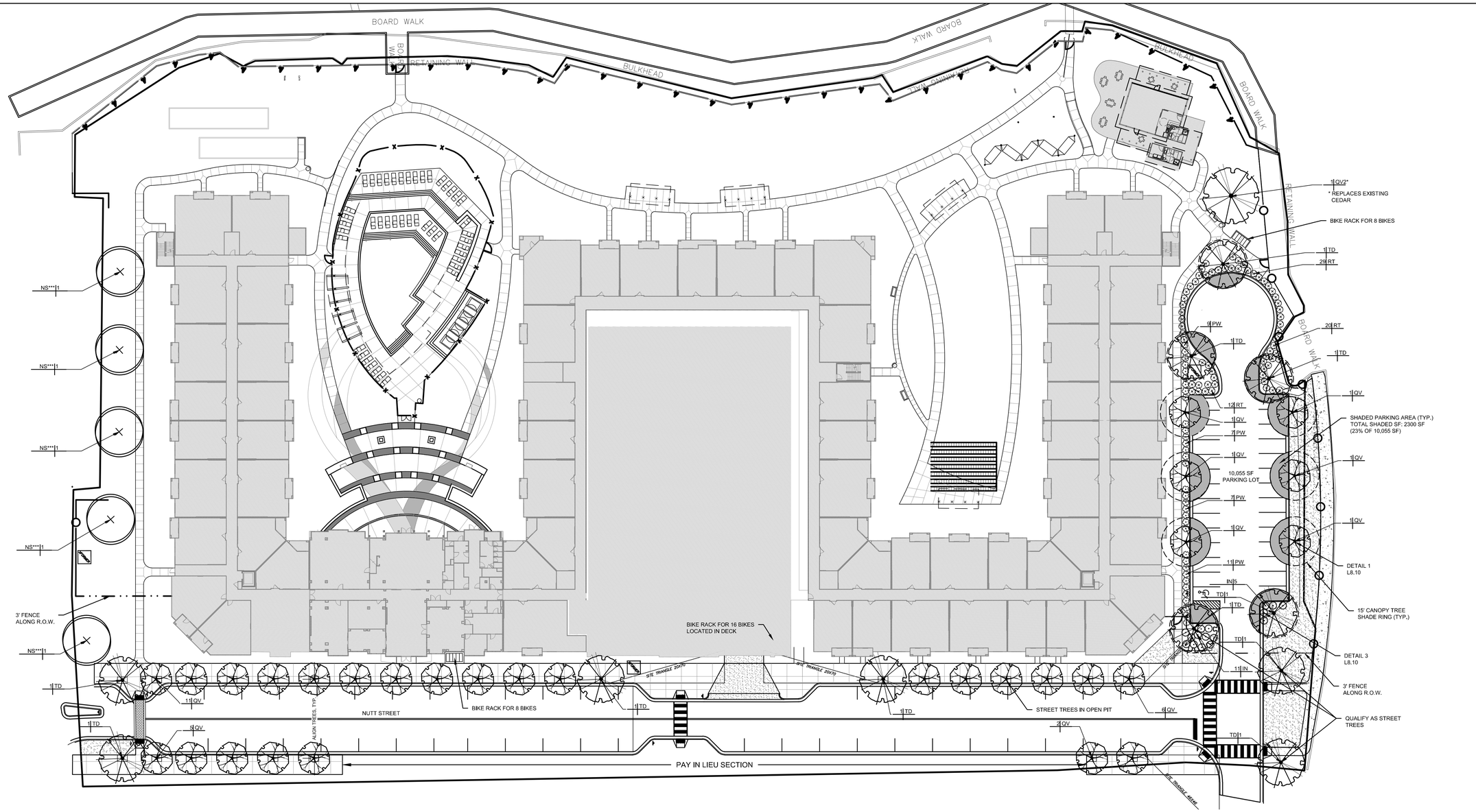
SEDIMENT & EROSION CONTROL DETAILS

DATE:	16 DEC 2014
MCE PROJ. #	06586-0001
DRAWN	TCM/RAC
DESIGNED	JBS/TCM/RAC
CHECKED	JBS/RMC
PROJ. MGR.	RMC

SCALE
HORIZONTAL: N/A
VERTICAL:

M&C FILE NUMBER CE501
DRAWING NUMBER 14

STATUS: FINAL DESIGN
NOT FOR CONSTRUCTION
REVISION 4



CBD - STREET TREES - NUTT STREET

LENGTH OF STREET FRONTAGE	REQUIRED	PROVIDED
WEST: 660 LINEAR FEET*	22 (1 PER 30 LF)	22
EAST: 265 LINEAR FEET**	9 (1 PER 30 LF)	9

*LINEAR FOOTAGE DOES NOT INCLUDE DRIVEWAY
** LINEAR FOOTAGE DOES NOT INCLUDE PAY IN LIEU SECTION BETWEEN PROPOSED SIDEWALKS

PLANT SCHEDULE

CANOPY TREES:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	ROOT	SPACING	REMARKS
QV	30	Quercus virginiana 'High Rise'	High Rise Live Oak	2.5" CAL		B&B	As Shown	
TD	11	Taxodium distichum 'Autumn Gold'	Bald Cypress	2.5" CAL		B&B	As Shown	
QV2	1	Quercus virginiana	Southern Live Oak	2.5" CAL		B&B	As Shown	
NS***	5	Nyssa sylvatica	Sour Gum	2.5" CAL		B&B	As Shown	

***5 TREES TO MITIGATE THE REMOVAL OF THE CEDAR AS REQUIRED

SHRUBS:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	ROOT	SPACING	REMARKS
PW	34	Pittosporum tobira 'Wheeler's Dwarf'	Dwarf Pittosporum		18" MIN	CONT	As Shown	
IN	16	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly		36" MIN	CONT	As Shown	Parking Screening
RT	61	Rhaphiolepis umbellata 'Eleanor Tabor'	Indian Hawthorne		18" MIN	CONT	As Shown	

0 15 30 60

NORTH

HOUSING STUDIO
333 West Trade Street, Suite 300
Charlotte, NC 28202
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STEWART
421 FAYETTEVILLE ST, STE 400
RALEIGH, NC 27601
T 919.380.8750
FIRM LICENSE #: C-1051
www.stewartinc.com
PROJECT # C13043

SAWMILL POINT

WILMINGTON, NORTH CAROLINA

SYMPHONY properties
Orchestrating REAL Solutions

NORTH CAROLINA REGISTERED LANDSCAPE ARCHITECT 1791 JENNIFER L. IWASAKI 5-9-15

Project No: 1321
Issue Date: 09 March 2015
Issued For: Permit - For Construction

Key Plan

LANDSCAPE PLAN

L8.00

LANDSCAPING NOTES:

1. ALL TREES TO BE A MINIMUM OF 2.5" IN CALIPER AND MUST MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
2. TREE PROTECTION NOTE: PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
3. PURSUANT TO ARTICLE 8, SEC 18-196 CB. CENTRAL BUSINESS DISTRICT. E.1: NO SETBACKS/ BUFFERS REQUIRED EXCEPT WHERE ABUTTING A RESIDENTIAL DISTRICT.
4. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30"-10'. [SEC. 18-566 COFW LDC]

DETAILS

NOTES:

1) PERFORM PERCOLATION TEST FOR EACH TREE PIT. PROVIDE GRAVEL SUMP FILTER FABRIC & VENT PIPE IF DRAINAGE DOES NOT OCCUR WITHIN 24 HOURS. INCLUDE ALL SUMPS IN BASE BID. SHOULD SUMPS NOT BE NECESSARY AFTER PERCOLATION TEST, PROVIDE CHANGE ORDER DEDUCT TO OWNER.

2) IF PLANTING HOLES ARE DUG WITH A LARGE AUGER BREAKING DOWN THE SIDES WITH A SHOVEL CAN ELIMINATE GLAZING AND CREATE THE PREFERRED SLOPING SIDE.

3) WHERE SEVERAL TREES WILL BE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE, TILL IN SOIL AMENDMENTS TO A DEPTH OF 6" TO THE WHOLE AREA.

4) DO NOT USE SHARP TOOLS SUCH AS FORKS OR SHARP HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.

5) DURING THE DESIGN PHASE, CONFIRM THAT WATER DRAINS OUT OF THE SOIL; USE LOWERED PLANTING HOLE DEPTH AND DESIGN ALTERNATIVE DRAINAGE SYSTEM AS REQUIRED.

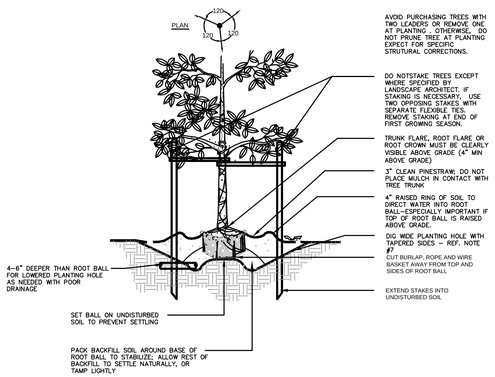
6) THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.

7) THE PLANTING PROCESS IS SIMILAR FOR DECIDUOUS AND EVERGREEN TREES.

8) DO NOT WRAP TRUNK; MARK NORTH SIDE OF TREE IN THE NURSERY AND LOCATE TO THE NORTH IN THE FIELD.

9) WIDTH OF PLANTING HOLE IS 3X ROOT BALL DIAMETER IN HIGHLY COMPACTED OR CLAY SOIL; 2X THE ROOT BALL DIAMETER MINIMUM IN ALL OTHERS

10) BEFORE PLANTING, ADD 3–4" OF WELL COMPOSTED LEAVES, RECYCLED YARD WASTE OR OTHER COMPOST AND TILL INTO TOP 8" OF PREPARED SOIL. ADD COMPOST AT 20–35% BY VOLUME TO BACKFILL.

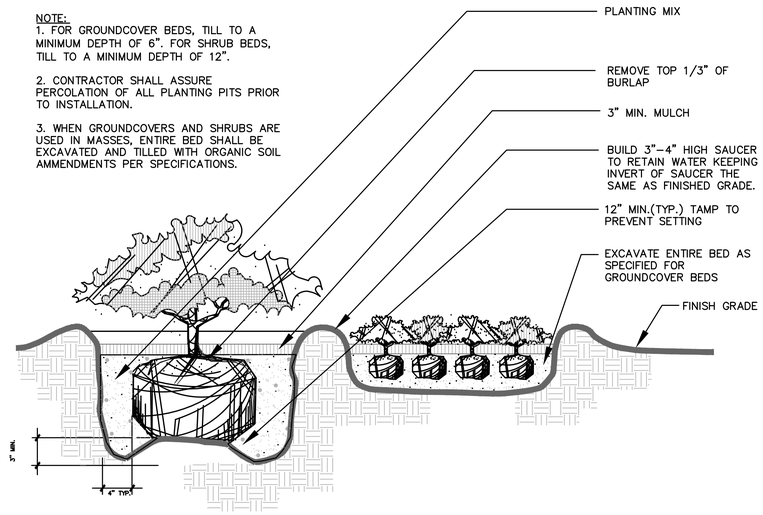


1 LARGE TREE
L8.01 SECTION/ELEVATION
NOT TO SCALE

NOTE:
1. FOR GROUNDCOVER BEDS, TILL TO A MINIMUM DEPTH OF 6". FOR SHRUB BEDS, TILL TO A MINIMUM DEPTH OF 12".

2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

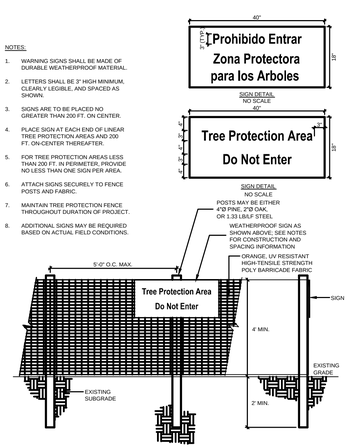
3. WHEN GROUNDCOVERS AND SHRUBS ARE USED IN MASSES, ENTIRE BED SHALL BE EXCAVATED AND TILLED WITH ORGANIC SOIL AMMENDMENTS PER SPECIFICATIONS.



3 SHRUB AND GROUNDCOVER
L8.01 SECTION/ELEVATION
NOT TO SCALE

NOTES:

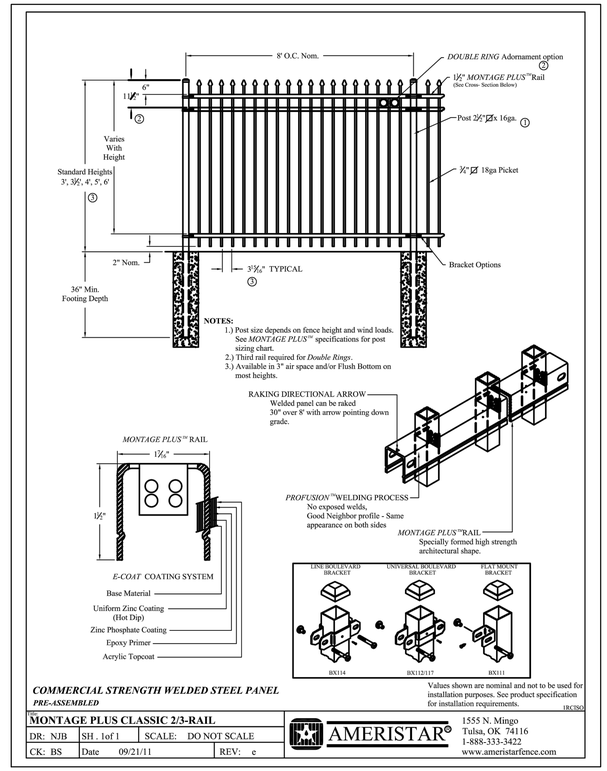
1. WARNING SIGNS SHALL BE MADE OF DURABLE WEATHERPROOF MATERIAL.
2. LETTERS SHALL BE 3" HIGH MINIMUM, CLEARLY LEGIBLE, AND SPACED AS SHOWN.
3. SIGNS ARE TO BE PLACED NO GREATER THAN 200 FT. ON CENTER.
4. PLACE SIGN AT EACH END OF LINEAR TREE PROTECTION AREAS AND 200 FT. ON-CENTER THEREAFTER.
5. FOR TREE PROTECTION AREAS LESS THAN 200 FT. IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER AREA.
6. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
7. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
8. ADDITIONAL SIGNS MAY BE REQUIRED BASED ON ACTUAL FIELD CONDITIONS.



CLEARLY MARK THE TREE TO BE SAVED PRIOR TO CONSTRUCTION AND ERECT A PROTECTIVE BARRIER AT THE DRIP LINE. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO HEAVY MATERIALS SHALL BE STORED BENEATH TREES. RESULTS OF COMPACTION CAUSE WATER AND AIR NOT TO REACH THE ROOTS AND THE TREE WILL DIE. THESE FEEDING ROOTS OCCUR WELL AWAY FROM THE BASE OF THE TREE TO THE OVERHEAD BRANCH CANOPY. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. THE PROTECTION BARRIER SHOULD PREVENT DAMAGE FROM OCCURRING DURING CONSTRUCTION.

TREE PROTECTION FENCE & SIGNAGE MUST BE IN PLACE PRIOR TO AND THROUGHOUT CONSTRUCTION ACTIVITIES. INSTALL TREE PROTECTION FENCE AROUND DRIPLINE OF THE EXISTING TREE.

2 TREE PROTECTION DETAIL
L8.01 SECTION/ELEVATION



4 AMERISTAR SECURITY FENCE - 3' HEIGHT
L8.01 SECTION/ELEVATION

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SAWMILL POINT
WILMINGTON, NORTH CAROLINA

SYMPHONY properties
Orchestrating REAL Solutions

NORTH CAROLINA REGISTERED LANDSCAPE ARCHITECT 1791 JENNIFER L. WAGNER
3-9-15

Project No: 1321
Issue Date: 09 March 2015
Issued For: Permit - For Construction

Key Plan

LANDSCAPE DETAILS

L8.10