

SAWMILL POINT APARTMENTS

1015 NUTT ST.

WILMINGTON, NORTH CAROLINA

TRC PERMIT SET

FEBRUARY 6, 2015

FINAL DESIGN - NOT FOR CONSTRUCTION

SHEET INDEX - SAWMILL POINT

SHEET #	FILE #	DESCRIPTION
1	G-001	COVER SHEET
SURVEY - ARNOLD CARSON, PLS EXISTING CONDITIONS SURVEY		
3	CE-101	SEDIMENT & EROSION CONTROL PLAN - STAGE 1
4	CE-102	SEDIMENT & EROSION CONTROL PLAN - STAGE 2
5	CD-101	DEMOLITION PLAN
6	CS-101	SITE PLAN
7	CG-101	GRADING PLAN
8	CG-102	STORM DRAINAGE PLAN
9	CG-502	STORMWATER MANAGEMENT DETAILS
10	CU-101	UTILITY PLAN
11	CT-701	NUTT STREET ROADWAY PROFILE
12	CS-501	SITE DETAILS
13	CG-501	STORM DRAINAGE DETAILS
14	CE-501	SEDIMENT & EROSION CONTROL DETAILS
15	CU-501	GFPUA STD. DETAILS
16	CU-502	GFPUA STD. DETAILS
17	CU-503	GFPUA STD. DETAILS
18	CU-504	GFPUA STD. DETAILS
19	CU-506	GFPUA STD. DETAILS
20	CU-506	GFPUA STD. DETAILS
	L.800	LANDSCAPE PLANS BY STEWART, INC.
	L.810	LANDSCAPE PLANS BY STEWART, INC.

OWNER / DEVELOPER:

SAWMILL POINT APARTMENTS, LLC
103 TORREY PINES DRIVE
CARY, NORTH CAROLINA 27513

OWNER'S DESIGNATED REPRESENTATIVE:

BLAIR M. BOOTH, PRESIDENT
SAWMILL POINT APARTMENTS, LLC
bbooth@symphony-properties.com
(919) 439-1040

PROJECT ENGINEER / REPRESENTATIVE:

J. BRANCH SMITH, PE
McKIM & CREED, INC.
243 NORTH FRONT STREET
WILMINGTON, NORTH CAROLINA 28401
brsmith@mckimcreed.com
(910) 343-1048

PROJECT ADDRESS:

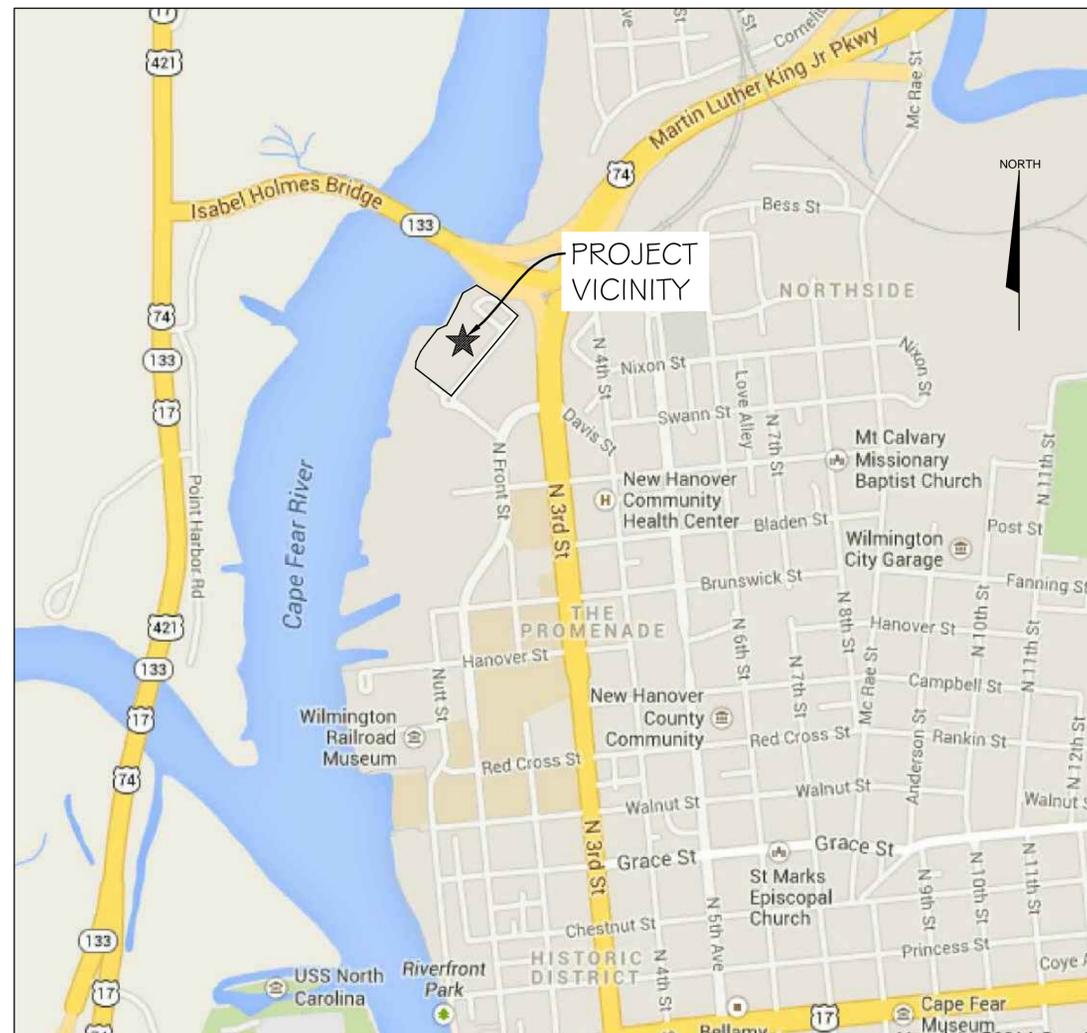
1015 NUTT STREET
WILMINGTON, NC 28401

TAX PARCEL IDENTIFICATION NUMBER:

R04712-002-003-000

PROPERTY ZONING:

CBD - CENTRAL BUSINESS DISTRICT



REF. GOOGLE MAP IMAGES ONLINE

VICINITY MAP
SCALE: 1" = 1000'

CITY OF WILMINGTON STANDARD NOTES

- CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4949.
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, THE DEVELOPER SHALL CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- ANY BROKEN OR MISSING SIDEWALK PANELS AND CURBING SHALL BE REPLACED BY THE CONTRACTOR.
- CONTACT KAREN DIXON AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION HE SHALL APPLY WITH THE OFPUA IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- CONTACT TRAFFIC ENGINEERING AT (910)341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY UTILITY.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
- PERMITTING OF BUSINESS IDENTIFICATION SIGNAGE IS A SEPARATE PROCESS. NCDOT/CITY OF WILMINGTON WILL NOT ALLOW OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY.



Know what's below.
Call before you dig.



FINAL DESIGN
NOT FOR CONSTRUCTION



243 North Front Street
Wilmington, North Carolina 28401
Phone: (910)343-1048 , Fax: (910)251-8282
NC LICENSE NO. F-1222
www.mckimcreed.com

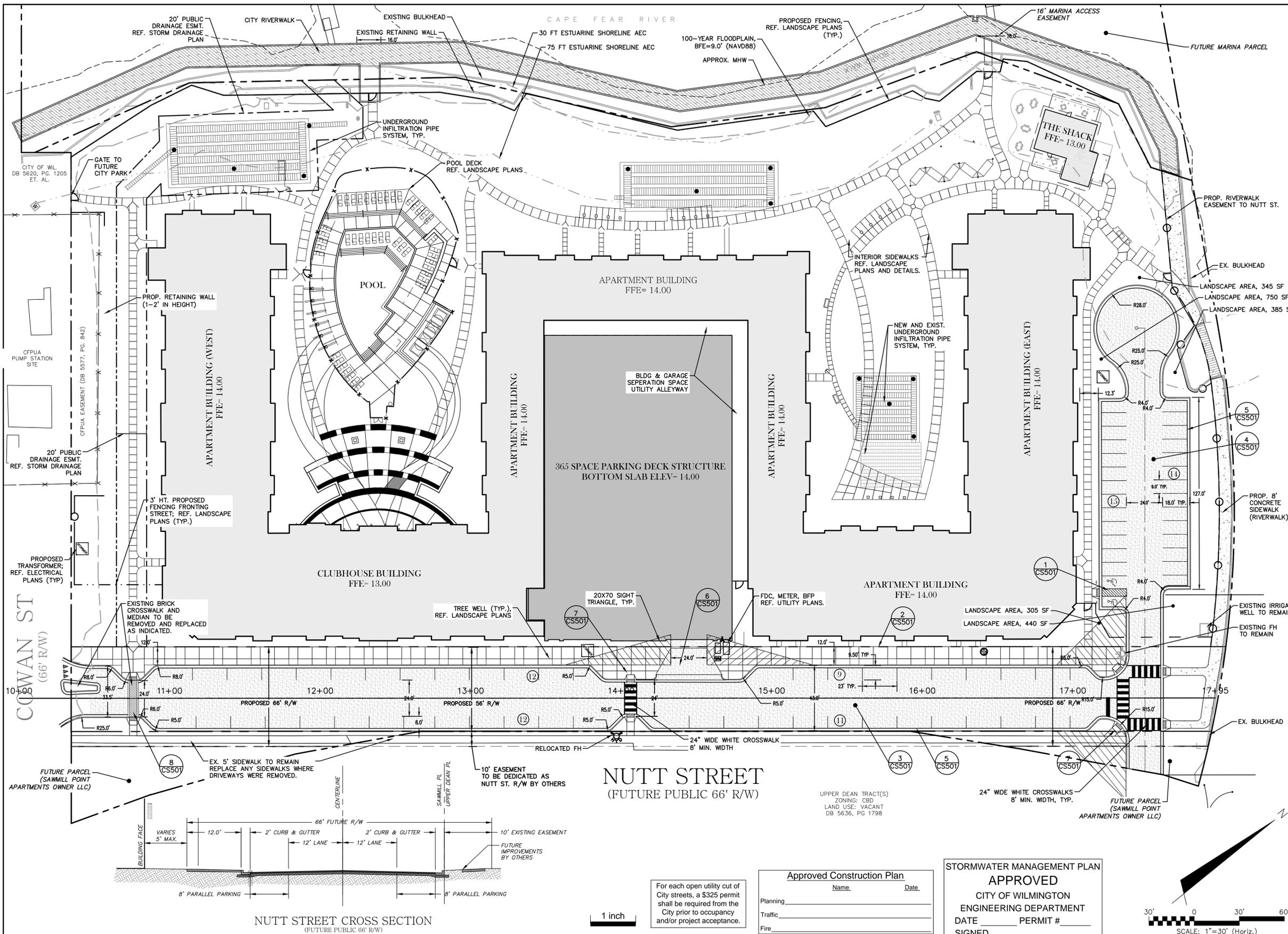


STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____

Approved Construction Plan	
Name	Date
Planning _____	_____
Traffic _____	_____
Fire _____	_____

1 inch

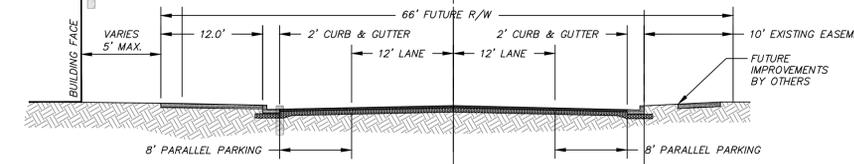
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



SITE DATA TABLE		SAWMILL POINT	
PARCEL ADDRESS	1015 NUTT STREET		
BUILDING SETBACKS	REQUIRED	PROPOSED	
FRONT	ON R/W OR WITHIN 5'	WITHIN 5'	
REAR	0	105', 99', 84'	
SIDE (INTERIOR)	0	86'	
SIDE (CORNER)	0	61'	
TAX PARCEL IDENTIFICATION NUMBER(S)	R04712-002-003-000 R04712-002-004-000		
CURRENT ZONING	CBD-CENTRAL BUSINESS DISTRICT		
TOTAL ACREAGE TO EXISTING HARBOUR LINE	11.13 ACRES (484,823 SF)		
TOTAL ACREAGE WITHIN THE PROPOSED APARTMENT SUBDIVISION	7.56 ACRES (329,385 SF)		
NC BUILDING CODE CONSTRUCTION TYPE	VA		
NUMBER OF UNITS	280		
NUMBER OF BUILDINGS	3		
BUILDING HEIGHT	55'		
NUMBER OF STORIES & SQUARE FEET PER FLOOR	4 STORIES - 84,755 SF/FLOOR		
TOTAL AMOUNT OF DISTURBED AREA	7.11 ACRES		
CAMA LAND USE CLASSIFICATION*	CONSERVATION*		
EXISTING PERMITTED (#2008031) IMPERVIOUS AREA	135,036 SF		
* PROJECT IS LOCATED IN THE "URBAN WATERFRONT" AS DESCRIBED BY COASTAL AREA MANAGEMENT ACT (CAMA).			
IMPERVIOUS AREA (PROPOSED)			
ROOF TOPS	85,173	SF	
ROADWAYS (ON-SITE)	30,683	SF	
PARKING	11,694	SF	
SIDEWALKS	26,174	SF	
OTHER (PARKING DECK)	25,308	SF	
TOTAL S.F. (ONSITE IMPERVIOUS AREA)	179,032	SF	
PERCENTAGE (ONSITE IMPERVIOUS AREA/ONSITE AREA) = 153,724/329,385	46.67	%	
PARKING CALCULATIONS			
PROPOSED USE:	MULTI-FAMILY		
TOTAL SPACES PROVIDED	441 (1.59 SPACES PER UNIT)		
SURFACE PARKING PROVIDED	27 SPACES		
PARKING DECK SPACES PROVIDED	365 SPACES		
SPACES PROVIDED ON NUTT STREET (2 HC)	48 SPACES		
ACCESSIBLE SPACES IN PARKING DECK	10		
ACCESSIBLE SPACES IN SURFACE LOT	2		
ACCESSIBLE SPACES PROVIDED	12 (6 VAN)		
BICYCLE SPACES PROVIDED (5 PER 100 SPACES)	20		
SEC. 18-529, EACH PARKING SPACE LOCATED AT THE PERIMETER OF A PARKING FACILITY SHALL BE EQUIPPED WITH A CURB, WHEEL STOP, OR SIMILAR DEVICE TO PREVENT VEHICLE ENCRoACHMENT BEYOND PROPERTY LINES OF PARKING LOTS AND INTO PEDESTRIAN WAYS OR TRAFFIC AISLES.			
BUILDING FRONTAGE CALCULATIONS			
TOTAL BUILDING FRONTAGE	560 LF		
BUILDING FRONTAGE WITHIN 5' OF R/W REQUIRED	280 LF		
BUILDING FRONTAGE WITHIN 5' OF R/W PROVIDED	299 LF		
FLOOD ZONE INFORMATION			
100-YEAR FLOODPLAIN ELEV.	9' (NAVD 88)		
PROPOSED BUILDING FINISHED FLOOR ELEV.	13.0' & 14.0' (NAVD 88)		

COWAN ST (66' R/W)

NUTT STREET (FUTURE PUBLIC 66' R/W)



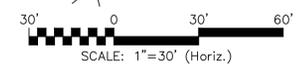
NUTT STREET CROSS SECTION (FUTURE PUBLIC 66' R/W)

1 inch

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

STORMWATER MANAGEMENT PLAN
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NOTE: WASTE DISPOSAL RECEPTACLES WILL BE WITHIN PARKING GARAGE ONLY.
NOTE: IF THESE UNITS ARE SOLD AT ANY POINT, THE BUYER MUST RECEIVE A SUBDIVISION STREET DISCLOSURE STATEMENT.
NOTE: ANY FUTURE DRIVEWAYS INTO THE NUTT STREET 66' R/W MUST BE IN COMPLIANCE WITH THE CITY OF WILMINGTON STANDARDS.
NOTE: PEDESTRIAN CROSSING SIGNS SHALL BE INSTALLED NO LESS THAN 5' FROM THE NUTT ST. CROSSWALKS IN ACCORDANCE TO THE CITY OF WILMINGTON AND SEC. 5-575.

REV. NO.	DESCRIPTIONS	DATE
3	REISSUED TO CITY FOR TRC COMMENTS	02/09/15
2	APARTMENT PERMITTING SET TO INAC	01/23/15
1	TRC PERMITTING SET PER DEC 2014 COMMENTS	01/23/15



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SYMPHONY properties
Orchestrating REAL Solutions

SAWMILL POINT APARTMENTS
1015 NUTT STREET
WILMINGTON, NORTH CAROLINA
SITE PLAN

DATE:	16 DEC 2014 <th>SCALE:</th> <td>HORIZONTAL: 1"=30' VERTICAL: 1"=30'</td> <th>MAC FILE NUMBER:</th> <td>CS101 </td>	SCALE:	HORIZONTAL: 1"=30' VERTICAL: 1"=30'	MAC FILE NUMBER:	CS101
MCE PROJ. #	06586-0001	DRAWN:	TCM/RAC	DRAWING NUMBER:	6
DESIGNED:	JBS/TCM/RAC	CHECKED:	JBS/RMC	REVISION:	3
PROJ. MGR.:	RMC	STATUS: FINAL DESIGN		NOT FOR CONSTRUCTION	

NORTHEAST CAPE FEAR RIVER
 FLOOD ← EBB →

FROM	TO	Inlet Invert (ft)	Outlet Invert (ft)	Size	Length	Slope
DI-11	DI-12	6.60'	6.30'	36"	77.30'	0.39%
DI-10	DI-11	7.20'	6.60'	36"	141.50'	0.42%
DI-9	DI-10	7.60'	7.20'	24"	81.39'	0.49%
CB-8	DI-9	7.70'	7.60'	24"	27.88'	0.36%
CB-7	CB-8	7.90'	7.70'	15"	40.21'	0.50%
CB-6	CB-8	8.20'	7.70'	24"	128.91'	0.39%
CB-5	CB-6	8.40'	8.20'	18"	39.02'	0.51%
CB-4	CB-3	9.60'	9.40'	18"	41.01'	0.49%
CB-3	CB-5	9.40'	8.40'	18"	310.19'	0.32%
CB-1	CB-3	9.90'	9.40'	18"	149.10'	0.34%
CB-1	CB-2	10.10'	9.90'	15"	39.23'	0.51%

FROM	TO	Inlet Invert (ft)	Outlet Invert (ft)	Size	Length	Slope
EX. JB-8	DI-23	6.30'	6.16'	30"	21.26'	0.66%
DI-24	DI-22	8.30'	8.00'	12"	62.46'	0.48%
DI-22	DI-23	8.00'	6.30'	24"	105.21'	1.62%
DI-21	DI-22	9.00'	8.00'	24"	51.66'	1.94%
DI-20	DI-21	9.50'	9.00'	24"	64.83'	0.77%
DI-19	DI-20	10.50'	9.50'	18"	87.23'	1.15%
DI-18	DI-19	10.90'	10.50'	15"	75.23'	0.53%
DI-17	DI-20	10.00'	9.50'	18"	84.23'	0.59%

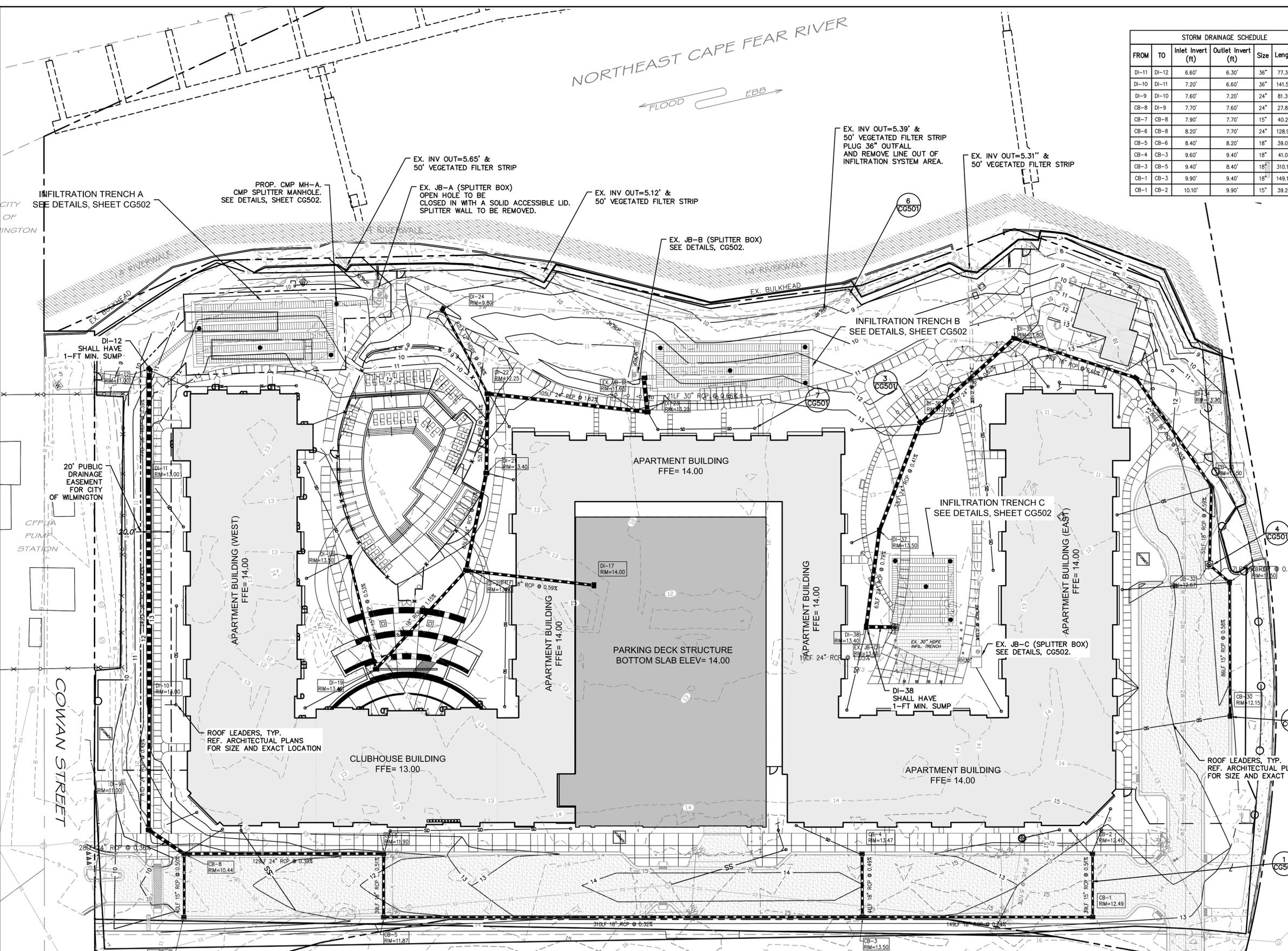
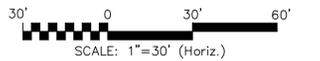
FROM	TO	Inlet Invert (ft)	Outlet Invert (ft)	Size	Length	Slope
JB-32	CB-33	8.40'	8.10'	18"	51.05'	0.59%
DI-38	EX. JB-C1	6.00'	5.80'	24"	19.04'	1.05%
DI-37	DI-38	6.50'	6.00'	24"	63.22'	0.79%
DI-36	DI-37	6.80'	6.50'	24"	73.00'	0.41%
DI-35	DI-36	7.30'	6.80'	24"	80.99'	0.62%
DI-34	DI-35	7.80'	7.30'	18"	83.68'	0.60%
CB-33	DI-34	8.10'	7.80'	18"	86.26'	0.35%
CB-31	JB-32	8.50'	8.40'	15"	17.27'	0.58%
CB-30	CB-31	9.00'	8.50'	15"	85.68'	0.58%

- STORM DRAINAGE NOTES**
- STORM PIPE SHALL BE NCDOT CLASS III REINFORCED CONCRETE PIPE (RCP) (C-WALL PIPE WITH O-RING GASKETS OR ENGINEER-APPROVED SUBSTITUTE AND SHALL CONFORM TO LATEST ASTM C76, C361, AND CONTRACT SPECIFICATIONS.
 - RCP STORM PIPE JOINTS AND WALL PENETRATIONS SHALL BE SEALED WITH BUTYL RUBBER JOINT SEALANT CONFORMING TO THE REQUIREMENTS OF ASTM C990, OR MORTAR AS PER NCDOT REQUIREMENTS OR BOTH.
 - STORM CATCH BASIN STRUCTURES ARE NOTED AS "CB #" AND SHALL CONFORM TO NCDOT STANDARD DRAWING 840.01 OR 840.02, WITH FRAME AND GRATES CONFORMING TO NCDOT STD. 840.03. FRAMES MUST BE MARKED AS SUCH, "DO NOT DUMP DRAINS TO STREAMS."
 - STORM DROP INLET STRUCTURES ARE NOTED AS "DI #" AND SHALL CONFORM TO NCDOT STD. 840.14 OR 840.15 WITH FRAME AND GRATES CONFORMING TO NCDOT STD. 840.03. FRAMES MUST BE MARKED AS SUCH, "DO NOT DUMP DRAINS TO STREAMS."
 - STORM JUNCTION BOX STRUCTURES ARE NOTED AS "JB #" AND SHALL CONFORM TO NCDOT STD. 840.32 WITH MANHOLE RING AND COVER CONFORMING TO NCDOT STD. 840.54 OR CITY STD. SD 14-04. FRAMES MUST BE MARKED AS SUCH, "DO NOT DUMP DRAINS TO STREAMS."
 - STORM PIPE LENGTHS AND SLOPES SHOWN ARE APPROXIMATE. STORM PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND UNIFORM GRADES.
 - EXISTING STORM DRAINAGE PIPE AND STRUCTURES SHALL BE INSPECTED BY THE CONTRACTOR PRIOR TO JOINING OR AMENDING EXISTING PIPES. ANY STRUCTURAL DEFICIENCIES SUCH AS PIPE CRACKS, WALL CRACKS, EXPOSED REBAR, ETC. SHALL BE REPORTED TO ENGINEER AS SOON AS NOTED.

STORMWATER MANAGEMENT PLAN
APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

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REV. NO.	DESCRIPTIONS	DATE
3	REISSUED TO CITY FOR TRC COMMENTS	02/09/15
2	APARTMENT PERMITTING SET TOWN	01/23/15
1	TRC PERMITTING SET PER DEC 2014 COMMENTS	01/22/15



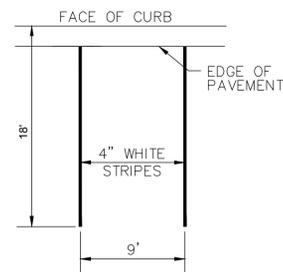
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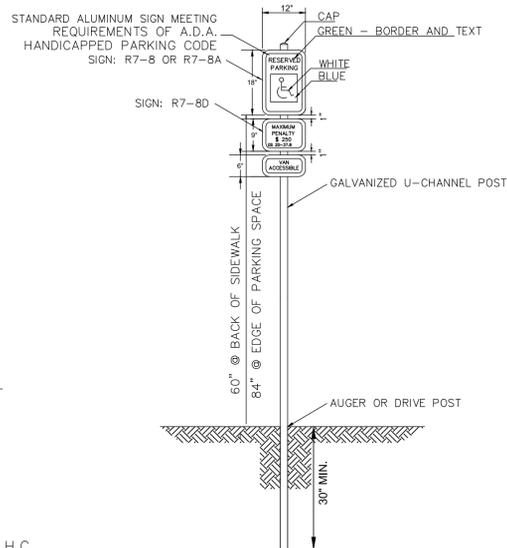
SAWMILL POINT APARTMENTS
 1015 NUTT STREET
 WILMINGTON, NORTH CAROLINA

STORM DRAINAGE PLAN

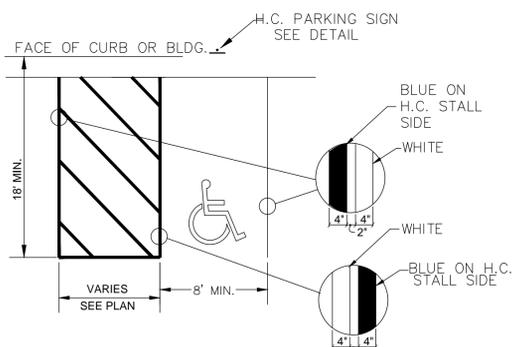
DATE: 16 DEC 2014	SCALE: HORIZONTAL: 1"=30'	MAC FILE NUMBER: CG102
MCE PROJ. # 06586-0001	VERTICAL: 1"=30'	DRAWING NUMBER: 8
DRAWN: TCM/RAC		
DESIGNED: JBS/TCM/RAC		
CHECKED: JBS/RMC		
PROJ. MGR.: RMC		
STATUS: FINAL DESIGN	REVISION: 3	
NOT FOR CONSTRUCTION		



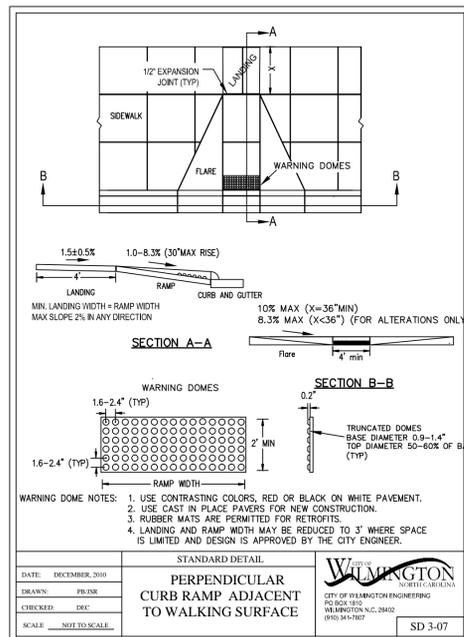
TYPICAL PARKING STALL
NOT TO SCALE



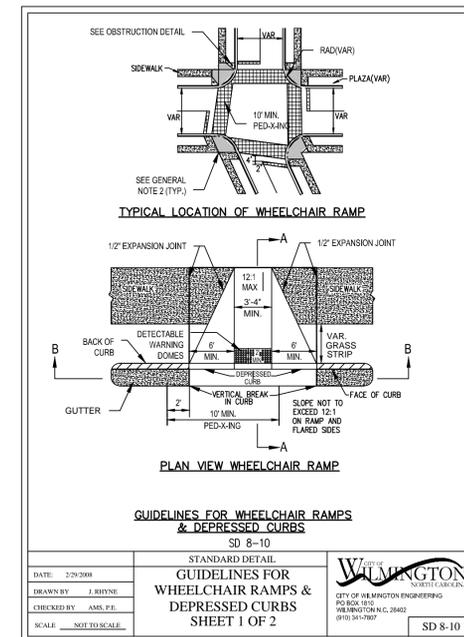
HANDICAP PARKING SIGN
NOT TO SCALE



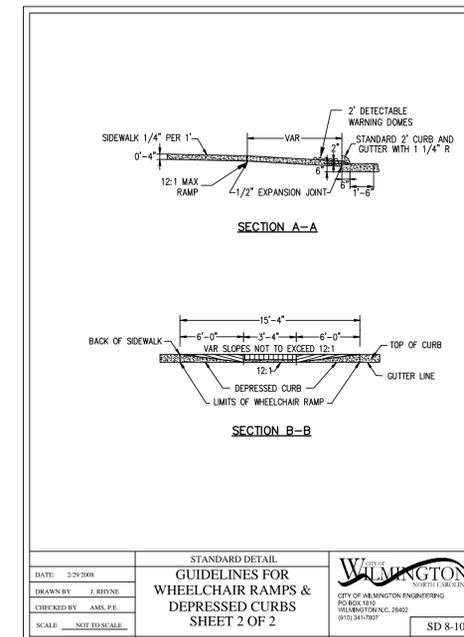
HANDICAP PARKING STALL
NOT TO SCALE



PERPENDICULAR CURB RAMP ADJACENT TO WALKING SURFACE
SD 3-07



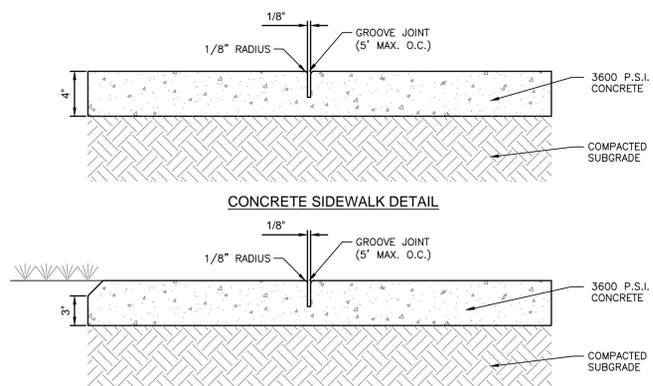
GUIDELINES FOR WHEELCHAIR RAMPS & DEPRESSED CURBS
SD 8-10



GUIDELINES FOR WHEELCHAIR RAMPS & DEPRESSED CURBS
SD 8-10

1 PARKING STRIPING & HANDICAP DETAILS
CS501 NOT TO SCALE

7 STANDARD CITY HANDICAP RAMP DETAILS
CS501 NOT TO SCALE



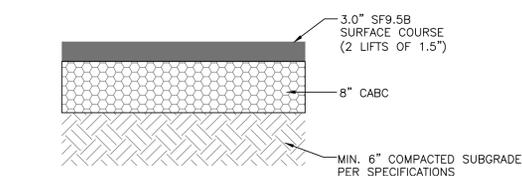
CONCRETE SIDEWALK DETAIL

- NOTES:**
1. A GROOVE JOINT 1" DEEP WITH 1/8" RADII SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS.
 2. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 45' INTERVALS.
 3. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK ABUTS ANY CURB AND GUTTER AND ANY RIGID STRUCTURES.
 4. IN SIDEWALKS AND PLAZA AREAS EXPANSION JOINTS ARE REQUIRED AT NO GREATER THAN 30' INTERVALS.
 5. CONCRETE SHALL BE 3600 PSI. IN 28 DAYS.

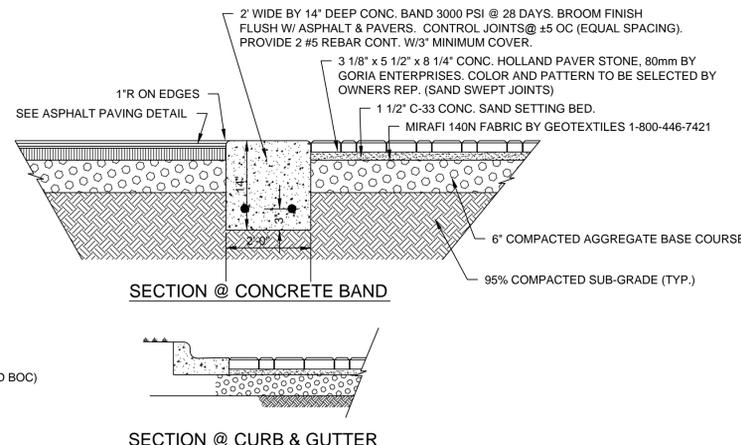
***REF. LANDSCAPE PLANS AND DETAILS FOR INTERIOR SIDEWALKS AND STREET SIDEWALK JOINT PATTERNS

2 CONCRETE SIDEWALK SECTION
CS501 NOT TO SCALE

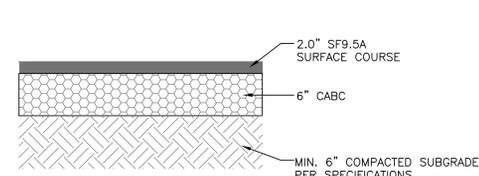
5 STANDARD 24" CURB & GUTTER (TYPE A)
CS501 NOT TO SCALE (COW SD 7-01 & SD 1-02)



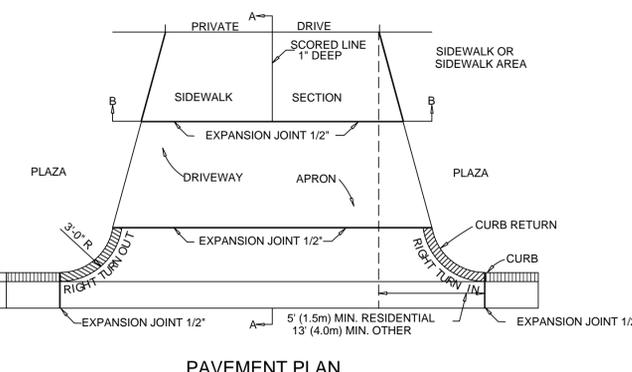
3 NUTT STREET ASPHALT PAVEMENT SECTION
CS501 NOT TO SCALE



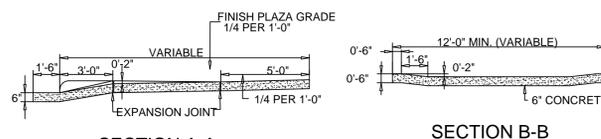
8 BRICK PAVER CROSSWALK
CS501 NOT TO SCALE (COW SD 8-16)



4 PARKING LOT PAVEMENT SECTION
CS501 NOT TO SCALE



PAVEMENT PLAN



6 STANDARD CONCRETE DRIVEWAY
CS501 NOT TO SCALE (COW SD 8-02)

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

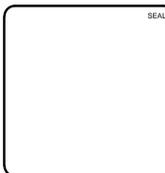
STORMWATER MANAGEMENT PLAN APPROVED

CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE _____ PERMIT # _____

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2	APARTMENT PERMITTING SET TO INAC	01/23/15
1	TRC PERMITTING SET PER DEC 2014 COMMENTS	01/22/15



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1015 NUTT STREET
WILMINGTON, NORTH CAROLINA

SITE DETAILS

DATE: 16 DEC 2014
MCE PROJ. #: 06586-0001
DRAWN: TCM/RAC
DESIGNED: JBS/TCM/RAC
CHECKED: JBS/RMC
PROJ. MGR.: RMC

SCALE: HORIZONTAL: N/A
VERTICAL: 1/4" = 1'-0"

MAC FILE NUMBER: CS501
DRAWING NUMBER: 12
REVISION: 3

STATUS: FINAL DESIGN
NOT FOR CONSTRUCTION