

**To:** Greg A. Wayne  
**From:** Nicole Smith, Associate Planner; 910-341-1611  
**CC:** File;  
**Date:** 6/17/2020  
**Re:** Airlie View, Formerly Robert Holding Subdivision

The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. Additional review will be required once all the needed documents have been provided. Items or documents not provided on initial submission will be subject to further review. Please contact me for any further questions.

Review	Department	Comments
Nicole Smith	Planning	See comments below
Trent Butler	Engineering	See comments below- not addressed with this submittal. <b>No further submittals will be accepted without a stormwater application.</b>
Chris Walker	Fire	Nothing Further. Prepared to sign.
Bill McDow	Transportation Planning	See comments below
Mitesh Baxi	Traffic Engineering	See comments below

Site Plan Comments (Nicole Smith):

- Sec. 18-60 (c) (10): Add sidewalk along Airlie Road. Leaving this comment until Payment in lieu has been confirmed with Engineering.
- A tree preservation/removal permit is required. See permit submitted. Payment? Also, question about size and reason for removal of Crepe Myrtles (not listed on tree removal permit)
- Sec. 18-383: Show open space calculations. A payment in lieu of providing open space can only be granted by the Subdivision Review Board. FYI- This hearing is quasi-judicial, and all such proceedings are currently on hold due to the current pandemic. The application is available on the city website. Please let me know if you wish to discuss further. Please advise if you wish to pursue this application.

Engineering (Trent Butler):

1. The project appears to be proposing construction of new impervious surface area greater than 2,500sf, qualifying it as a Drainage Plan. The applicant will need to submit the City

of Wilmington Engineering Department for Drainage Plan review. Required for Drainage Plan review is a completed Stormwater Management Permit Application Form, \$400 Review Fee, one set of plans, etc. See page 5 of the Application and the City of Wilmington Engineering Plan Review Checklist for submittal requirements. 2. Verify that this project will not exceed one (1) acre of disturbance, which would require a sedimentation and erosion control permit from NHC. If an erosion control permit is required, full stormwater review will be required in lieu of a Drainage Plan. See Section 18-735.b.1 of the LDC for SW Ordinance applicability and jurisdiction. 3. The project is proposing a non-standard private access easement width of 20 feet. A standard private access easement requires a 34-foot width (CoW SD 1-14). A variance will be required. 4. The maximum length of a private access easement (CoW SD 1-14) is 400 feet. The proposed easement exceeds the maximum allowable length. A variance will be required. 5. A standard private access easement requires a 16-foot asphalt surface. This project proposes a 14-foot permeable pavement surface with 1-foot ribbon curb on both sides. A variance will be required. 6. If the intent of the access drive is to be pervious, please specify the use of 6" of a washed stone. 7. A residential concrete driveway (SD 3-03.1/3-03.2) will be required. Where no curb exists in the vicinity of the proposed driveway, a flat slab type shall be installed. 8. The bar scale appears to be incorrect. 9. Please verify with Planning if this project triggers infrastructure improvements along the property frontage, i.e. a sidewalk along Airlie Road.

Transportation Comments (Bill McDow):

■ **AIRLIE VIEW- Formerly ROBERT HOLDING SUB-DIVISION [SUBDIVISION Plan Review #3]**

**TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):**

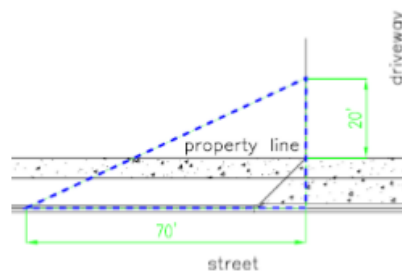
1. Awaiting the Auto Turns Movements for the Turnaround between Lot 3 and Lot 4.
2. No Further Comments.

TrafficEngineering(MiteshBaxi):

■ **AIRLIE VIEW (ROBERT HOLDING DIVISION) [TRC Plan Review #4]**

**TECHNICAL STANDARDS:**

1. Show and apply the City's 20'x70' sight distance triangle at the driveway on the site plan [Sec.18-529(c) (3) CofW LDC] [Sec. 18-812 CofW LDC]. Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-556 CofW LDC]



Please let me know if you have any questions.