

**To:** Kathryn Espinoza, McKim & Creed  
**From:** Brian Chambers, Senior Planner; 910.342.2782  
**CC:** File;  
**Date:** 2/1/2023  
**Re:** Riverlights SF 7 & 8 TRC Rev 3

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The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. A staff summary of comments:

<b>Staff</b>	<b>Department</b>	<b>Notes</b>
Brian Chambers	Planning, Plan Review	No comments
Eric Seidel	Engineering	Comments attached
James Merritt	Fire	No comments
Mitesh Baxi	Traffic Engineering	Comments attached
Bill McDow	Transportation	No comments

Project Name: Riverlights Conventional Phases 7 & 8  
Formal TRC Date: 1/30/2023  
Reviewer: Eric Seidel, PE  
Department: Engineering – Plan Review Section

1. Provide full signed/sealed calculation package with elimination of SCM#9 & 10. Assure routing has been updated.
2. Provide updated Application & Supplement with elimination of SCM#9 & 10.
3. No Further Comments.

**TECHNICAL STANDARDS – NEW ROADS:**

1. The vehicle movement within the circular travel lane must function like a roundabout movement. It must be counterclockwise and a one-way section since the width proposed for circular lane is not sufficient for two-way traffic. Revise the auto turns movements.
2. Provide sectional details of central islands at the cul-de-sac.

**STREET LIGHTING [City of Wilmington Street Lighting Policy]:**

- A revised layout sheet with recommended locations for the Standard Street lighting has been attached with the review. Minimum of 59 (fifty-nine) streetlights are required for this sub-division.
- Provide proposed streetlighting plans with details like numbers and type of lights. Show the locations of streetlights on landscaping plans also. Contact Duke Energy and get photometric plan developed for next submittal.

**BELOW ARE THE COMMENTS PROVIDED BY CITY TRAFFIC ENGINEER DENYS VIELKANOWITZ.**

1. Verify allowable/appropriate curb type for cul-de-sac islands. Is this curb type surface mounted? It is reasonable to assume these curbs will get backed into more frequently than most due to the awkward entry/exit angles from the lots and tight turn radii for larger vehicles (trash trucks). Why is 1'-6" curb and gutter type on CS-501 not being used? Is the 8" surface mounted (maintenance issue from curb strikes)? Will this curb type withstand this force to minimize future maintenance needs or should a more substantial curb type be used, like the 1'-6" slope faced curb also shown on sheet CS-501.S
2. Show same Autoturn vehicles at all cul-de-sacs but with one-way, counterclockwise movements around the central islands like roundabouts to describe appropriate vehicle paths.

**Below are snapshots from comments response letter from previous review.**

2. Cul-de-sac on Road D in front of Lot 972, Road C in front of Lot 960, and Road B in front of Lot 1153 will be acceptable without central island. Please revise to remove the central island.

*Response: Per email communication on 9/12, we have supplied curb details and auto-turn studies for each bulb. The owner prefers to keep the bulbs in place as designed. Curb detail is located on sheet CS-501.*

Why is 1'-6" curb and gutter type on CS-501 not being used? Is the 8" surface mounted (maintenance issue from curb strikes)?

Show all movements one-way, counterclockwise around central island, similar to roundabouts.

4. If central islands are preferred, please provide all possible turning movements of vehicles maneuvering around and backing out from the driveway of those lots into cul-de-sacs lanes. This is to justify that the lane width proposed are sufficient for the traffic maneuvering.

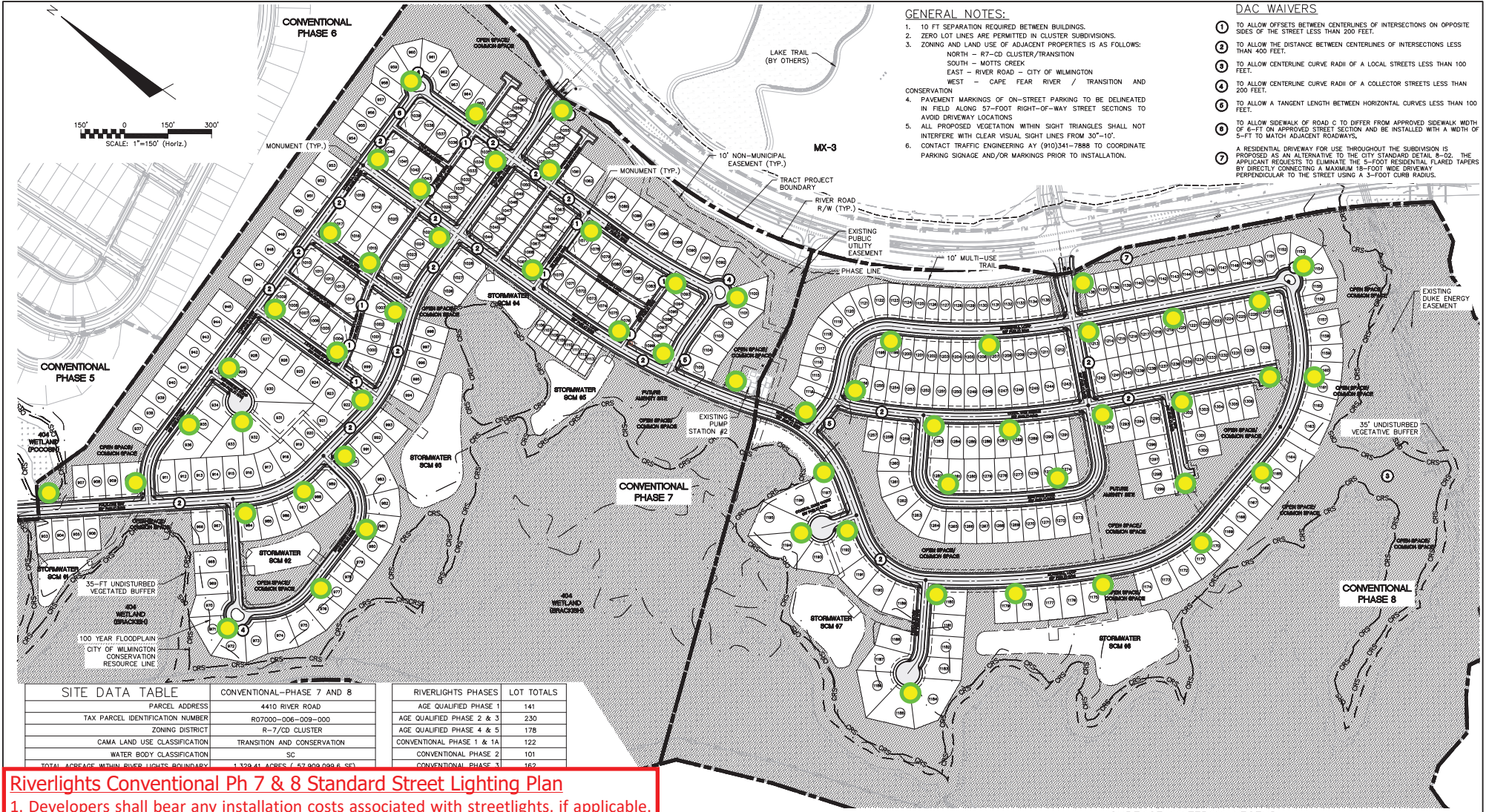
*Response: Fire truck and passenger vehicle autoturns are provided with this submittal for all bulbs.*

Show all movements one-way, counterclockwise around central island, similar to roundabouts.

5. Provide the turning movements of the largest vehicle maneuvering at all the cul-de-sac/bulbs.

*Response: Fire truck and passenger vehicle autoturns are provided with this submittal for all bulbs.*

Please let me know if you have any questions or if I can be of further assistance.



SITE DATA TABLE		CONVENTIONAL-PHASE 7 AND 8	RIVERLIGHTS PHASES	LOT TOTALS
PARCEL ADDRESS	4410 RIVER ROAD		AGE QUALIFIED PHASE 1	141
TAX PARCEL IDENTIFICATION NUMBER	R07000-006-009-000		AGE QUALIFIED PHASE 2 & 3	230
ZONING DISTRICT	R-7/CD CLUSTER		AGE QUALIFIED PHASE 4 & 5	178
CAMA LAND USE CLASSIFICATION	TRANSITION AND CONSERVATION		CONVENTIONAL PHASE 1 & 1A	122
WATER BODY CLASSIFICATION	SC		CONVENTIONAL PHASE 2	101
TOTAL ACRES WITHIN RIVER LIGHTS BOUNDARY	1,329.41 ACRES (7,57,903,039.6 SF)		CONVENTIONAL PHASE 3	167

**Riverlights Conventional Ph 7 & 8 Standard Street Lighting Plan**

1. Developers shall bear any installation costs associated with streetlights, if applicable. In areas served from underground facilities, the developers shall pay the one-time underground contribution charge, if applicable.
2. Streetlights will be reviewed through the subdivision process and must meet criteria established in City's Street lighting Policy.
3. Street trees must be located a minimum of 15 feet from streetlights. [CofW SD 15-17]
4. All the streetlight shall be installed within the public ROW.
5. Streetlight should be proposed in advance of the potential crosswalk where feasible.

● Proposed locations of required 59 LED 50.

02/01/2023

CS-102, CS-103, AND LOT DIMENSIONS

**CREED**  
Ph 28401  
Fax: (910)251-8282



**RIVERLIGHTS CONVENTIONAL PHASE 7 & 8**  
MASONBORO TOWNSHIP, WILMINGTON, NEW HANOVER COUNTY, NORTH CAROLINA

**OVERALL SITE PLAN**

DATE: 1/12/2023  
MCE PROJ # 02735-0322  
DRAWN: MDH/ZEM  
DESIGNED: MDH/ZEM  
CHECKED: KCBK  
PROJ. MGR: KCBK

SCALE: HORIZONTAL 1"=150'  
VERTICAL: N/A

MCE FILE NUMBER: CS-100  
DRAWING NUMBER: 8

STATUS: FINAL DESIGN  
NOT FOR CONSTRUCTION

REVISION: H

**SURFACE MATERIAL LEGEND**

- ASPHALT
- SIDEWALK
- OPEN SPACE

\*PROPOSED R7-CD CLUSTER FOR ENTIRE RIVER LIGHTS DEVELOPMENT = 1,155.6 ACRES ( @ 40% OPEN SPACE) = 462.24 ACRES REQUIRED FOR ENTIRE RIVERLIGHTS DEVELOPMENT

\*PROPOSED MX-CD CLUSTER FOR ENTIRE RIVER LIGHTS DEVELOPMENT = 184.7 ACRES ( @ 25% OPEN SPACE) = 46.18 ACRES REQUIRED FOR ENTIRE RIVERLIGHTS DEVELOPMENT