

To: Kathryn Espinoza, McKim & Creed
From: Brian Chambers, Senior Planner; 910.342.2782
CC: File;
Date: 11/2/2022
Re: Riverlights SF 7 & 8 TRC Rev 2

The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. A staff summary of comments:

Staff	Department	Notes
Brian Chambers	Planning, Plan Review	Comments below
Eric Seidel	Engineering	Comments attached
James Merritt	Fire	No further comments
Mitesh Baxi	Traffic Engineering	Comments attached
Bill McDow	Transportation	No further comments

Planning Review

Brian Chambers, brian.chambers@wilmingtonnc.gov, 910.342.2782

Comments:

- Please Provide updated master lot exhibit.
- Provide updated master tree removal exhibit.

Project Name: Riverlights Conventional Phases 7 & 8
Formal TRC Date: 10/24/2022
Reviewer: Eric Seidel, PE
Department: Engineering – Plan Review Section

1. CU-711: Update profile to reflect RR1 & RR2 pipe crossings do not conflict with internal stormwater network.
2. Include RR stormwater bypass pipe sizing within calculations package.
3. Please include Infiltration Basins #9 & 10 on O&M. These can just be written in on page 3 of 3.
4. No Further Comments.

TECHNICAL STANDARDS – NEW ROADS:

1. Callout official proposed street names on plans.
2. Cul-de-sac on Road D in front of Lot 972, Road C in front of Lot 960, and Road B in front of Lot 1153 will be acceptable without central island. Please revise to remove the central island.
3. Bulb on Road C in front of Lot 1100 should be considered for revision to make a traditional road curve. This would allow continuous sidewalk on both sides of street. It may potentially increase few of the lots size. No central island or ramps are required.
Note: The above comments 1 & 2 are from pre-TRC review & As per the email communication on 01/25/2022. The requirements are not satisfied. Sidewalks are shown continuous as requested but central islands are not removed. Please revise accordingly.
4. If central islands are preferred, please provide all possible turning movements of vehicles maneuvering around and backing out from the driveway of those lots into cul-de-sacs lanes. This is to justify that the lane width proposed are sufficient for the traffic maneuvering.
5. Provide the turning movements of the largest vehicle maneuvering at all the cul-de-sac/bulbs.
6. Dimension the median width for Road A and Road I, connecting River Rd.

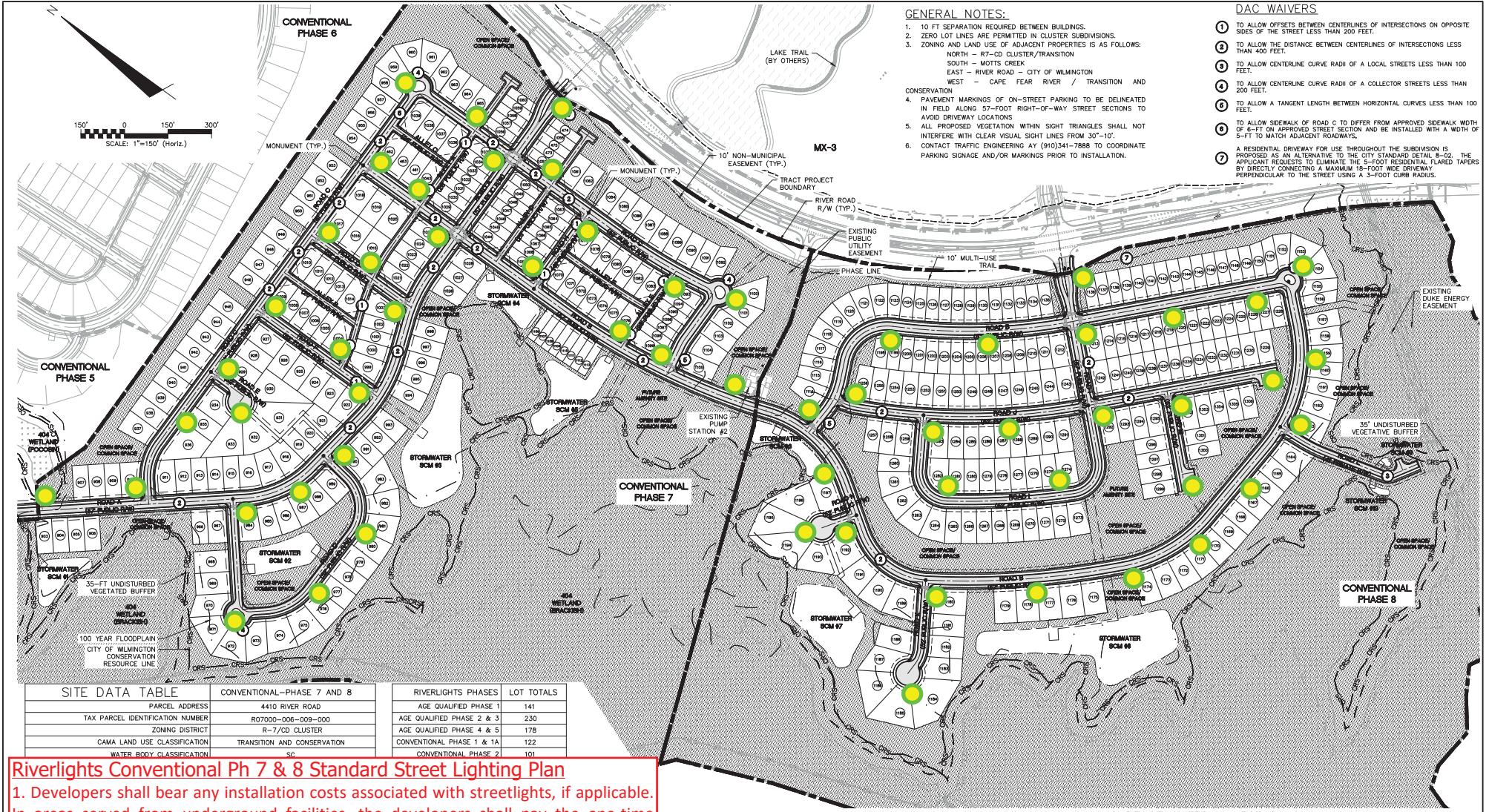
SIGNAGE AND PAVEMENT MARKING PLAN:

- Provide line type details for lanes and tapers provided at the median of River Rd connections of Road A and Road I.
- Add 'Area wide' plaque with speed limit sign in accordance with City standards.
- 'No parking any time' signs proposed in the vicinity of all intersections are not required. If installed shall be in accordance with City LDC Sec 5-52.
- Street sign shall be in accordance with City standards and not as per MUTCD. Revise the details. <https://www.wilmingtonnc.gov/home/showpublisheddocument/12338/637781800549130000>
- Revise the locations of 'Keep Right' signs to show it as close as practical to approach ends of raised medians such that traffic will have to pass to the right-hand side of the sign [MUTCD].
- Crosswalk markings at all the internal non-signalized intersections are not required and shall not be installed.

STREET LIGHTING [City of Wilmington Street Lighting Policy]:

- Streetlights shall be installed within subdivisions in accordance with the Technical Standards and Specifications Manual.
- The standard streetlight shall be a DEP designated LED equivalent fixture installed within the recommended range of mounting heights for the specific fixture. The standard streetlight shall be installed on a wooden pole in areas served from overhead facilities and on a fiberglass pole in areas served from underground facilities.
- A layout with recommended locations for the Standard Street lighting has been provided with the review. Minimum of 60 (sixty) streetlights are required for this sub-division.
- Provide streetlighting plans with details like numbers and type of lights. Show the locations of streetlights on landscaping plans also.
- Revised Standard Streetlighting plan will be provided by City when we will receive site plans with official street names.

Please let me know if you have any questions or if I can be of further assistance.



GENERAL NOTES:

- 10 FT SEPARATION REQUIRED BETWEEN BUILDINGS.
- ZERO LOT LINES ARE PERMITTED IN CLUSTER SUBDIVISIONS.
- ZONING AND LAND USE OF ADJACENT PROPERTIES IS AS FOLLOWS:
 NORTH - R7-CD CLUSTER/TRANSITION
 SOUTH - MOTTS CREEK
 EAST - RIVER ROAD - CITY OF WILMINGTON
 WEST - CAPE FEAR RIVER / TRANSITION AND CONSERVATION
- PAVEMENT MARKINGS OF ON-STREET PARKING TO BE DELINEATED IN FIELD ALONG 57-FOOT RIGHT-OF-WAY STREET SECTIONS TO AVOID DRIVEWAY LOCATIONS
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'
- CONTACT TRAFFIC ENGINEERING AY (910)341-7888 TO COORDINATE PARKING SIGNAGE AND/OR MARKINGS PRIOR TO INSTALLATION.

DAC WAIVERS

- TO ALLOW OFFSETS BETWEEN CENTERLINES OF INTERSECTIONS ON OPPOSITE SIDES OF THE STREET LESS THAN 200 FEET.
- TO ALLOW THE DISTANCE BETWEEN CENTERLINES OF INTERSECTIONS LESS THAN 400 FEET.
- TO ALLOW CENTERLINE CURVE RADI OF A LOCAL STREETS LESS THAN 100 FEET.
- TO ALLOW CENTERLINE CURVE RADI OF A COLLECTOR STREETS LESS THAN 200 FEET.
- TO ALLOW A TANGENT LENGTH BETWEEN HORIZONTAL CURVES LESS THAN 100 FEET.
- TO ALLOW SIDEWALK OF ROAD C TO DIFFER FROM APPROVED SIDEWALK WIDTH OF 6-FT ON APPROVED STREET SECTION AND BE INSTALLED WITH A WIDTH OF 5-FT TO MATCH ADJACENT ROADWAYS.
- A RESIDENTIAL DRIVEWAY FOR USE THROUGHOUT THE SUBDIVISION IS PROPOSED AS AN ALTERNATIVE TO THE CITY STANDARD DETAIL, 8-02. THE APPLICANT REQUESTS TO ELIMINATE THE 5-FOOT RESIDENTIAL FLARED TAPERS BY DIRECTLY CONNECTING A MAXIMUM 18-FOOT WIDE DRIVEWAY PERPENDICULAR TO THE STREET USING A 3-FOOT CURB RADIUS.

SITE DATA TABLE		CONVENTIONAL-PHASE 7 AND 8	RIVERLIGHTS PHASES	LOT TOTALS
PARCEL ADDRESS	4410 RIVER ROAD		AGE QUALIFIED PHASE 1	141
TAX PARCEL IDENTIFICATION NUMBER	R07000-006-009-000		AGE QUALIFIED PHASE 2 & 3	230
ZONING DISTRICT	R-7/CD CLUSTER		AGE QUALIFIED PHASE 4 & 5	178
CAMA LAND USE CLASSIFICATION	TRANSITION AND CONSERVATION		CONVENTIONAL PHASE 1 & 1A	122
WATER BODY CLASSIFICATION	SC		CONVENTIONAL PHASE 7	101

Riverlights Conventional Ph 7 & 8 Standard Street Lighting Plan

- Developers shall bear any installation costs associated with streetlights, if applicable. In areas served from underground facilities, the developers shall pay the one-time underground contribution charge, if applicable.
- Streetlights will be reviewed through the subdivision process and must meet criteria established in City's Street Lighting Policy.
- Street trees must be located a minimum of 15 feet from streetlights. [CofW SD 15-17]
- All the streetlight shall be installed within the public ROW.

Proposed locations of required 60 LED 50.

10/26/2022

CS-102, CS-103, AND LOT DIMENSIONS



RIVERLIGHTS CONVENTIONAL PHASE 7 & 8
 MASONBORO TOWNSHIP, WILMINGTON, NEW HANOVER COUNTY, NORTH CAROLINA

OVERALL SITE PLAN

SURFACE MATERIAL LEGEND

- ASPHALT
- SIDEWALK
- OPEN SPACE

*PROPOSED R7-CD CLUSTER FOR ENTIRE RIVER LIGHTS DEVELOPMENT = 1,155.6 ACRES
 (@ 40% OPEN SPACE) = 462.24 ACRES REQUIRED FOR ENTIRE RIVERLIGHTS DEVELOPMENT

*PROPOSED MX-CD CLUSTER FOR ENTIRE RIVER LIGHTS DEVELOPMENT = 184.7 ACRES
 (@ 25% OPEN SPACE) = 46.18 ACRES REQUIRED FOR ENTIRE RIVERLIGHTS DEVELOPMENT

DATE: 1/12/2020
 MDC PROJ # 02735-0322
 DRAWN: MDH/ZEM
 DESIGNED: MDH/ZEM
 CHECKED: KCBK
 PROJ. MGR: KCBK

SCALE: HORIZONTAL 1"=150'
 VERTICAL: N/A

REV. FILE NUMBER: CS-100
 DRAWING NUMBER: 8

STATUS: PRELIMINARY DESIGN
 NOT FOR CONSTRUCTION