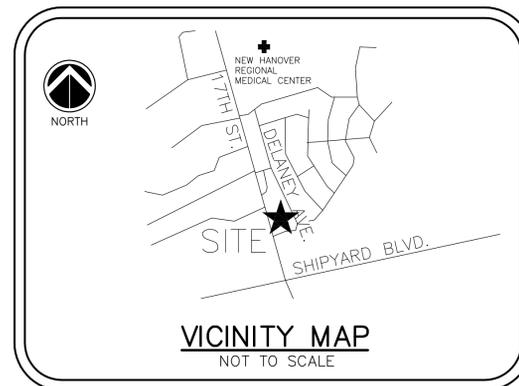


CONSTRUCTION PLANS

for

Reeds Jewelers Commerce Facility

2525 S. 17th Street
Wilmington, North Carolina



General Notes:

1. Prior to any clearing, grading, or construction activity, tree protection fencing will be installed around protected trees or groves of trees and no construction workers, materials, or vehicles are permitted within the tree protection fencing.
2. All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards.
4. Traffic control devices (including signs and pavement markings) in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards.
6. Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.
8. Project shall comply with the CFPWA Cross Connection Control requirements. Water meter(s) cannot be released until all requirements are met and the State has given its Final Approval. Call 332-6419 for information.
9. If the contractor desires CFPWA water for construction he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.
10. Any irrigation system supplied by CFPWA water shall comply with the CFPWA's Connection Control regulations. Call 332-6419 for information.
11. Any backflow prevention devices required by the CFPWA will need to be on the list of approved devices for USCFCCHHR or ASSE.
12. A Landscaping Plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and the Parks and Recreation Department for review and approval prior to the recording of the final plat.
13. Permitting of business identification signage is a separate process. NCDOT/City of Wilmington will not allow obstructions within the right of way.
14. Prior to any clearing, grading or construction activity, tree protection fencing will be installed around protected trees or groves of trees and no construction workers, tools, materials or vehicles are permitted within the tree protection fencing.
15. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
16. Install reflectors per City and NCDOT standards. Traffic Engineering must approve of pavement marking layout prior to actual striping.
17. All parking stall markings and lane arrows within parking areas shall be white.

CONTENTS	
C-1	Site Plan
C-2	Landscaping Plan
C-3	Stormwater Plan (Grading/Repaving Data)
C-4	Details

OWNER:
Zimco
P.O. Box 2628
Wilmington, NC 28402



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NOT FOR CONSTRUCTION


 Public Services Engineering Division
 APPROVED DRAINAGE PLAN
 Date: _____ Permit # _____
 Signed: _____



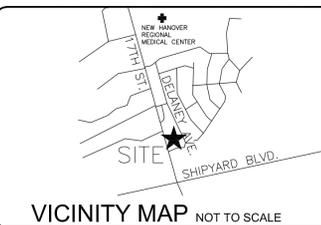
Coastal Land Design, PLLC

Civil Engineering / Landscape Architecture
Land Planning / Construction Management
NCBELS Firm License No: P-0369

P.O. Box 1172 Phone: 910-254-9333
Wilmington, NC 28402 www.cldeng.com Fax: 910-254-0502

UTILITY LOCATION NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OR RELOCATION OF ALL UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY AGENCY OR COMPANY. THE CONTRACTOR IS REQUIRED TO CALL THE "NORTH CAROLINA ONE CALL CENTER" 1-800-632-4949 OR 811 BEFORE DIGGING.


 Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____



LEGEND:

**PRELIMINARY DESIGN
NOT RELEASED
FOR CONSTRUCTION**

REV. #	DESCRIPTION	REV. BY	DATE
	REVISIONS		

NOT FOR CONSTRUCTION

390
 NORTH CAROLINA LANDSCAPE ARCHITECTURE
 FRANK BRAXTON
 9/30/15

Coastal Land Design, PLLC
 Civil Engineering / Landscape Architecture
 Land Planning / Construction Management
 NCBELS Firm License No: P-0889
 P.O. Box 1172
 Wilmington, NC 28402 www.cldeng.com Phone: 910-254-9333 Fax: 910-254-0022

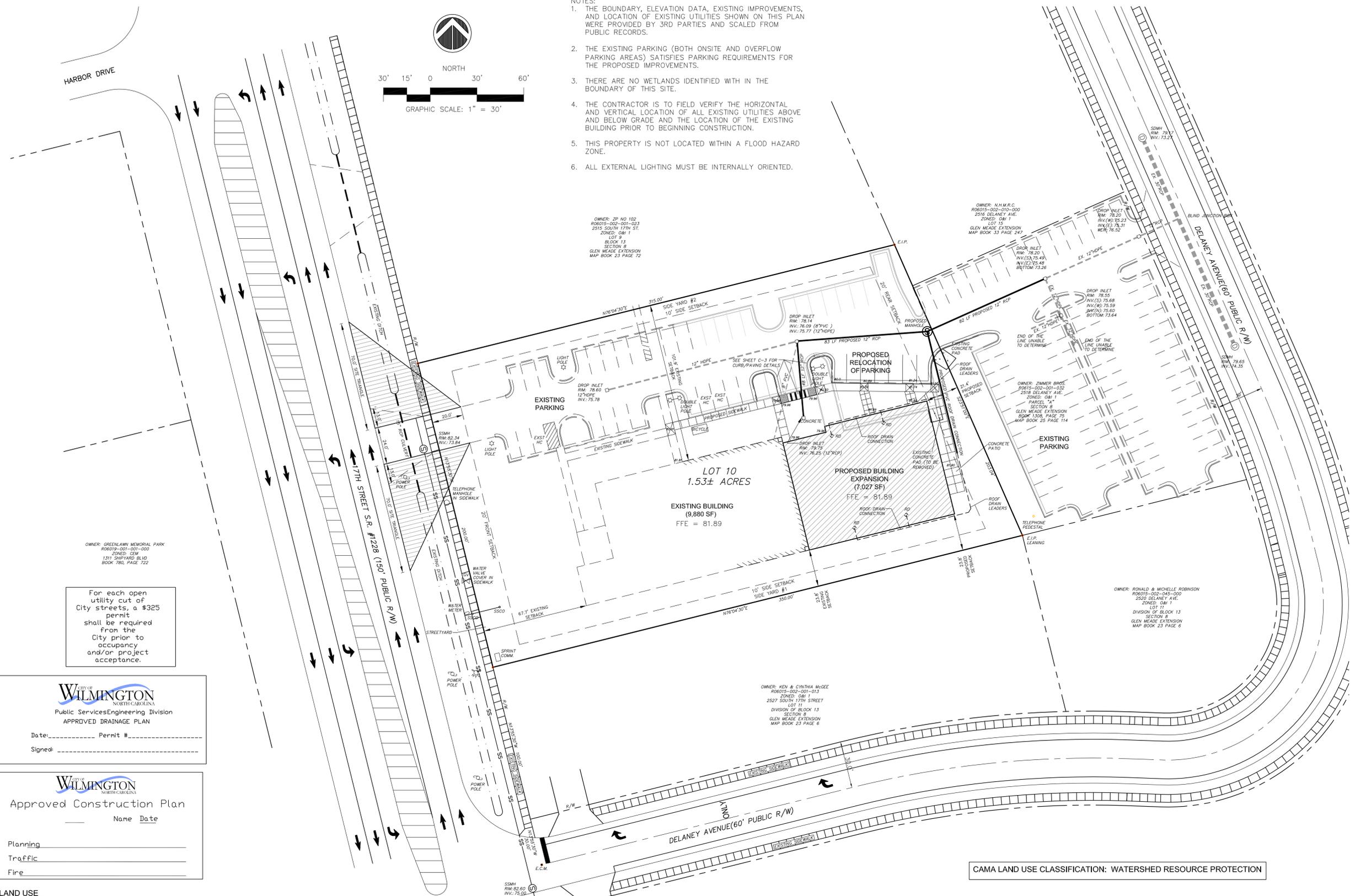
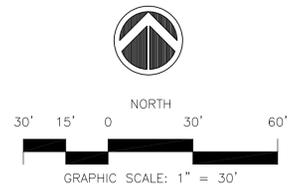
DRAWN : R. LEWIS	PROJECT NUMBER : 149-01
DESIGN : F. BRAXTON	NUMBER : 149-01
CHECK : J. PETROFF	SCALE : 1"=30'
APPROVED : F. BRAXTON	DATE : 29 JULY 2015
FILE NAME :	

**REEDS JEWELERS
COMMERCE FACILITY**

**SITE PLAN FOR
OFFICE BUILDING ADDITION**

JOB NUMBER 149-01	SHEET NUMBER C-1
-----------------------------	----------------------------

- NOTES:
1. THE BOUNDARY, ELEVATION DATA, EXISTING IMPROVEMENTS, AND LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN WERE PROVIDED BY 3RD PARTIES AND SCALED FROM PUBLIC RECORDS.
 2. THE EXISTING PARKING (BOTH ONSITE AND OVERFLOW PARKING AREAS) SATISFIES PARKING REQUIREMENTS FOR THE PROPOSED IMPROVEMENTS.
 3. THERE ARE NO WETLANDS IDENTIFIED WITH IN THE BOUNDARY OF THIS SITE.
 4. THE CONTRACTOR IS TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES ABOVE AND BELOW GRADE AND THE LOCATION OF THE EXISTING BUILDING PRIOR TO BEGINNING CONSTRUCTION.
 5. THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE.
 6. ALL EXTERNAL LIGHTING MUST BE INTERNALLY ORIENTED.



OWNER: ZP NO 102
 R06015-002-001-023
 2515 SOUTH 17TH ST.
 ZONED: O&I 1
 LOT 9
 BLOCK 13
 SECTION 8
 GLEN MEADE EXTENSION
 MAP BOOK 23 PAGE 72

OWNER: N.H.M.R.C.
 R06015-002-010-000
 2516 DELANEY AVE.
 ZONED: O&I 1
 LOT 15
 GLEN MEADE EXTENSION
 MAP BOOK 33 PAGE 247

OWNER: ZIMMER BROS.
 R0615-002-001-032
 2518 DELANEY AVE.
 ZONED: O&I 1
 PARCEL 2A
 SECTION 8
 GLEN MEADE EXTENSION
 MAP BOOK 25 PAGE 114

OWNER: RONALD & MICHELLE ROBINSON
 R06015-002-049-000
 2520 DELANEY AVE.
 ZONED: O&I 1
 LOT 11
 DIVISION OF BLOCK 13
 SECTION 8
 GLEN MEADE EXTENSION
 MAP BOOK 23 PAGE 6

OWNER: KEV & CYNTHIA MCGEE
 R06015-002-001-018
 2527 SOUTH 17TH STREET
 LOT 11
 DIVISION OF BLOCK 13
 SECTION 8
 GLEN MEADE EXTENSION
 MAP BOOK 23 PAGE 6

OWNER: GREENLAWN MEMORIAL PARK
 R06019-001-001-000
 ZONED: SEM
 1311 SHIPYARD BLVD
 BOOK 780, PAGE 722

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of WILMINGTON
 NORTH CAROLINA
 Public Services/Engineering Division
 APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
 Signed: _____

City of WILMINGTON
 NORTH CAROLINA
 Approved Construction Plan

Name _____ Date _____

Planning _____
 Traffic _____
 Fire _____

LAND USE
 EXISTING: NON-RESIDENTIAL BUILDING
 PROPOSED: 7,042 SF ADDITION TO EXISTING NON-RESIDENTIAL BUILDING

SETBACKS:	REQUIRED	PROPOSED
FRONT YARD	20'	67.7
REAR YARD	20'	21.4
SIDE YARD #1	10'	23.8
SIDE YARD #2	10'	101.9

PROPOSED BUILDING DATA
 PROPOSED SIZE: 7,042 SF
 PROPOSED BUILDING HEIGHT: 13 FT
 PROPOSED BUILDING LOT COVERAGE: 10.6%

UTILITIES
 PUBLIC WATER: CFPUA
 PUBLIC SEWER: CFPUA

IMPERVIOUS CALCULATIONS
 EXISTING IMPERVIOUS = 29,167 SF
 PROPOSED ADDITIONAL IMPERVIOUS
 BUILDING = 7,042 SF
 SIDEWALK = 952 SF
 TOTAL IMPERVIOUS = 37,161 SF
 PERCENT SITE IMPERVIOUS = 55.9%

SITE DATA:
 PROPOSED: ONE STORY ADDITION TO EXISTING BUILDING
 OWNER: ZIMCO
 P.O. BOX 2628
 WILMINGTON, NC 28402
 PROPERTY - 2525 S. 17TH STREET
 PARCEL PIN#: R06015-002-001-012
 DEED BOOK 1587, PAGE 1478
 ZONING:
 O&I 1 - OFFICE & INSTITUTIONAL DISTRICT 1
 PARCEL SIZE: 1.53 ACRES +/-

CAMA LAND USE CLASSIFICATION: WATERSHED RESOURCE PROTECTION

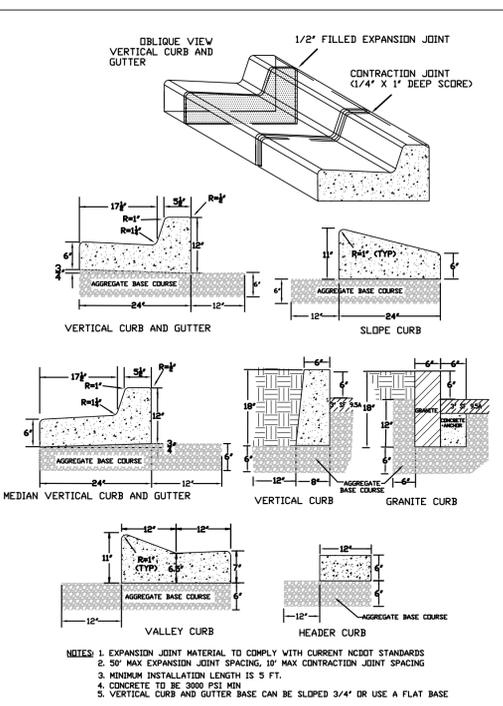
BICYCLE PARKING
 REQUIRED: 5 SPACES
 EXISTING: 0 SPACES
 PROPOSED: 5 SPACES

PROPOSED PARKING:	MIN RATIO	MAX RATIO	MIN	MAX
REQUIRED:				
PROFESSIONAL OFFICE	1/300	1/200	24	36

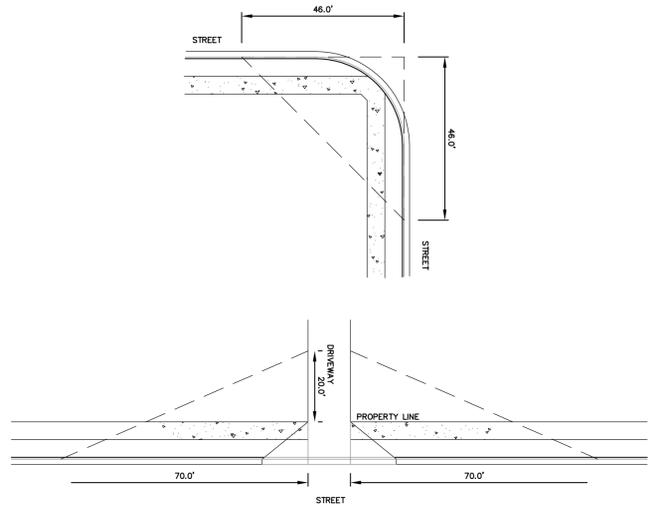
EXISTING ONSITE PARKING: 45 SPACES + 2 HANDICAPPED = 47 TOTAL SPACES
 EXISTING BUILDING REQUIRES: 33 SPACES + 2 HANDICAPPED = 35 REQUIRED SPACES
 EXISTING SURPLUS ONSITE SPACES: 12 SPACES + 1 HANDICAPPED = 13 SURPLUS SPACES

ADDITIONAL SPACES REQUIRED: 12 SPACES + 0 HANDICAPPED = 12 SPACES

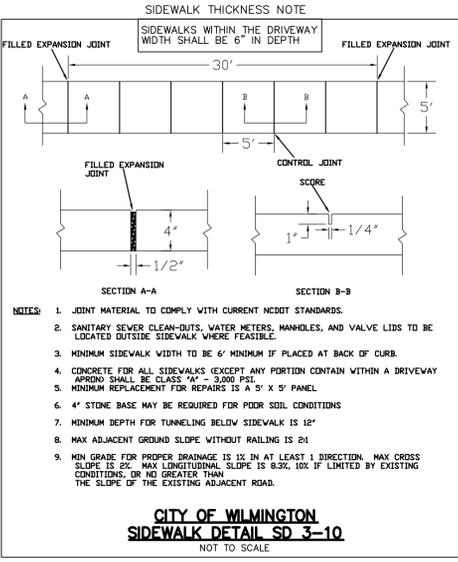
HANDICAPPED SPACE WILL BE ADDED TO ONSITE PARKING LOT
 ADDITIONAL SPACES REQUIRED WILL BE PROVIDED IN OFFSITE LOT



- NOTES:
1. EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NCDDT STANDARDS
 2. 50' MAX EXPANSION JOINT SPACING, 10' MAX CONTRACTION JOINT SPACING
 3. MINIMUM INSTALLATION LENGTH IS 5 FT.
 4. CONCRETE TO BE 3000 PSI MIN
 5. VERTICAL CURB AND GUTTER BASE CAN BE SLOPED 3/4" OR USE A FLAT BASE

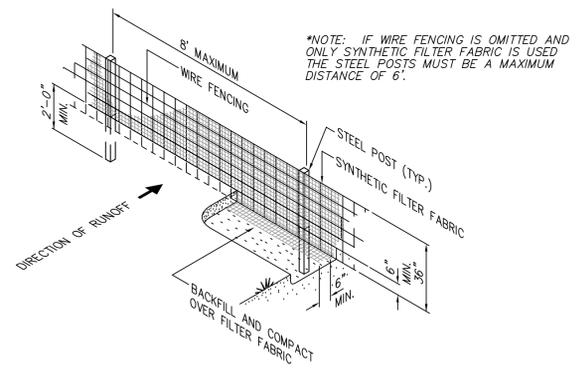


CITY OF WILMINGTON SITE DISTANCE TRIANGLES
NOT TO SCALE

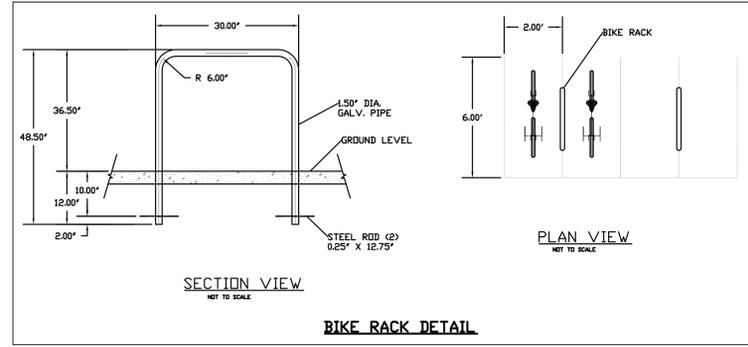


CITY OF WILMINGTON SIDEWALK DETAIL SD 3-10
NOT TO SCALE

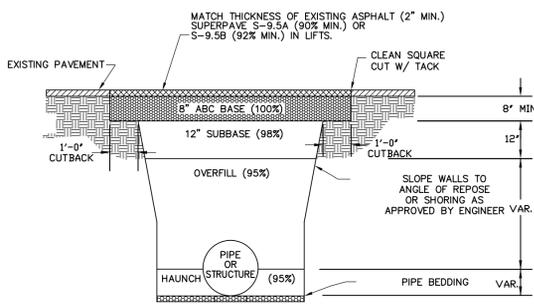
- SEDIMENT FENCE CONSTRUCTION SPECIFICATIONS:
- (1) SILT FENCE IS TO BE TRENCHED IN WITH TRENCHING MACHINE IN ORDER TO HAVE THE MINIMUM AREA OF DISTURBANCE (NON-EVASIVE) UPON INSTALLATION.
 - (2) HEIGHT OF SEDIMENT FENCE IS NOT TO EXCEED 18" ABOVE THE GROUND SURFACE
 - (3) FILTER FABRIC TO BE CONSTRUCTED FROM CONTINUOUS ROLL CUT TO LENGTH TO AVOID JOINTS. IF JOINTS ARE NECESSARY, FILTER CLOTH IS TO BE SECURELY FASTENED TO SUPPORT POST WITH OVERLAP TO THE NEXT POST.
 - (4) FILTER FABRIC TO BE SUPPORTED BY WIRE MESH FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY STAPLES AT LEAST 1' LONG OR TIE WIRES. EXTEND WIRE MESH SUPPORT TO THE BOTTOM OF THE TRENCH.
 - (5) A MAXIMUM OF 8' STAKE SPACING IS ALLOWED WHEN WIRE MESH SUPPORT FENCE IS USED. SUPPORT POST SHOULD BE DRIVEN SECURELY INTO THE GROUND A DISTANCE OF AT LEAST 18".
 - (6) EXTRA STRENGTH FILTER FABRIC WITH 6" POST SPACES DOES NOT REQUIRE WIRE MESH SUPPORT FENCE. STAPLE OR WIRE THE FILTER FABRIC DIRECTLY TO POSTS.
 - (7) EXCAVATE A TRENCH APPROXIMATELY 4" WIDE AND 8" DEEP ALONG THE PROPOSED LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
 - (8) BACKFILL TRENCH WITH COMPACT SOIL OR GRAVEL PLACED OVER THE FILTER FABRIC.
 - (9) DO NOT ATTACH FILTER FABRIC TO EXISTING TREES.
- SEDIMENT FENCE MAINTENANCE:
- (1) INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 - (2) SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REPLACE BURLAP EVERY 60 DAYS.
 - (3) REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
 - (4) REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



ISOMETRIC SILT FENCE DETAIL
NOT TO SCALE



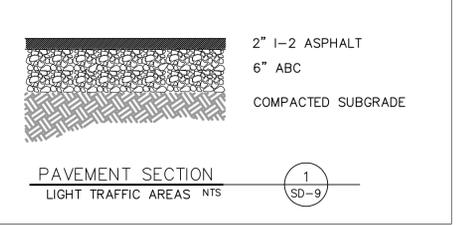
PLAN VIEW
SECTION VIEW
BIKE RACK DETAIL
NOT TO SCALE



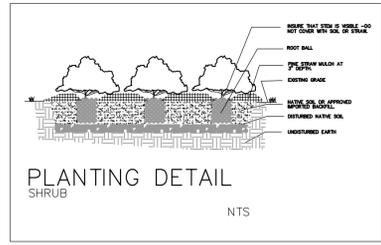
- NOTES:
1. CONTRACTOR SHALL ENSURE BOTTOM OF TRENCH IS SUITABLE FOR INSTALLATION AND DOES NOT REQUIRE FOUNDATION CONDITIONING STONE.
 2. FILL SHALL BE SUITABLE MATERIAL THAT IS FREE FROM HEAVY CLAY, GUMBOS, DEBRIS, ORGANICS AND LITTLE TO NO EXCESSIVE MOISTURE.
 3. SELECT BACKFILL MAY BE SUBSTITUTED OR REQUIRED BY CITY TO ACHIEVE COMPACTION. (I.E. #57, ABC, CRUSHED LIMESTONE, CLEAN SAND, FLOWABLE FILL, ETC).
 4. SOIL SHALL BE INSTALLED IN 6"-8" LIFTS AND COMPACTED BY A MECHANIZED TAMPER (I.E. JUMPING JACK), HOWEVER, VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
 5. ALL APPROVED CASTINGS SHALL BE SET FLUSH TO GRADE AND SUPPORTED IF APPLICABLE.
 6. COMPACT MATERIALS TO MINIMUM % DENSITY SHOWN IN DIAGRAM AS DETERMINED BY THE STANDARD PROCTOR METHOD ASTM D-698-A FOR SOILS, AND ASTM D-698-C FOR ABC STONE, AND BY NUCLEAR GAUGE OR CORE SAMPLE FOR ASPHALT.
 7. CUTBACKS OF ASPHALT SHALL BE PREPARED ON EDGE OF EXCAVATION OVER TOP OF UNDISTURBED SOIL.

WILMINGTON NORTH CAROLINA
Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

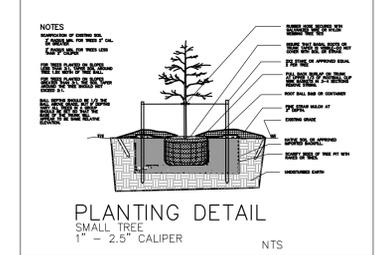
WILMINGTON NORTH CAROLINA
Public Services/Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____



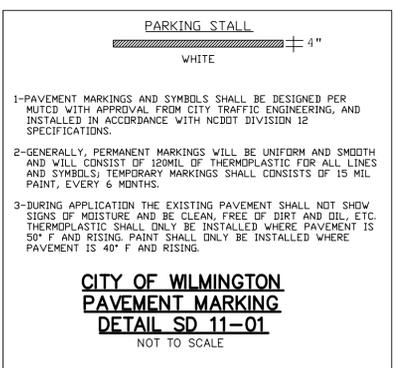
PAVEMENT SECTION
LIGHT TRAFFIC AREAS NTS
1 SD-9



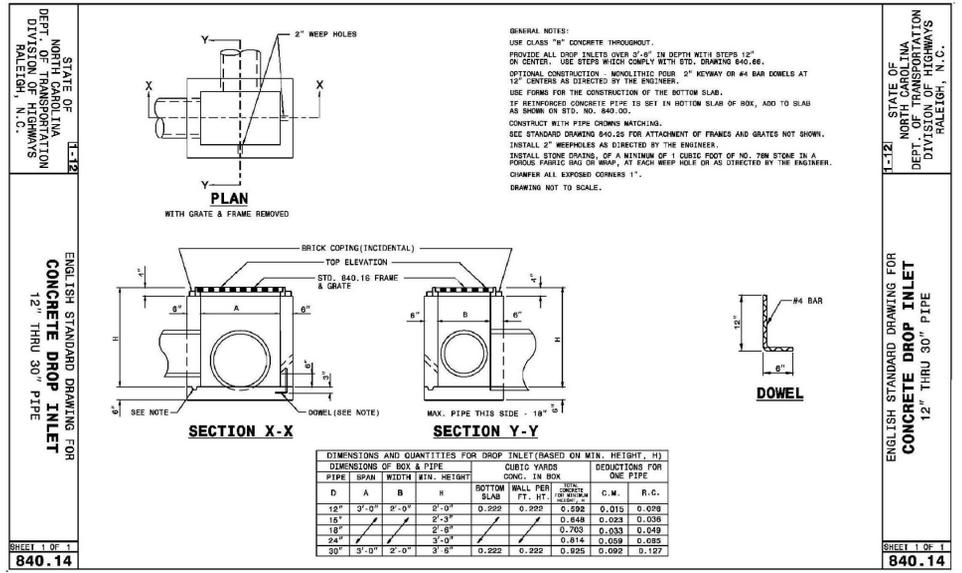
PLANTING DETAIL
SHRUB
NTS



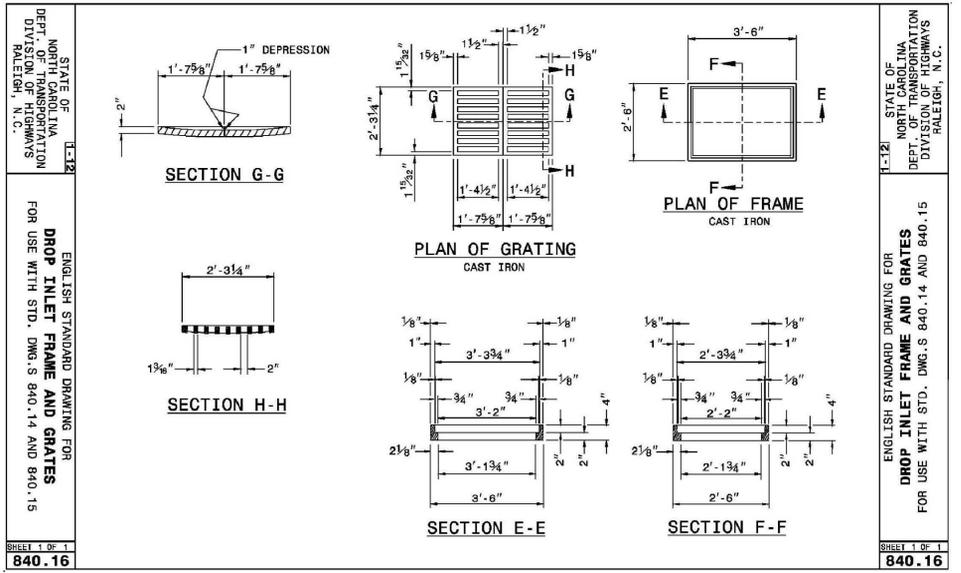
PLANTING DETAIL
SMALL TREE
1" - 2.5" CALIPER
NTS



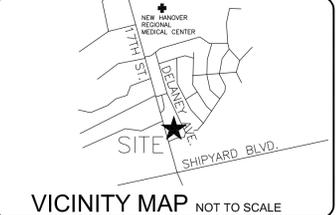
CITY OF WILMINGTON PAVEMENT MARKING DETAIL SD 11-01
NOT TO SCALE



ENGLISH STANDARD DRAWING FOR CONCRETE DROP INLET 12" THRU 30" PIPE SHEET 1 OF 1 840.14



ENGLISH STANDARD DRAWING FOR DROP INLET FRAME AND GRATES FOR USE WITH STD. DWG.S 840.14 AND 840.15 SHEET 1 OF 1 840.16



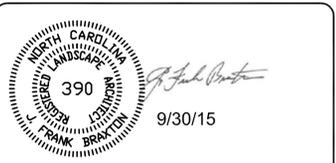
VICINITY MAP NOT TO SCALE

LEGEND:

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

REV. #	DESCRIPTION	REV. BY	DATE
	REVISIONS		

NOT FOR CONSTRUCTION



Coastal Land Design, PLLC
Civil Engineering / Landscape Architecture
Land Planning / Construction Management
P.O. Box 1172, Wilmington, NC 28402
Phone: 910-254-9333, Fax: 910-254-0022

DRAWN : R. LEWIS	PROJECT NUMBER : 149-01
DESIGN : F. BRAXTON	SCALE : N/A
CHECK : J. PETROFF	DATE : 29 JULY 2015
APPROVED : F. BRAXTON	FILE NAME :

REEDS JEWELERS COMMERCE FACILITY

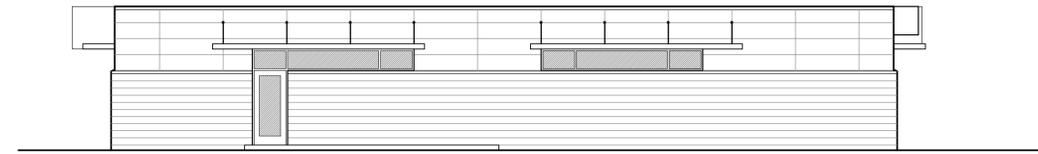
DETAILS

JOB NUMBER 149-01	SHEET NUMBER C-4
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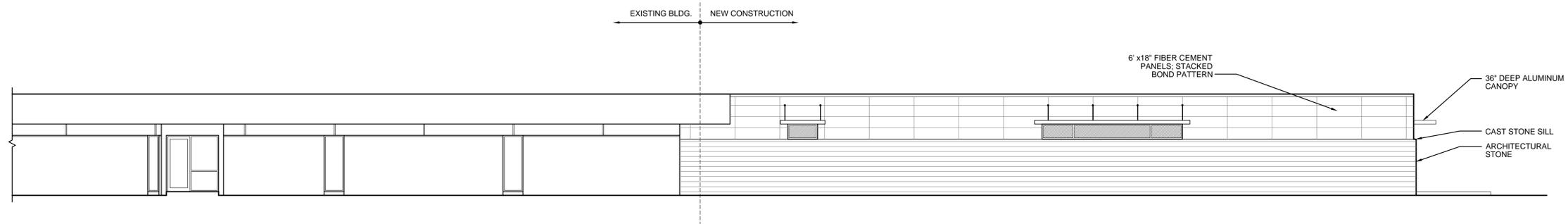


ISSUE BLOCK		
NO.	DATE	DESCRIPTION

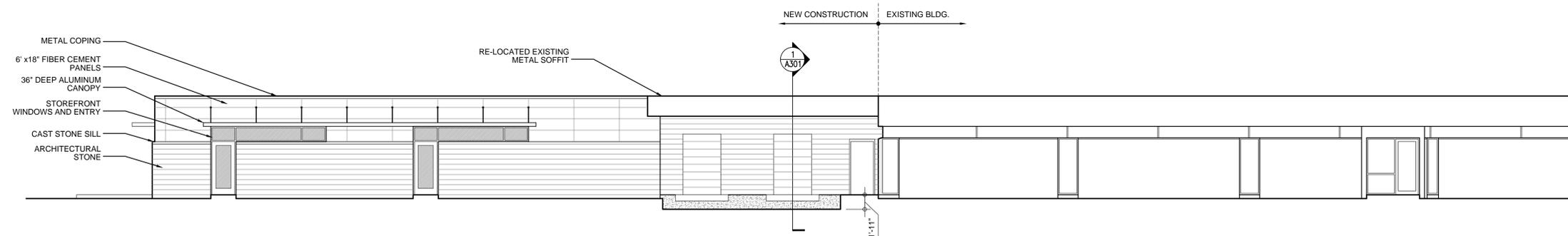
PROJECT NO:	2015074.00
DATE:	07/09/2015
SCALE:	
DRAWN BY:	EJS
PROJ MGR:	LML



3 EAST ELEVATION
A201 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
A201 SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
A201 SCALE: 1/8" = 1'-0"