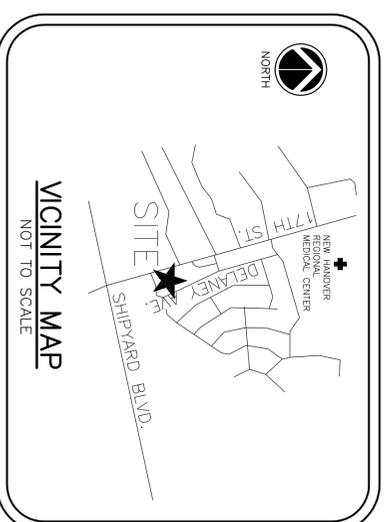


SITE DEVELOPMENT PLANS

for

Reeds Jewelers Commerce Facility

2525 S. 17th Street
Wilmington, North Carolina



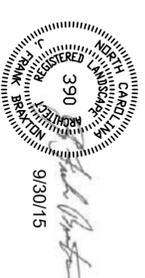
PRELIMINARY DESIGN
NOT RELEASED FOR
CONSTRUCTION

ISSUED FOR AGENCY
REVIEW ONLY

CONTENTS	
INV-1	EXISTING CONDITIONS & DEMOLITION
SP-2	SITE PLAN
SP-3	GRADING & DRAINAGE PLAN
SP-4	LANDSCAPE PLAN
SP-5	DETAILS
SP-6	DETAILS

- General Notes:
- Prior to any clearing, grading, or construction activity, tree protection fencing will be installed around protected trees or groves of trees and no construction workers, materials, or vehicles are permitted within the tree protection fencing.
 - All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards.
 - Traffic control devices (including signs and pavement markings) in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards.
 - Contact Traffic Engineering at 341-7888 to ensure that all traffic signals facilities and equipment are shown on the plan. Add a note to call Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right-of-way.
 - Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.
 - Project shall comply with the CFPWA Cross Connection Control requirements. Water meter(s) cannot be released until all requirements are met and the State has given its Final Approval. Call 332-6419 for information.
 - If the contractor desires CFPWA water for construction he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.
 - Any irrigation system supplied by CFPWA water shall comply with the CFPWA's Connection Control regulations. Call 332-6419 for information.
 - Any backflow prevention devices required by the CFPWA will need to be on the list of approved devices for USCFOCCHR or ASSE.
 - A Landscaping Plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and the Parks and Recreation Department for review and approval prior to the recording of the final plat.
 - Permitting of business identification signage is a separate process. NCDOT/City of Wilmington will not allow obstructions within the right of way.
 - Prior to any clearing, grading or construction activity, tree protection fencing will be installed around protected trees or groves of trees and no construction workers, tools, materials or vehicles are permitted within the tree protection fencing.
 - All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
 - Install reflectors per City and NCDOT standards. Traffic Engineering must approve of pavement marking layout prior to actual striping.
 - All parking stall markings and lane arrows within parking areas shall be white.
 - A utility cut permit is required for each open cut of a City street. Contact 910-341-5888 for details. In certain cases, an entire resurfacing of the area being open cut may be required.

OWNER:
Zimco
P.O. Box 2628
Wilmington, NC 28402



For each open cut of City streets a \$325 shall be required from the City prior to occupancy and acceptence.

WILMINGTON
Public Services Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
Signed: _____

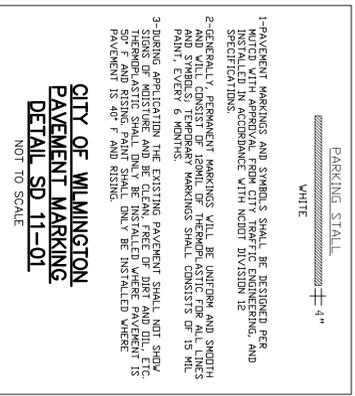
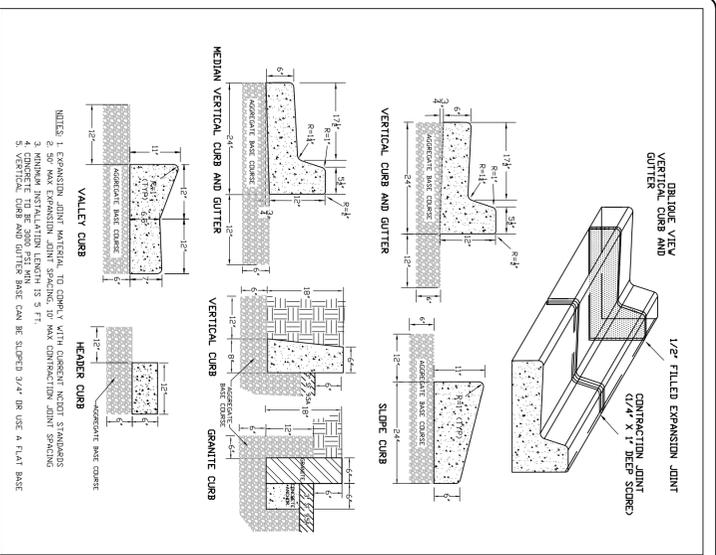
WILMINGTON
Approved Construction Plan

Name: _____ Date: _____
Planning: _____
Traffic: _____
Fire: _____



Coastal Land Design, PLLC
Civil Engineering / Landscape Architecture
Land Planning / Construction Management
NCBELS Firm License No: P-0369
www.cldeng.com
P.O. Box 1172
Wilmington, NC 28402
Phone: 910-254-9333
Fax: 910-254-0502

UTILITY LOCATION NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OR RELOCATION OF ALL UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY AGENCY OR COMPANY. THE CONTRACTOR IS REQUIRED TO CALL THE "NDRTH CAROLINA ONE CALL CENTER" 1-800-632-4949 OR 811 BEFORE DIGGING.



**CITY OF WILMINGTON
PAVEMENT MARKING
DETAIL SD 11-01**
NOT TO SCALE

1-PAVEMENT MARKINGS AND SYMBOLS SHALL BE DESIGNED PER MUTCD WITH APPROVAL FROM CITY ENGINEERING. AND NOTED WITH APPROVAL FROM CITY PUBLIC ENGINEERING. AND LOCATED WITH CONFORMANCE WITH MUTCD DIVISION 15 SPECIFICATIONS.

2-GENERALLY, PAVEMENT MARKINGS WILL BE UNIFORM AND SMOOTH AND WILL CONSIST OF 120ML OF THERMOPLASTIC FOR ALL LINES AND SYMBOLS. THERMOPLASTIC MARKINGS SHALL CONSIST OF 15 MIL PAW 1, 50% SOLIDS.

3-PAVEMENT MARKING THE EXISTING PAVEMENT SHALL NOT SHOW SIGNIFICANT WEAR AND TEAR. THE THERMOPLASTIC SHALL ONLY BE INSTALLED WHERE PAVEMENT IS DAMAGED OR WEAR IS 1/8\"/>

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to any and/or project acceptance.

WILMINGTON
APPROVED CONSTRUCTION PLAN

Name _____ Date _____

Planning _____

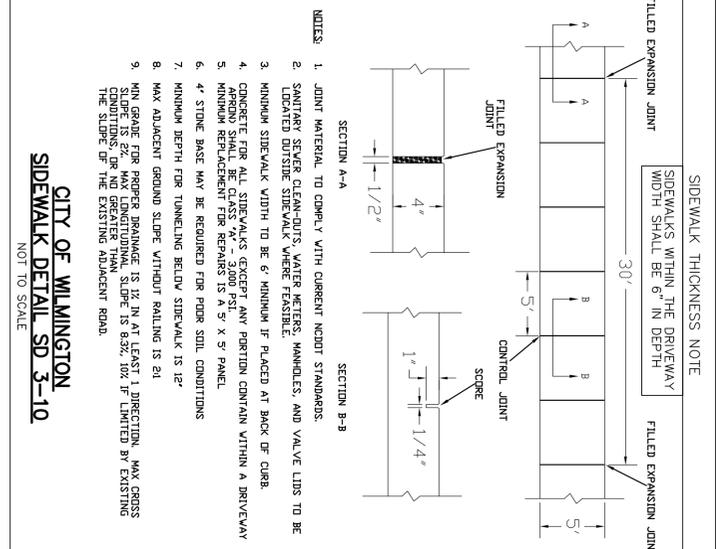
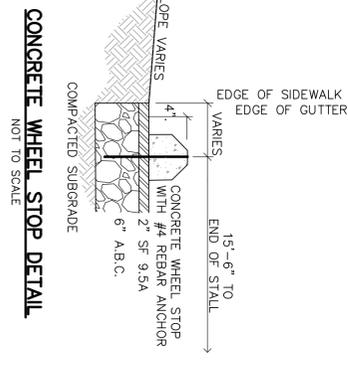
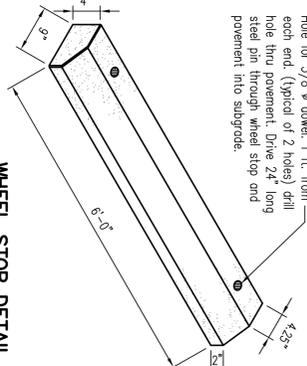
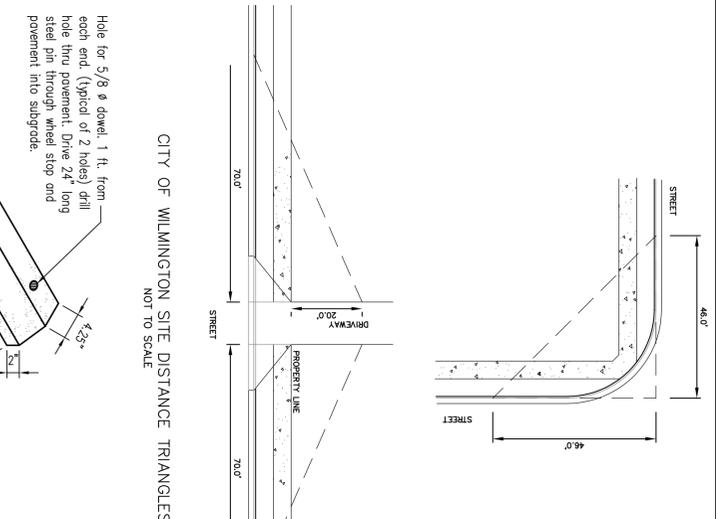
Traffic _____

Fire _____

WILMINGTON
ADMINISTRATION
Public Services/Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit #: _____

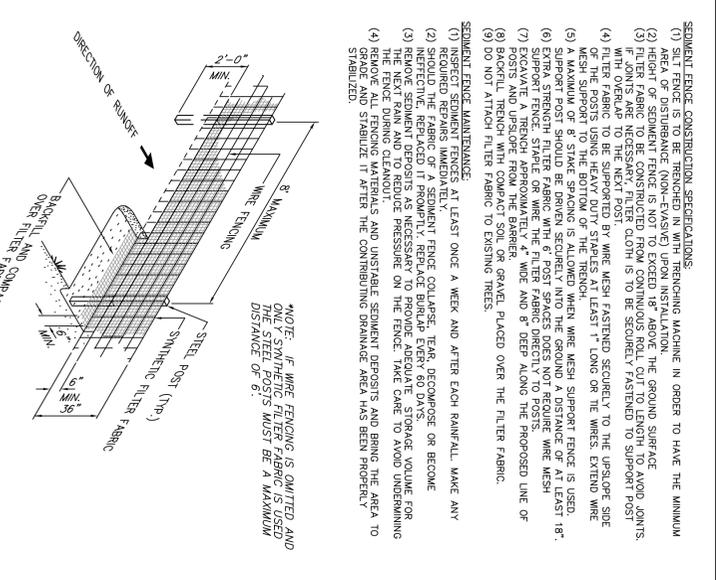
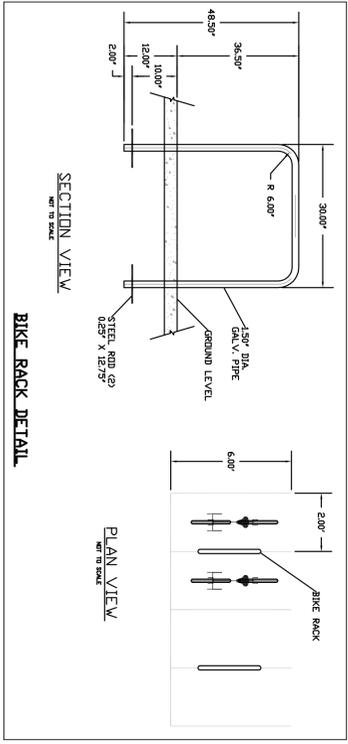
Signed: _____



**CITY OF WILMINGTON
SIDEWALK DETAIL SD 3-10**
NOT TO SCALE

NOTES:

1. JOINT MATERIAL TO COMPLY WITH CURRENT MUTCD STANDARDS.
2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
4. CONCRETE FOR ALL SIDEWALKS EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APPROX. SHALL BE CLASS 44' - 3000 PSI.
5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12".
8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1.
9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.33% (10% IF LIMITED BY EXISTING THE SLOPE OF THE EXISTING ADJACENT ROAD.



**ISOMETRIC
SILT FENCE DETAIL**
NOT TO SCALE

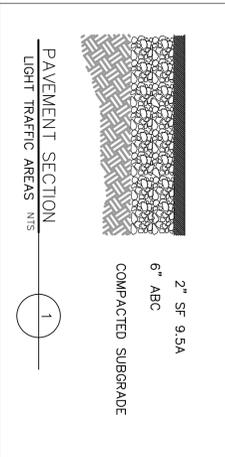
NOTE: IF WIRE FENCING IS OMITTED AND ONLY SYNTHETIC FILTER FABRIC IS USED THE STEEL POSTS MUST BE A MAXIMUM DISTANCE OF 6'.

SEMENT FENCE CONSTRUCTION SPECIFICATIONS:

- (1) SILT FENCE IS TO BE TRENCHED IN WITH TRENCHING MACHINE IN ORDER TO HAVE THE MINIMUM AREA OF DISTURBANCE (NON-EVASIVE) UPON INSTALLATION.
- (2) HEIGHT OF SEDIMENT FENCE IS NOT TO EXCEED 18" ABOVE THE GROUND SURFACE AND JOINTS, IF JOINTS ARE NECESSARY, FILTER FABRIC IS TO BE SECURELY FASTENED TO SUPPORT POST WITH OVERLAP TO THE NEXT POST.
- (3) FILTER FABRIC TO BE SUPPORTED BY WIRE MESH FASTENED SECURELY TO THE UPSLOPE SIDE MESH SUPPORT TO THE BOTTOM OF THE TRENCH. WIRE MESH TO BE 1' LONG ON THE WELLS. EXTEND WIRE MESH SUPPORT TO THE BOTTOM OF THE TRENCH.
- (4) A MAXIMUM OF 8' STAKE SPACING IS ALLOWED WHEN WIRE MESH SUPPORT FENCE IS USED. SUPPORT POSTS SHOULD BE DRIVEN SECURELY INTO THE GROUND A DISTANCE OF AT LEAST 18".
- (5) SUPPORT FABRIC SHOULD BE DRIVEN SECURELY INTO THE GROUND A DISTANCE OF AT LEAST 18".
- (6) SUPPORT FABRIC SHOULD BE DRIVEN SECURELY INTO THE GROUND A DISTANCE OF AT LEAST 18".
- (7) EXCAVATE A TRENCH APPROXIMATELY 4" WIDE AND 8" DEEP ALONG THE PROPOSED LINE OF SEDIMENT FENCE.
- (8) BACKFILL TRENCH WITH COMPACT SAND OR GRAVEL PLACED OVER THE FILTER FABRIC.
- (9) DO NOT ATTACH FILTER FABRIC TO EXISTING TREES.

SEDIMENT FENCE MAINTENANCE:

- (1) INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
- (2) SHOULD THE FABRIC OF A SEDIMENT FENCE BE DAMAGED, REPAIR OR REPLACE THE FABRIC IMMEDIATELY TO PREVENT SEDIMENT FROM PASSING THROUGH THE FENCE. TAKE CARE TO AVOID UNDERMINING THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE.
- (3) REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE.
- (4) REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



FINAL PAVEMENT DESIGN MAY VARY WITH FIELD CONDITIONS.

Coastal Land Design, PLLC
Civil Engineering / Landscape Architecture
Land Planning / Construction Management
1000 Bay 1171
Wilmington, NC 28402
Phone: 910.344.4822
Fax: 910.344.4822
www.clad.com

DRAWN :	R. LEVINS	PROJECT :	149-01
DESIGN :	F. BRAXTON	NUMBER :	N/A
CHECK :	J. PETRILOFF	SCALE :	N/A
APPROVED :	F. BRAXTON	DATE :	29 JULY 2015
FILE NAME :			

**REEDS JEWELERS
COMMERCE FACILITY**

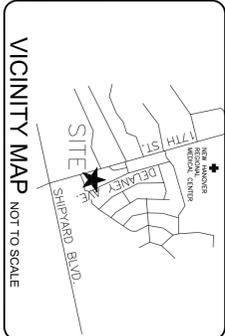
DETAILS

149-01

SP-5

ISSUED FOR AGENCY REVIEW ONLY

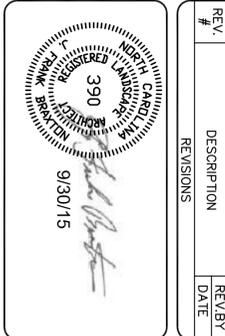
PRELIMINARY DESIGN NOT RELEASED FOR CONSTRUCTION



LEGEND

REV #	DESCRIPTION	REVISIONS	REVIEW	DATE

OWNER:
Zimco
P.O. Box 2628
Wilmington, NC 28402



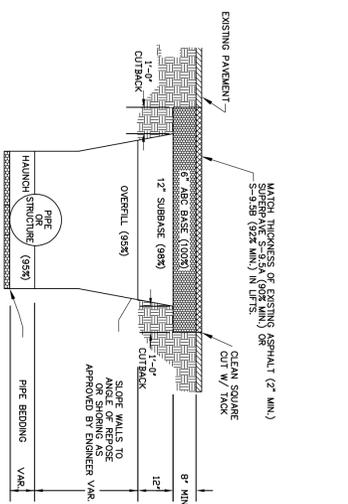
LANDSCAPE NOTES

1. ALL LANDSCAPE MATERIAL MUST BE INSTALLED PRIOR TO FINAL BUILDING INSPECTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR RELOCATION OF EXISTING UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY AGENCY OR COMPANY.
3. CONTRACTOR SHALL NOT SUBSTITUTE FOR ANY OF THE PLANT MATERIAL THAT IS SPECIFIED WITHOUT PRIOR APPROVAL OF COASTAL LAND DESIGN.
4. VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. MUCH UNDER ALL PROPOSED TREES AND SHRUBS WITH PINE NEEDLES AT A 3"-4" DEPTH.
6. PLANT SIZES INDICATED SPECIFY MINIMUM ALLOWABLE SIZES AT PLANTING. WHERE CONTAINER AND HT. SIZES ARE INDICATED FOR A SINGLE SPECIES, BOTH SIZE REQUIREMENTS MUST BE MET.
7. THERE SHALL BE AT LEAST A 3 FT. SEPARATION BETWEEN LANDSCAPED AREAS AND PARKING AREAS TO ALLOW VEHICLE OVERHANGS.
8. ALL PLANTINGS USED TO SCREEN THE DRIVES AND PARKING AREAS FROM ADJOINING ROADWAYS WILL NEED TO BE A MINIMUM OF 24" HIGH AT TIME OF INSTALLATION.
9. ALL OTHER AREAS NOT BEING MULCHED TO BE SEEDED WITH REBEL FESCUE OR EQUAL.
10. THE OWNERS OF THE PROPERTY AND THEIR AGENTS, HEIRS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTING AND PHYSICAL FEATURES SHOWN ON THIS PLAN. THE OWNERS SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT BE LIMITED TO:
 - A. FERTILIZATION
 - TREES/SHRUBS AND GRASSED AREAS BROADCAST A SLOW RELEASE FERTILIZER OVER THE MULCHED BEDS AT THE RECOMMENDED RATES AS SHOWN ON THE BAGS, ONCE MID-FEBRUARY AND ONCE MID-SEPTEMBER.
 - THOROUGH WATERING IS REQUIRED UPON COMPLETION.
 - B. PRUNING WITHIN LIMITS
 - PRUNING WHEN NECESSARY WILL BE DONE TO MAINTAIN THEIR NORMAL GROWTH PATTERN AND TO REMOVE DEAD OR DISEASED PLANT MATERIAL. THERE SHALL BE NO TOPPING OF TREES.
 - C. PEST CONTROL (OPTIONAL)
 - WEED CONTROL TO BE PROVIDED EARLY FEBRUARY, APRIL, JUNE, AUGUST AND OCTOBER IN THE SHRUB/TREE BEDS AND IN THE LAWN AREAS. INSECT DAMAGE SHALL BE TREATED WHEN NECESSARY TO PREVENT DAMAGE TO VEGETATION.
 - D. MULCHING
 - ALL AREAS AROUND THE BUILDING FOUNDATION AND SHRUB/TREE BEDS SHALL BE MULCHED TO A DEPTH OF THREE INCHES. MULCH USED SHALL BE EQUAL WHICH WAS SUPPLIED DURING THE INSTALLATION OF THE PLANTS.
 - E. MOWING
 - MOWING SHALL BE DONE AS NECESSARY TO KEEP GRASS AT THE APPROPRIATE HEIGHT TO INSURE A HEALTHY GROWTH PATTERN
 - F. PROTECTION OF ROOT ZONES
 - TREE/SHRUB ROOT ZONES SHOULD BE PROTECTED FROM FUTURE CONSTRUCTION AND EQUIPMENT AS MUCH AS POSSIBLE TO AVOID DAMAGE OR COMPACTION TO THE ROOT AREAS
 - G. WATERING SCHEDULE FOR IRRIGATION SYSTEM
 - MAINTENANCE SHALL INCLUDE A THOROUGH INITIAL WATERING WITH WEEKLY WATERINGS THEREAFTER FOR THE FIRST 30 DAYS. WATERINGS THEREAFTER BE ON A BI-WEEKLY BASIS.
 - H. STAKE AND WIRE REMOVAL
 - AT THE END OF THE FIRST YEAR ALL PLANT STAKING AND GUYING SYSTEMS SHALL BE REMOVED.

For each open utility cut of City streets, a \$395 shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
 NORTH CAROLINA
 Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

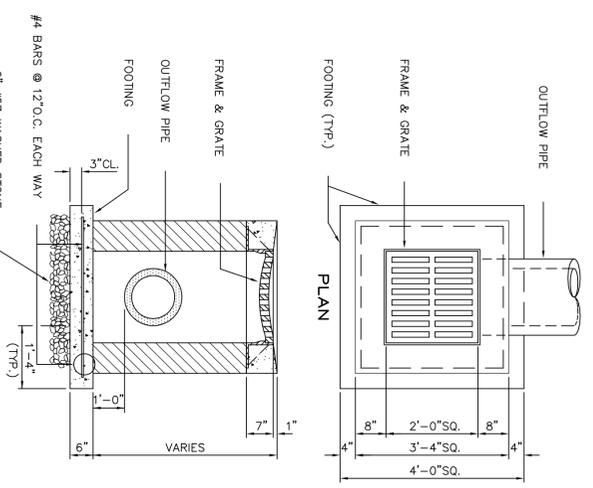
Date: _____ Permit #: _____
 Signed: _____
WILMINGTON
 NORTH CAROLINA
 Public Service Engineering Division
 APPROVED DRAINAGE PLAN



- NOTES**
1. CONTRACTOR SHALL ENSURE BOTTOM OF TRENCH IS SUITABLE FOR INSTALLATION AND DOES NOT REQUIRE FOUNDATION CONDITIONING STONE.
 2. FILL SHALL BE SUITABLE MATERIAL THAT IS FREE FROM HEAVY CLAY, GOMBS, DEBRIS, ORGANICS AND LITTLE TO NO EXCESSIVE MOISTURE.
 3. SELECT BACKFILL MAY BE SUBSTITUTED OR REQUIRED BY CITY TO ACHIEVE COMPACTION. (I.E. #57, AGG. CONCRETE UNDERSTONE, CLEAN SAND, FORTIFIED FILL, ETC).
 4. SOIL SHALL BE INSTALLED IN 6"-8" LIFTS AND COMPACTED BY A MECHANIZED METHOD FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
 5. ALL APPROVED CASTINGS SHALL BE SET FUSH TO GRADE AND SUPPORTED IF APPLICABLE.
 6. THE STANDARD PROCTOR METHOD ASTM D-698-A FOR SOILS AND ASTM D-698-C FOR AGG. STONE, AND BY NUCLEON GAUGE OR CORE SAMPLE FOR ASPHALT.
 7. CONTACT MATERIALS TO MINIMUM 2 DENSITY SHOWN IN DIAGRAM AS DETERMINED BY THE STANDARD PROCTOR METHOD ASTM D-698-A FOR SOILS AND ASTM D-698-C FOR AGG. STONE, AND BY NUCLEON GAUGE OR CORE SAMPLE FOR ASPHALT.
 8. CUTBACKS OF ASPHALT SHALL BE PREPARED ON EDGE OF EXCAVATION OVER TOP OF SUBSTRATED SOIL.

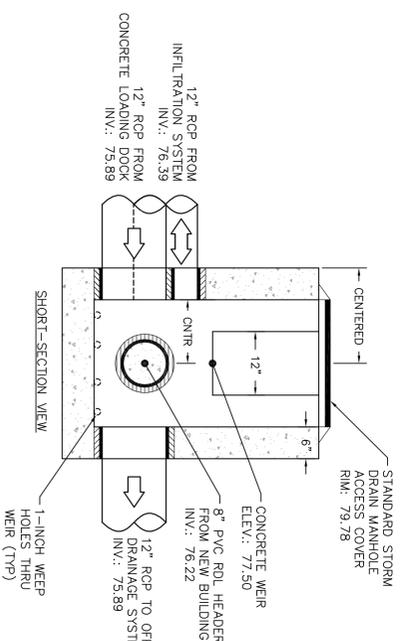
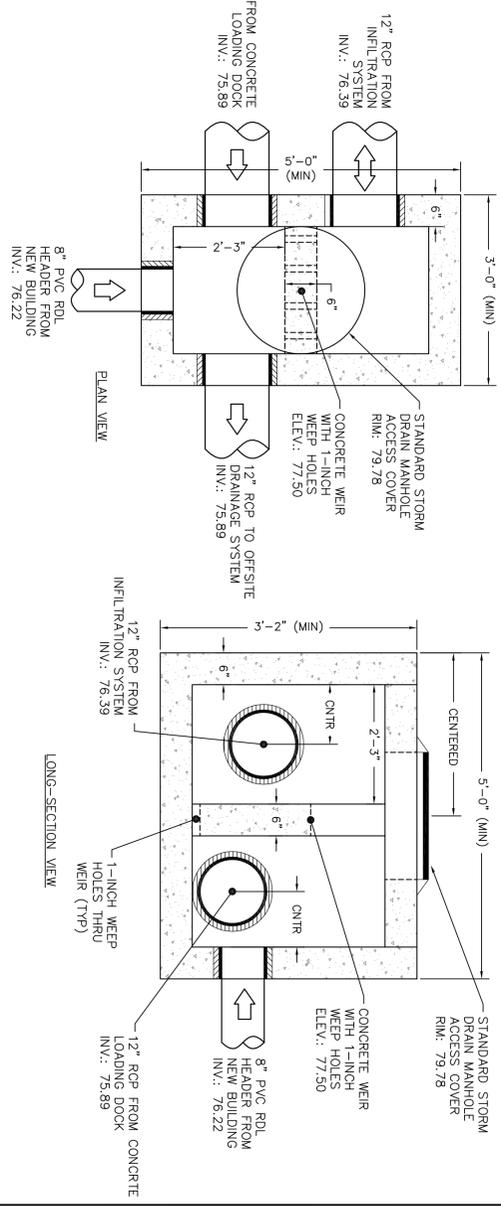
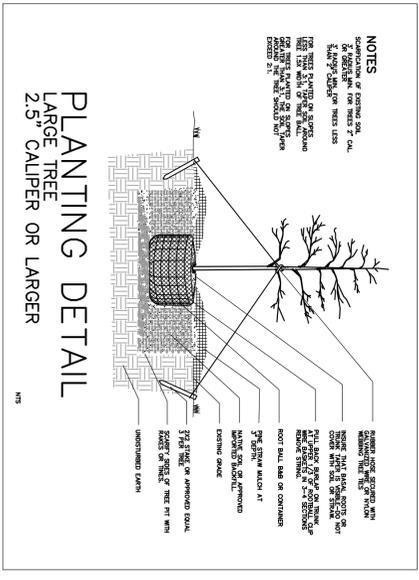
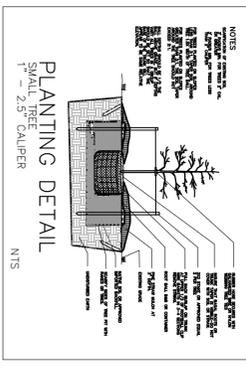
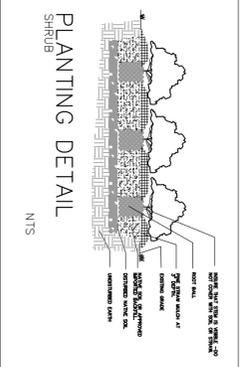
PIPE INSTALLATION DETAIL

NOT TO SCALE



DROP GRATE DETAIL

NOT TO SCALE

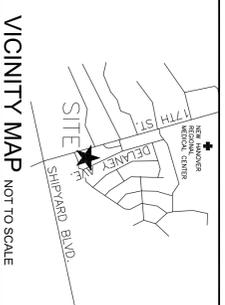


SPLITTER JUNCTION BOX DETAIL

NOT TO SCALE

PRELIMINARY DESIGN NOT RELEASED FOR CONSTRUCTION

ISSUED FOR AGENCY REVIEW ONLY



LEGEND

REV #	DESCRIPTION	REVIEW DATE

OWNER:
 Zimco
 P.O. Box 2628
 Wilmington, NC 28402

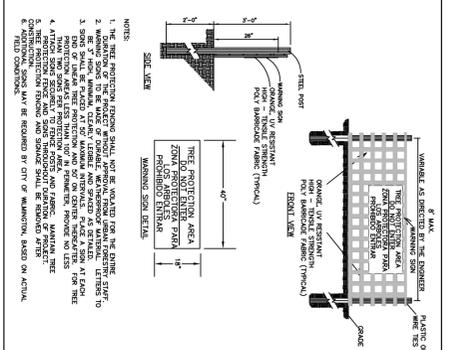
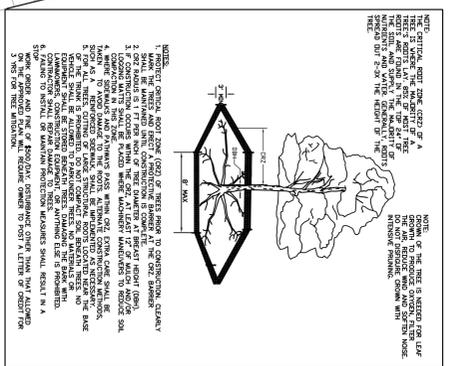
390
 REGISTERED LAND SURVEYOR
 9/30/15

Coastal Land Design, PLLC
 Civil Engineering / Landscape Architecture
 Land Planning / Construction Management
 910 Hwy 171
 10000
 Wilmington, NC 28402 Phone: 910.646.4823 Fax: 910.646.4822 www.clddesign.com

REEDS JEWELERS
COMMERCE FACILITY
DETAILS - 2

DRAWN : R. LEVINS PROJECT : 149-01
 DESIGN : F. BRAXTON NUMBER :
 CHECK : J. PETRIEFF SCALE : N/A
 APPROVED : F. BRAXTON DATE : 29 JULY 2015
 FILE NAME :

JOB NUMBER : 149-01
 SHEET NUMBER : SP-6



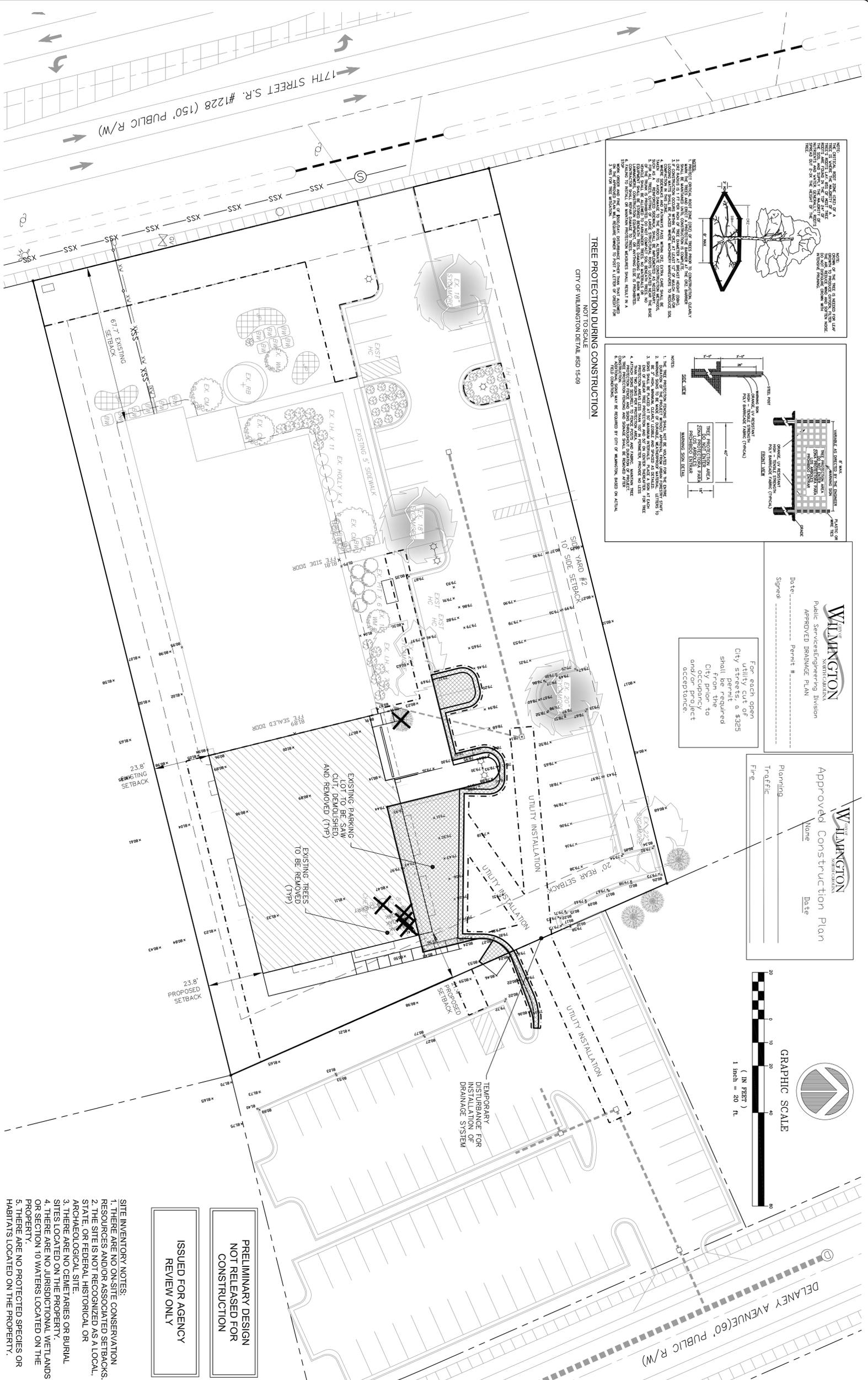
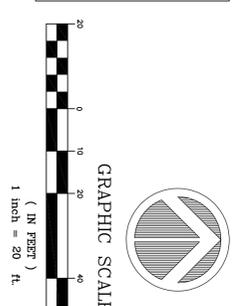
TREE PROTECTION DURING CONSTRUCTION

CITY OF WILMINGTON DETAIL ASD 15-09
NOT TO SCALE

For each open City street, a \$325 permit shall be required City prior to occupancy and/or project acceptance.

Permit # _____
Date: _____
Signed _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____



PRELIMINARY DESIGN NOT RELEASED FOR CONSTRUCTION

ISSUED FOR AGENCY REVIEW ONLY

SITE INVENTORY NOTES:
1. THERE ARE NO ON-SITE CONSERVATION RESOURCES AND/OR ASSOCIATED SETBACKS.
2. THE SITE IS NOT RECOGNIZED AS A LOCAL, STATE, OR FEDERAL HISTORICAL OR ARCHAEOLOGICAL SITE.
3. THERE ARE NO CEMETARIES OR BURIAL SITES LOCATED ON THE PROPERTY.
4. THERE ARE NO JURISDICTIONAL WETLANDS OR SECTION 10 WATERS LOCATED ON THE PROPERTY.
5. THERE ARE NO PROTECTED SPECIES OR HABITATS LOCATED ON THE PROPERTY.

EXISTING PLANTS	
IH	INDIAN HAWTHORNE
SYG	SYCAMORE TREE
WM	WAX MYRTLE
PIT	PITTOSPORUM
CM	CREPE MYRTLE
BW	BOXWOOD
JP	JUNIPER
RB	RIVER BIRCH

GENERAL NOTES:

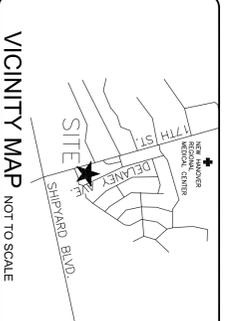
- SITE INFORMATION: 17TH STREET
- PANEL: P1# 86015-001-012
- DEED BOOK: 1587, PAGE: 1478
- PANEL: P1# 1, 1.53 ACRES ±
- BOUNDARY SURVEY, TOPOGRAPHIC SURVEY AS SHOWN ON THIS PLAN WERE PROVIDED BY THIRD PARTY SERVICES, AND WERE SCALED FROM PUBLIC RECORDS.
- NO WETLANDS WERE IDENTIFIED ON SITE.
- CONTRACTOR TO VERIFY ALL EXISTING UTILITIES ABOVE AND BELOW GROUND BEFORE COMMENCING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS GENERATED THROUGH DEMOLITION AND GRABBING ACTIVITIES SHOWN.
- THE DISTURBED AREA FOR THE CONSTRUCTION OF THIS PROJECT IS 0.9 ACRES.
- ALL DISTURBED AREAS ARE TO BE SEDED, FERTILIZED, AND MULCHED, OR ELSEWISE ADEQUATELY STABILIZED, WITHIN 15 WORKING DAYS.
- ALL REGULATED TREES IN DISTURBED AREA ARE TO BE PROTECTED AS PER CITY OF WILMINGTON REGULATIONS.
- ALL STORM DRAIN DEVICES ARE DESIGNED TO PROVIDE POSITIVE DRAINAGE.

INFILTRATION SYSTEM (EXISTING)	
OVERALL AREA	= 66,500 SF
TOTAL BASIN AREA	= 66,500 SF
IMPERVIOUS AREA	= 10,175 SF
ON-SITE BUILDINGS	= NONE
ON-SITE STREETS	= 18,425 SF
ON-SITE PARKING	= 891 SF
ON-SITE SIDEWALK	= 124 SF
OTHER ON-SITE	= NONE
OFF-SITE	= 29,605 SF
TOTAL	= 29,605 SF
[BASIN DENSITY]	= 44.5%
29,605 SF (100) = 44.5%	
66,500 SF	

INFILTRATION SYSTEM (PROPOSED)	
OVERALL AREA	= 58,620 SF
TOTAL BASIN AREA	= 58,620 SF
IMPERVIOUS AREA	= 10,175 SF
ON-SITE BUILDINGS	= NONE
ON-SITE STREETS	= 16,712 SF
ON-SITE PARKING	= 2,627 SF
ON-SITE SIDEWALK	= 61 SF
OTHER ON-SITE	= NONE
OFF-SITE	= 29,575 SF
TOTAL	= 29,575 SF
[BASIN DENSITY]	= 50.4%
29,575 SF (100) = 50.4%	
58,620 SF	

OVERALL SITE (EXISTING)	
OVERALL AREA	= 66,500 SF
TOTAL PROPERTY AREA	= 66,500 SF
IMPERVIOUS AREA	= 10,175 SF
ON-SITE BUILDINGS	= NONE
ON-SITE STREETS	= 18,425 SF
ON-SITE PARKING	= 891 SF
ON-SITE SIDEWALK	= 109 SF
OTHER ON-SITE	= NONE
OFF-SITE	= 29,590 SF
TOTAL	= 29,590 SF
[PROPERTY DENSITY]	= 44.5%
29,590 SF (100) = 44.5%	
66,500 SF	

OVERALL SITE (PROPOSED)	
OVERALL AREA	= 66,500 SF
TOTAL PROPERTY AREA	= 66,500 SF
IMPERVIOUS AREA	= 17,201 SF
ON-SITE BUILDINGS	= NONE
ON-SITE STREETS	= 16,652 SF
ON-SITE PARKING	= 2,776 SF
ON-SITE SIDEWALK	= 807 SF
OTHER ON-SITE	= NONE
OFF-SITE	= 37,436 SF
TOTAL	= 37,436 SF
[PROPERTY DENSITY]	= 56.3%
37,436 SF (100) = 56.3%	
66,500 SF	



LEGEND:

- PROPERTY BOUNDARY
- EXISTING EASEMENT
- EXISTING ROAD OR PARKING
- EXISTING DRAINAGE PIPE
- EXISTING SPOT ELEVATIONS
- DEMOLISHED CURB AND GUTTER
- PROPOSED ROAD OR PARKING
- PROPOSED DRAINAGE PIPE
- PROPOSED PAVEMENT
- DEMOLITION
- PROPOSED BUILDING
- FOOTPRINT
- PROPOSED SIDEWALK/CONCRETE
- PROPOSED DRAINAGE DIRECTION
- PROPOSED SPOT ELEVATIONS

OWNER:
Zimco
P.O. Box 2628
Wilmington, NC 28402

REGISTERED PROFESSIONAL ENGINEER
390
9/30/15

REV # | **DESCRIPTION** | **REVIEW DATE**
REVISIONS

Coastal Land Design, PLLC
Land Engineering / Landscaping Architecture
1000 S. 17th Street, Suite 100
Wilmington, NC 28402
Phone: 910.342.4232
Fax: 910.342.4232
www.clddesign.com

DRAWN: R. LEMIS | **PROJECT:** 149-01
DESIGN: F. BRAXTON | **NUMBER:** 1
CHECK: J. GARMIN | **SCALE:** 1" = 20'
APPROVED: J. PETROFF | **DATE:** 7 DEC 2015
FILE NAME:

REEDS JEWELERS
COMMERCE FACILITY

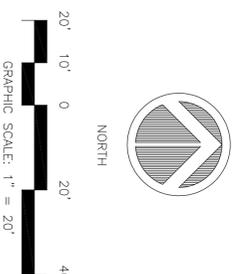
EXISTING SITE AND DEMOLITION PLAN

JOB NUMBER: 149-01 | SHEET NUMBER: INV-1

For each open City street cut of a \$225 shall be required from the City prior to occupancy and/or project acceptance.

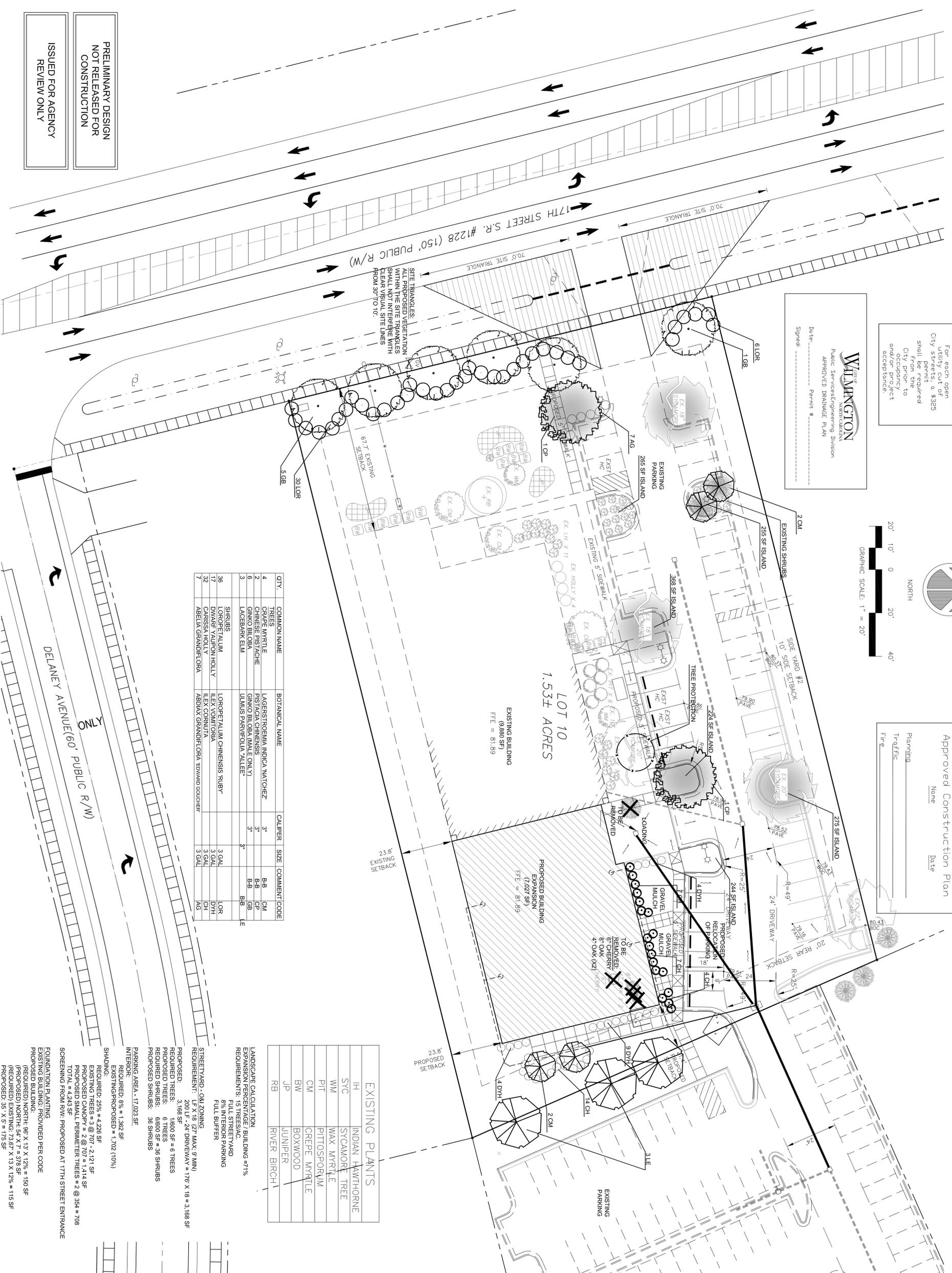
WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED DRAINAGE PLAN

Date: _____
Signed: _____
Permit # _____



WILMINGTON
NORTH CAROLINA
Approved Construction Plan
Name: _____
Date: _____

Planning _____
Traffic _____
Fire _____



QTY.	COMMON NAME	BOTANICAL NAME	CALIPER	SIZE	COMMENT CODE
4	CRS. AVARTE	LAGERSTROMIA INDICA NATCHOZ	3"	B-B	CM
2	CHINESE DISTACHE	PISTACIA CHINENSIS	3"	B-B	B-B
6	GINKGO BILGUA	GINKGO BILGUA (MALE ONLY)	3"	B-B	GB
3	LACEBARK ELM	ULMUS PARVIFOLIA 'ALLEE'	3"	B-B	GB
	SHRUBS				B-B
36	LOROPETALUM	LOROPETALUM CHINENSIS 'RUBY'	3 GAL	LOR	
17	DWARF YAUPOH HOLLY	ILEX VOINIOTIA	3 GAL	DYH	
32	CARISSA HOLLY	ILEX CORNUTA	3 GAL	CH	
7	ABELIA GRANDIFLORA	ABELIA GRANDIFLORA EDWARD GOUCHER	3 GAL	AG	

EXISTING PLANTS	
JH	INDIAN HAWTHORNE
SYC	SYCAMORE TREE
WM	WAX MYRTLE
PIT	PITOSPORUM
CM	CREPE MYRTLE
BW	BOXWOOD
JJP	JUNIPER
RB	RIVER BIRCH

LANDSCAPE CALCULATION
EXPANSION PERCENTAGE / BUILDING = 71%
REQUIREMENTS: 19 TREES/AC
FILL BUFFER

STREET YARD - O&I ZONING
REQUIREMENT: LF X 18 (27' MAX, 9' MIN)
200 LF - 24' DRIVEWAY = 176 X 18 = 3,168 SF

PROPOSED: 3,168 SF
REQUIRED TREES: 1600 SF = 6 TREES
PROPOSED TREES: 6 TREES
PROPOSED SHRUBS: 96 SHRUBS

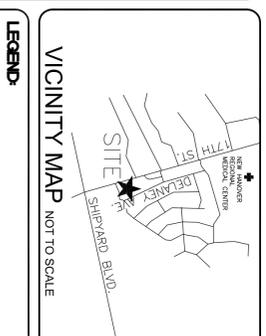
PARKING AREA - 17,023 SF
INTERIOR:
REQUIRED: 8% = 1,362 SF
EXISTING/PROPOSED = 1,702 (10%)

SHADING:
REQUIRED: 25% = 4,228 SF
EXISTING TREES = 3 @ 70' = 2,121 SF
PROPOSED SMALL PERENNIAL TREES = 2 @ 354 = 708
TOTAL = 4,243 SF

SCREENING FROM RW: PROPOSED AT 17TH STREET ENTRANCE
FOUNDATION PLANTING
EXISTING BUILDING: PROVIDED PER CODE
PROPOSED BUILDING:
REQUIRED NORTH: 96 X 13 X 12% = 150 SF
PROPOSED NORTH: 74.67 X 318 SF 12% = 115 SF
PROPOSED: 35 X 5 = 175 SF
TOTAL: 12 X 5 = 60 SF
TOTAL: 235 SF

PRELIMINARY DESIGN
NOT RELEASED FOR
CONSTRUCTION

ISSUED FOR AGENCY
REVIEW ONLY



LEGEND

REV #	DESCRIPTION	REVISIONS	REVIEW DATE

OWNER:
Zimco
P.O. Box 2628
Wilmington, NC 28402

Coastal Land Design, PLLC
Civil Engineering / Landscape Architecture
Land Planning / Construction Management
910 Bay 17th
Wilmington, NC 28402
Phone: 910.346.4823
Fax: 910.346.4822
www.clddesign.com

DRAWN: R. LEVINS	PROJECT: 149-01
DESIGN: F. BRAXTON	NUMBER: 1-30'
CHECK: J. PETROFF	SCALE: 1" = 30'
APPROVED: F. BRAXTON	DATE: 29 JULY 2015
FILE NAME:	

**REEDS JEWELERS
COMMERCE FACILITY**

**LANDSCAPE PLAN
OFFICE BUILDING ADDITION**

JOB NUMBER: 149-01
SHEET NUMBER: SP-4

For each open utility cut of City streets, a \$325 Permit shall be required from the City to occupancy and/or project acceptance.

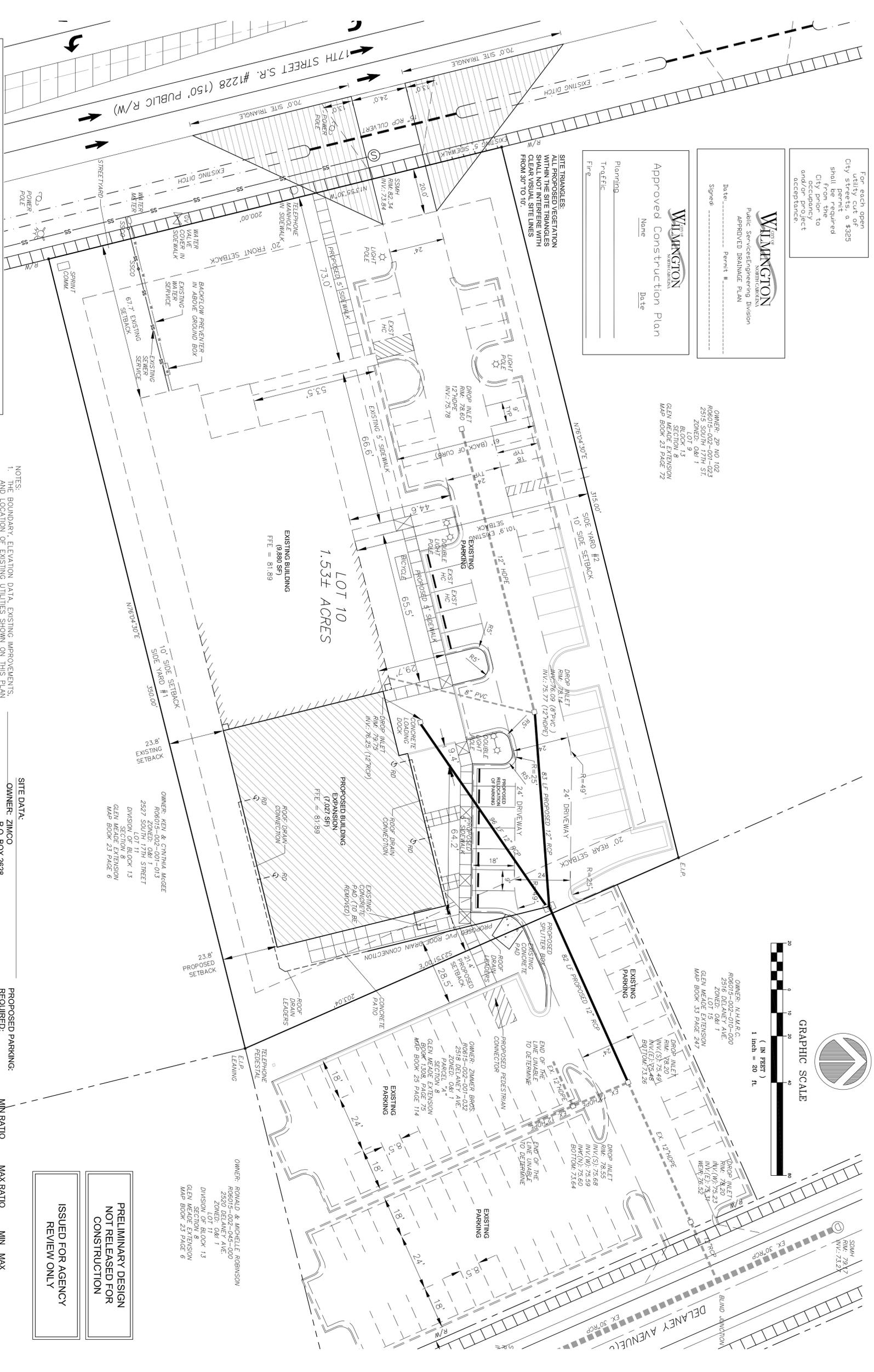
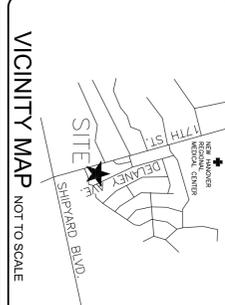
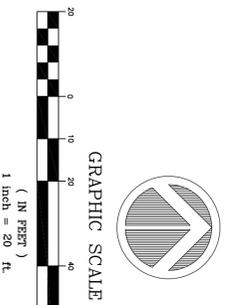
WILMINGTON
Public Service Engineering Division
APPROVED DRAINAGE PLAN

Signed _____ Permit # _____
Date _____

WILMINGTON
APPROVED Construction Plan

Name _____ Date _____
Planning _____
Traffic _____
Fire _____

OWNER: ZP NO 102
R06015-002-001-023
2315 SOUTH 7TH ST.
LOT 9
BLOCK 13
GLEN MEADE EXTENSION
MAP BOOK 23 PAGE 72



OVERALL SITE (EXISTING)		OVERALL SITE (PROPOSED)	
OVERALL AREA	= 66,500 SF	OVERALL AREA	= 66,500 SF
IMPERVIOUS AREA	= 10,175 SF	IMPERVIOUS AREA	= 17,201 SF
ON-SITE BUILDINGS	= NONE	ON-SITE BUILDINGS	= NONE
ON-SITE STREETS	= 18,425 SF	ON-SITE STREETS	= 16,652 SF
ON-SITE PARKING	= 881 SF	ON-SITE PARKING	= 2,776 SF
ON-SITE SIDEWALK	= 109 SF	ON-SITE SIDEWALK	= NONE
OTHER ON-SITE	= NONE	OTHER ON-SITE	= NONE
OFF-SITE	= NONE	OFF-SITE	= NONE
TOTAL	= 29,590 SF	TOTAL	= 37,436 SF
PROPERTY DENSITY	29,590 SF (100) = 44.5%	PROPERTY DENSITY	37,436 SF (100) = 56.3%

- NOTES:
- THE BOUNDARY, ELEVATION DATA, EXISTING IMPROVEMENTS, AND LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN WERE PROVIDED BY JMO PARTIES AND SCALED FROM PUBLIC RECORDS.
 - THE EXISTING PARKING (BOTH ONSITE AND OVERFLOW) THE PROPOSED IMPROVEMENTS.
 - THERE ARE NO WETLANDS IDENTIFIED WITH IN THE BOUNDARY OF THIS SITE.
 - THE CONTRACTOR IS TO FIELD VERIFY THE HORIZONTAL AND BELOW GRADE AND THE LOCATION OF UTILITIES ABOVE BUILDING PRIOR TO BEGINNING CONSTRUCTION.
 - THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE.
 - ALL EXTERNAL LIGHTING MUST BE INTERNALLY ORIENTED.
 - SIGHT TRIANGLE: ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.

SITE DATA:

OWNER: ZIMCO
P.O. BOX 2628
WILMINGTON, NC 28402

PROPERTY - 2525 S. 17TH STREET
PARCEL PIN# : R06015-002-001-012
DEED BOOK 1567 PAGE 1478
PARCEL SIZE: 1.53 ACRES +-
ZONING: O&I-1 OFFICE & INSTITUTIONAL DISTRICT 1

PROPOSED BUILDING DATA
PROPOSED SIZE: 7,042 SF
PROPOSED BUILDING HEIGHT: 13 FT - 1 STORY
PROPOSED BUILDING LOT COVERAGE: 10.6%
SETBACKS: REQUIRED PROPOSED

FRONT YARD 20' 67.7'
REAR YARD 20' 21.4'
SIDE YARD #1 10' 23.8'
SIDE YARD #2 10' 101.9'

UTILITIES
PUBLIC WATER: CPPUA
PUBLIC SEWER: CPPUA

PROPOSED PARKING:

REQUIRED:	MIN RATIO	MAX RATIO	MIN	MAX
PROFESSIONAL OFFICE	1/300	1/200	24	36
EXISTING ONSITE PARKING:				
EXISTING BUILDING REQUIRES:				
EXISTING SURPLUS ONSITE SPACES:				
ADDITIONAL SPACES REQUIRED:				
HANDICAPPED SPACE WILL BE ADDED TO ONSITE PARKING LOT				
ADDITIONAL SPACES REQUIRED WILL BE PROVIDED IN OFFSITE LOT				
BICYCLE PARKING				
REQUIRED: 5 SPACES				
EXISTING: 0 SPACES				
PROPOSED: 5 SPACES				

ISSUED FOR AGENCY REVIEW ONLY

PRELIMINARY DESIGN NOT RELEASUED FOR CONSTRUCTION

PRELIMINARY DESIGN NOT RELEASUED FOR CONSTRUCTION

OWNER:
Zimco
P.O. Box 2628
Wilmington, NC 28402

9/30/15

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DESIGN : F. BRAXTON NUMBER :
CHECK : J. PETRIEFF SCALE : 1"=30'
APPROVED : F. BRAXTON DATE : 29 JULY 2015
FILE NAME :

REEDS JEWELERS
COMMERCE FACILITY

SITE PLAN FOR
OFFICE BUILDING ADDITION

JOB NUMBER: 149-01
SHEET NUMBER: SP-2