

To: Howard Resnik, PE
From: Jeff Walton, Associate Planner; 910-341-3260
CC: File; Protrak
Date: 8/26/2014
Re: Pier 33 – 715 Nutt Street

The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. Additional review will be required once all the needed documents have been provided. Items or documents not provided on initial submission will be subject to further review. Please contact me for any further questions.

SRB Conditions of Approval:

- From the minutes: Mr. Satterfield clarified that the 12-foot sidewalks requirements in the CBD will apply to properties north of Red Cross where there are no existing sidewalks with the intent to allow the street level of buildings to be pushed back to allow additional pedestrian space, such as café areas and tree drip line.
 - 12-foot sidewalks are required on both sides on Nutt Street when the plans are officially submitted.
 - Label sidewalk widths on both sides of the proposed Nutt Street.

Site Plan Comments:

- **Bathrooms:** Prior to release for construction, will need confirmation of the final location of the bathrooms per the developers agreement. This will affect the approval of the Pier 33 construction plans. Please submit a ground floor plan showing the bathroom location.
 - The agreement states:
 - No less than three toilet facilities in each of the men's and women's sides.
 - Located at the corner of Nutt and Harnett Street.
 - Bathroom Area of at least 24 feet x 28.6 feet.
 - Need to also discuss ownership, maintenance, signage and 24-hour accessibility. I assume this will be part of the condo owners association?
- Sec. 18-60 (c) (11): Show location and dimension of all fencing and screening.
 - Include screening type and height of screen on the architectural drawings.
 - Show detail sheet of all fencing proposed.

CBD Comments:

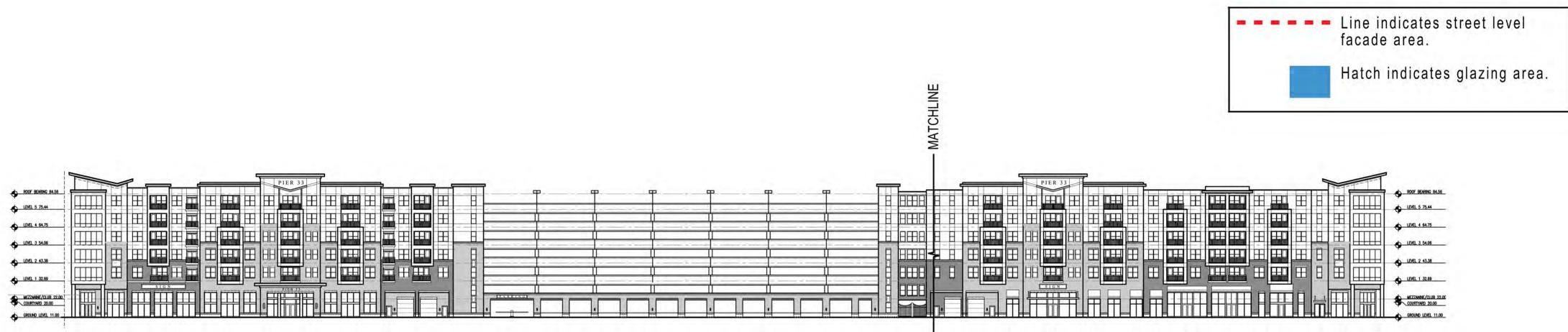
- Show height of any fence proposed against the riverwalk.
- The following design element standards apply to all new construction:
 - Building facades shall incorporate periodic transitions such as expression of structural lines with offsets or change of materials. Transitions shall be no further apart than two-thirds (2/3) of the building height. The predominant orientation of fenestration (window arrangement) within the facade shall be vertical. Large

building facades shall be divided into distinct massing elements utilizing methods including but not limited to: facade offsets, pilasters or change in materials.

- The improvements of the large M's are great. I think you are fine with the bottom levels. I do have concerns with the upper levels of the deck. Is there a way to accent the upper floors to compliment the larger M's along Nutt Street. See redline.
- Sec. 18-196 (c) (6): Street level facades. Buildings shall front onto public sidewalks to reinforce activity levels along public streets and pedestrian ways. **Window glazing shall be the predominant material of the street-level facade.**
 - Label for compliance on the elevation sets along the riverwalk.
 - I can agree with all the glazing except for the elevated patio areas. We cannot include these areas as compliance for the glazing.
 - Can you consider adding glass to these areas under the patios for advertising or art display windows? I don't have much of a suggestion for these areas to comply with glazing.
- Sec. 18-196 (c) (12): Streets, landscaping. For new commercial development, street tree plantings in below-grade planters on the public right-of-way shall be included at the rate of one (1) tree for each thirty (30) feet of frontage. If the City Manager or designee determines there is no plaza or other space available for tree plantings in the right-of-way, or determines that the planting is problematic for the site, then a payment in lieu, equal to the cost for required trees, shall be paid by the developer into the City of Wilmington Tree Improvement Fund. All plans for street tree plantings must be reviewed and approved by the City Manager or designee and must be a minimum of three (3) inches in caliper.
 - Show compliance on landscape plan.

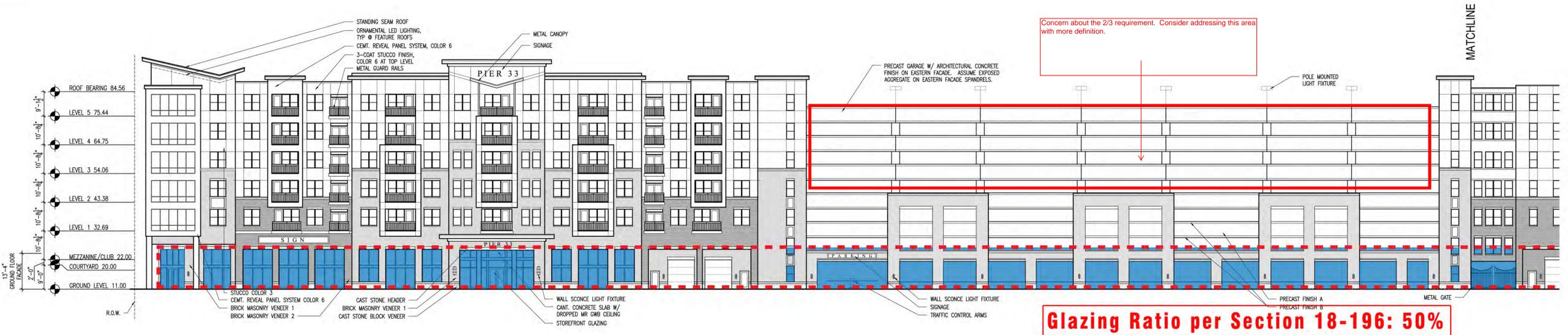
Landscape Plan:

- Sec. 18-462 (d) (13): Show proposed schedule for landscaping.
- Be sure to the plaza areas within the setback to show landscaping compliance with CBD code.



NUTT STREET ELEVATION
SCALE: 1" = 30'-0"

1



NUTT STREET ELEVATION
SCALE: 1/16" = 1'-0"

2



BRUNSWICK STREET ELEVATION
SCALE: 1/16" = 1'-0"

4



NUTT STREET ELEVATION
SCALE: 1/16" = 1'-0"

3

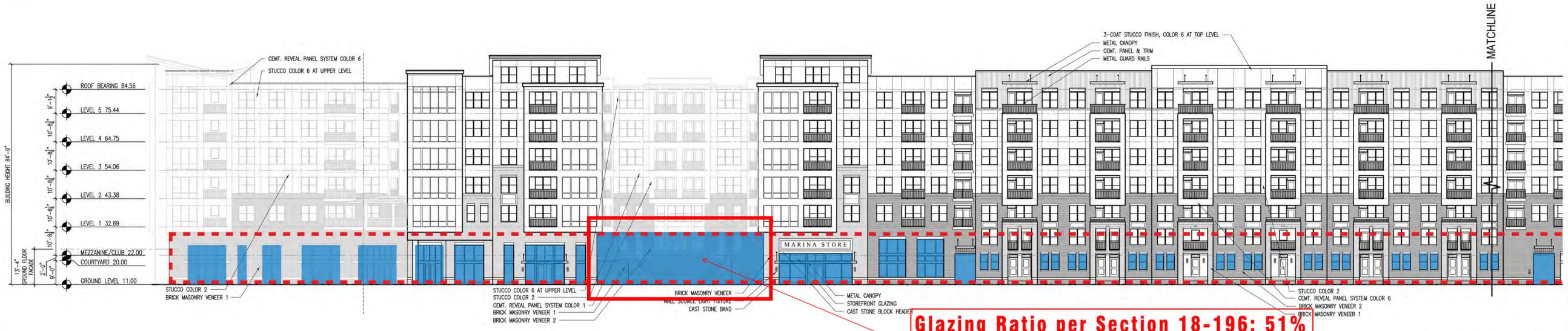
REVISIONS:	DATE
PROJECT: 14007	
ISSUE: 1ST TRC SUBMITTAL	3/19/2014
2ND TRC SUBMITTAL	5/9/2014
3RD TRC SUBMITTAL	5/29/2014
DRAWN BY:	
CHECKED BY:	
CONTENT:	BUILDING SECTION

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--- Line indicates street level facade area.
 [Blue Hatch] Hatch indicates glazing area.

BOARDWALK ELEVATION 1
 SCALE: 1" = 30'-0"



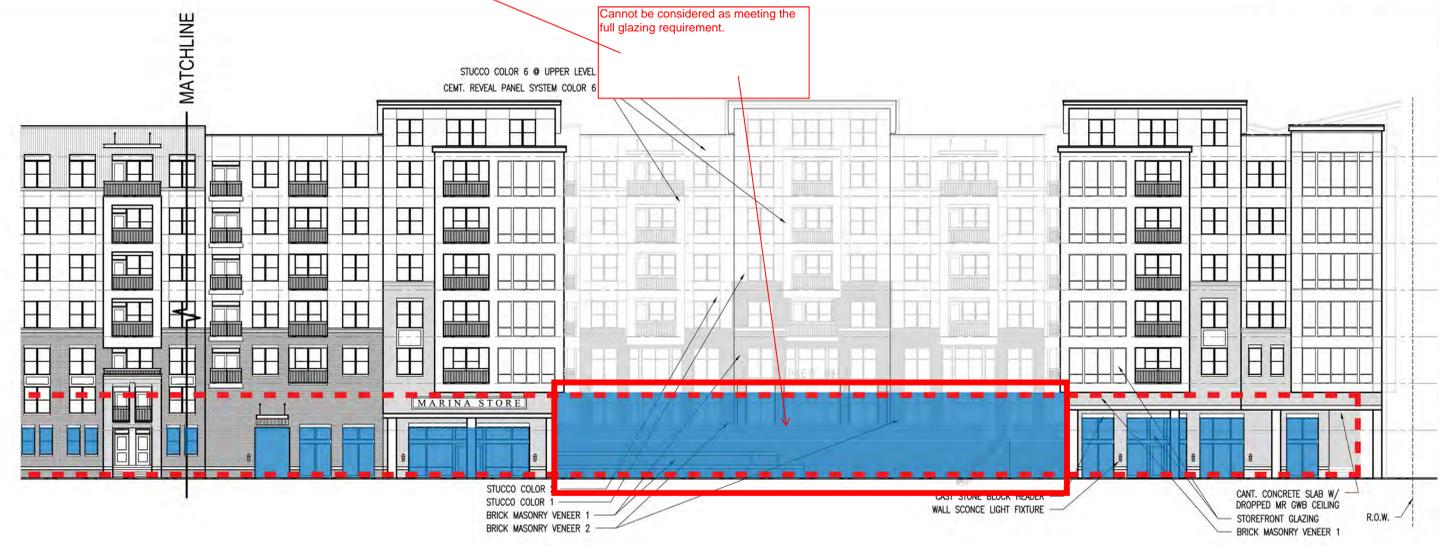
Glazing Ratio per Section 18-196: 51%

BOARDWALK ELEVATION 2
 SCALE: 1/16" = 1'-0"



Glazing Ratio per Section 18-196: 50%

HARNETT STREET ELEVATION 4
 SCALE: 1/16" = 1'-0"



Cannot be considered as meeting the full glazing requirement.

BOARDWALK ELEVATION 3
 SCALE: 1/16" = 1'-0"

FOR REVIEW ONLY

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