

%%USITE DATA:

PROPERTY OWNER	SA LAND HOLDINGS, LLC
PROJECT ADDRESS	202 GILES AVE.
PIN NUMBER	R06207-013-013-000 R06207-013-012-000 R06207-013-011-000 R06207-013-010-000 R06207-013-009-000
AREA NOT IN A FEMA 100-YEAR FLOOD ZONE	
ZONING DISTRICT	CB-COMMUNITY BUSINESS
DISTURBED AREA	1.7 AC. x 15% 26 Trees 2 Cal. Req'd.
SETBACKS REQUIRED	FRONT: 20' REAR: 10' SIDE: 0' CORNER LOT SIDE: 20'
PROPOSED BUILDING SETBACKS	FRONT: 20.5' REAR: 87' SIDE: 15' CORNER LOT SIDE: 94.5'
TRACT AREA	68,103 SF (1.56 AC)
BUILDING USE	VETERINARY, KENNEL, RETAIL
BUILDING TYPE	VB
PROPOSED BUILDING AREA (GROSS)	9,950 SF
BUILDING LOT COVERAGE (9,950/68,103)	15%/%
NUMBER OF UNITS	N/A
NUMBER OF BUILDINGS	3
BUILDING HEIGHT	20'
NUMBER OF STORIES	1
SF PER FLOOR (GROSS)	1st FLOOR 9,950 SF

EXISTING IMPERVIOUS AREAS:	
EXISTING BUILDING	0 SF
EXISTING CONCRETE	16,375 SF
EXISTING CRUSHED STONE	0 SF
EXISTING ASPHALT	0 SF
EXISTING IMPERVIOUS AREA	16,375 SF (24%/%)
PROPOSED IMPERVIOUS AREAS:	
PROPOSED BUILDING FOOTPRINT	9,950 SF
PROPOSED ASPHALT	8,670 SF
PROPOSED CONCRETE	4,820 SF
PROPOSED PERVIOUS (8%/% CREDIT)	4,940 SF
EXISTING IMPERVIOUS (TO REMAIN)	0 SF
TOTAL IMPERVIOUS AREA	27,480 SF (40.4%/%)
PARKING REQUIRED: (RETAIL/OFFICE) 1,250 SF	
MINIMUM: 1,400 SF (1,250/400)	3
MAXIMUM: 1,200 SF (1,250/200)	6
PARKING REQUIRED: (VETERINARY CLINIC) 5,500 SF	
MINIMUM: 1,250 SF (5,500/250)	22
MAXIMUM: 1,170 SF (5,500/170)	32
PARKING REQUIRED: (KENNEL) 3,200 SF	
MINIMUM: 1,400 SF (3,200/400)	8
MAXIMUM: 1,200 SF (3,200/250)	13
TOTAL PARKING REQUIRED: (MINIMUM):	33
TOTAL PARKING REQUIRED: (MAXIMUM):	51
TOTAL PARKING PROVIDED:	33
CAMA LAND USE:	WATERSHED RESOURCE PROTECTION
PUBLIC WATER AND SEWER BY OFFUPA	
EXISTING WATER FLOW:	0 GPD
EXISTING SEWER FLOW:	0 GPD
PROPOSED WATER FLOW:	
(PROPOSED SEWER FLOW x 110%/%)	979 GPD
PROPOSED SEWER FLOW:	
(250 GPD/PRACTITIONER x 2 PRACTITIONERS)	890 GPD
(20 GPD/KENNEL x 12 KENNELS)	
(120 GPD/1000 SF x 1,250 SF)	
HANDICAP SPACES REQUIRED	PROPOSED
(26-50 SPOTS=2 HANDICAP SPACES)	
33 SPACES	2 HANDICAP SPACES
BICYCLE PARKING REQUIRED (33 SPACES)	5 BICYCLE PARKS
BICYCLE PARKING PROPOSED	5 BICYCLE PARKS
TOTAL KENNEL AREA:	3,200 SF
MAXIMUM ANIMALS:	100 ANIMALS

LEGEND

COMMON NAME	SIZE	QTY
FLOWER, PERENNIAL		
LIRIOPE, EMERALD GODDESS	3 GAL.	11
SHRUB, EVERGREEN BROADLEAF		
ABELIA, 'ROSE CREEK'	3 GAL.	77
MISCANTHUS SINENSIS	3 GAL.	36
CAMELLIA	5 GAL.	5
CLEYERA JAPONICA, 36" HT.	7 GAL.	19
HOLLY, YAUPON, DWARF	3 GAL.	63
LIGUSTRUM, JACK FROST	3 GAL.	13
PITTIOSPORUM	3 GAL.	9
KNOCKOUT ROSE, RED	3 GAL.	12
WAXMYRTLE	7 GAL.	61
TREE, DECIDUOUS		
GRAPE MYRTLE TUSCARORA	8-9" HT.	1
EUROPEAN HORNBEAM, COLUMNAR	3" CAL.	12
MAPLE, TRIDENT	25" CAL.	7
OAK, SHUMARD	25" CAL.	5

LONG LEAF PINE STRAW IN ALL TREE AND PLANT BEDS.

A rain/freeze sensor shall be used if there is an irrigation system.

USING THE CREATIVE STANDARD OF THE CODE 50% OF THE STREET YARDS SHALL BE PLANTED AS CALLED OUT.

PROPOSED IMPERVIOUS AREA Renaissance II side:	8670 SF x 20% shading req'd. = 1734 sf	per Creative Code:	Provided:
PARKING / DRIVEWAYS	5302 sf Shading prov'd.	1674sf	11
		10	52
		20	
Fresco Dr. Primary Streetyard:	2411f - 24f Drwy. = 217 x 18'w = 3906sf Req'd. landscape	per Creative Code:	Provided:
	3 understory trees per 600sf = 20 trees	10	11
	6 shrubs per 600sf = 39 shrubs	20	52
Ashes Dr. Secondary Streetyard:	4511f - 48f Drwy. = 403 x 9'w = 3627sf Req'd. landscape	per Creative Code:	Provided:
	3 understory trees per 600sf = 18 trees	9	9
	6 shrubs per 600sf = 36 shrubs	18	77

The areas within the triangular sight distance shall be maintained free of all obstructions between 30" and 10'.

PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

All planted and retained living material required to meet the provisions of the City of Wilmington Land Development Code, shall be perpetually protected and maintained to professionally accepted standards by joint and several responsibility of the owner, tenant and respective agents of the property on which the material is located.

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

DRAINAGE PLAN APPROVED

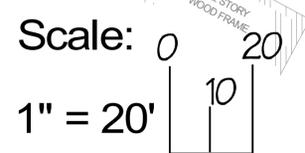
CITY OF WILMINGTON

STORMWATER DISCHARGE PERMIT NOT REQUIRED

SIGNATURE	DATE

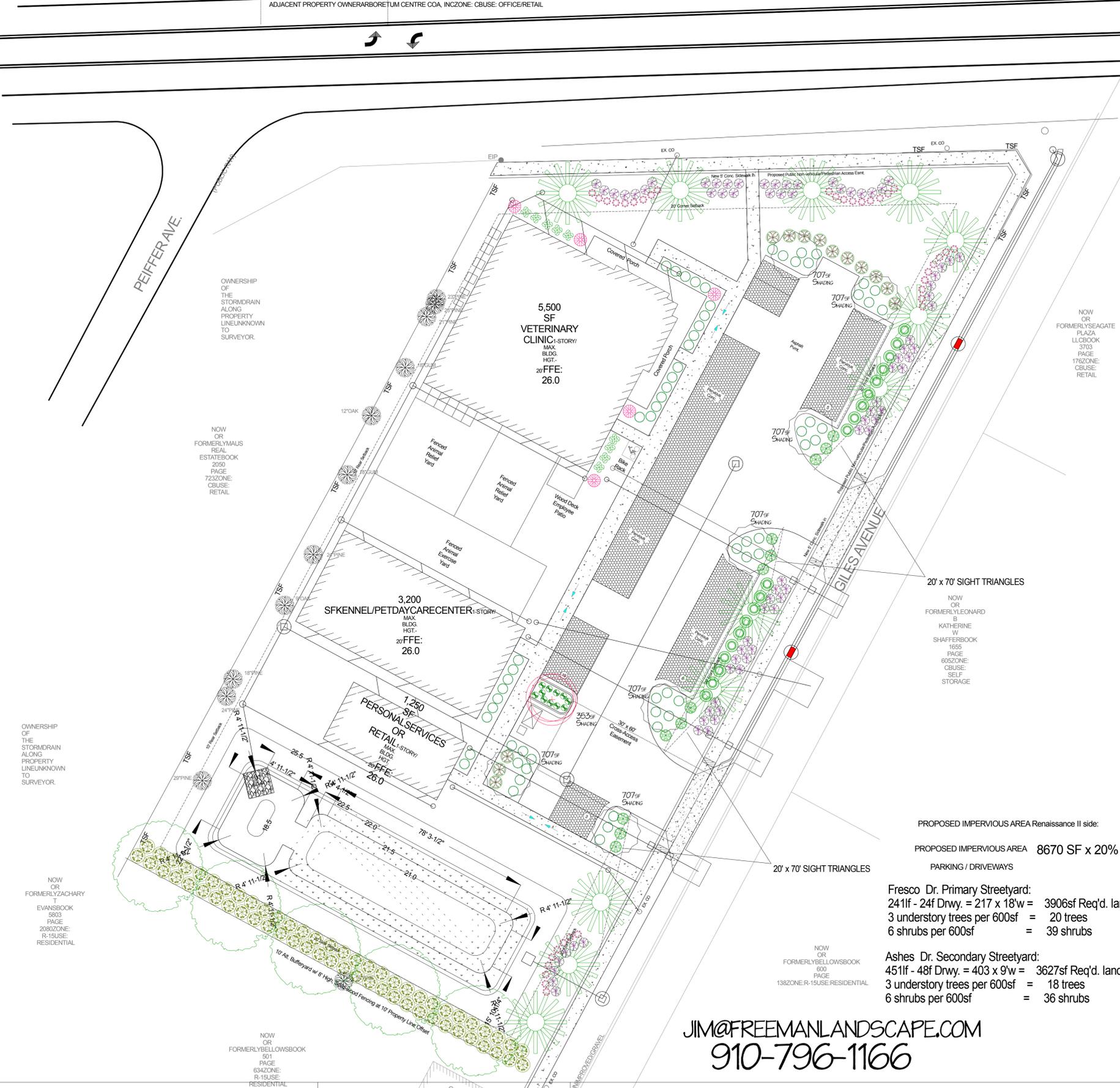
JIM@FREEMANLANDSCAPE.COM
910-796-1166

Revision #:
Date: 6/28/2016



Landscape Plan:
Paws & Claws

Landscape Design by: James Freeman - NCLC# 71
Freeman Landscape, Inc.



OWNERSHIP OF THE STORMDRAIN ALONG PROPERTY LINE UNKNOWN TO SURVEYOR.

NOW OR FORMERLY MAUS REAL ESTATE BOOK 2050 PAGE 723 ZONE: CRUSE: RETAIL

NOW OR FORMERLY LEONARD B KATHERINE W SHAFFER BOOK 1655 PAGE 603 ZONE: CBUSE: SELF STORAGE

NOW OR FORMERLY ZACHARY T EVANS BOOK 5933 PAGE 208 ZONE: R-15 USE: RESIDENTIAL

NOW OR FORMERLY BELLOW BOOK 501 PAGE 634 ZONE: R-15 USE: RESIDENTIAL

OWNERSHIP OF THE STORMDRAIN ALONG PROPERTY LINE UNKNOWN TO SURVEYOR.

NOW OR FORMERLY SEAGATE PLAZA LLOSBROOK 3703 PAGE 1762 ZONE: CBUSE: RETAIL

OWNERSHIP OF THE STORMDRAIN ALONG PROPERTY LINE UNKNOWN TO SURVEYOR.

NOW OR FORMERLY BELLOW BOOK 600 PAGE 138 ZONE: R-15 USE: RESIDENTIAL