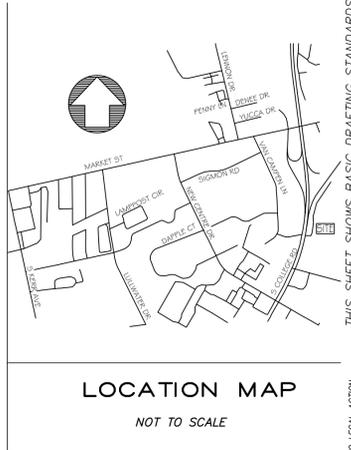
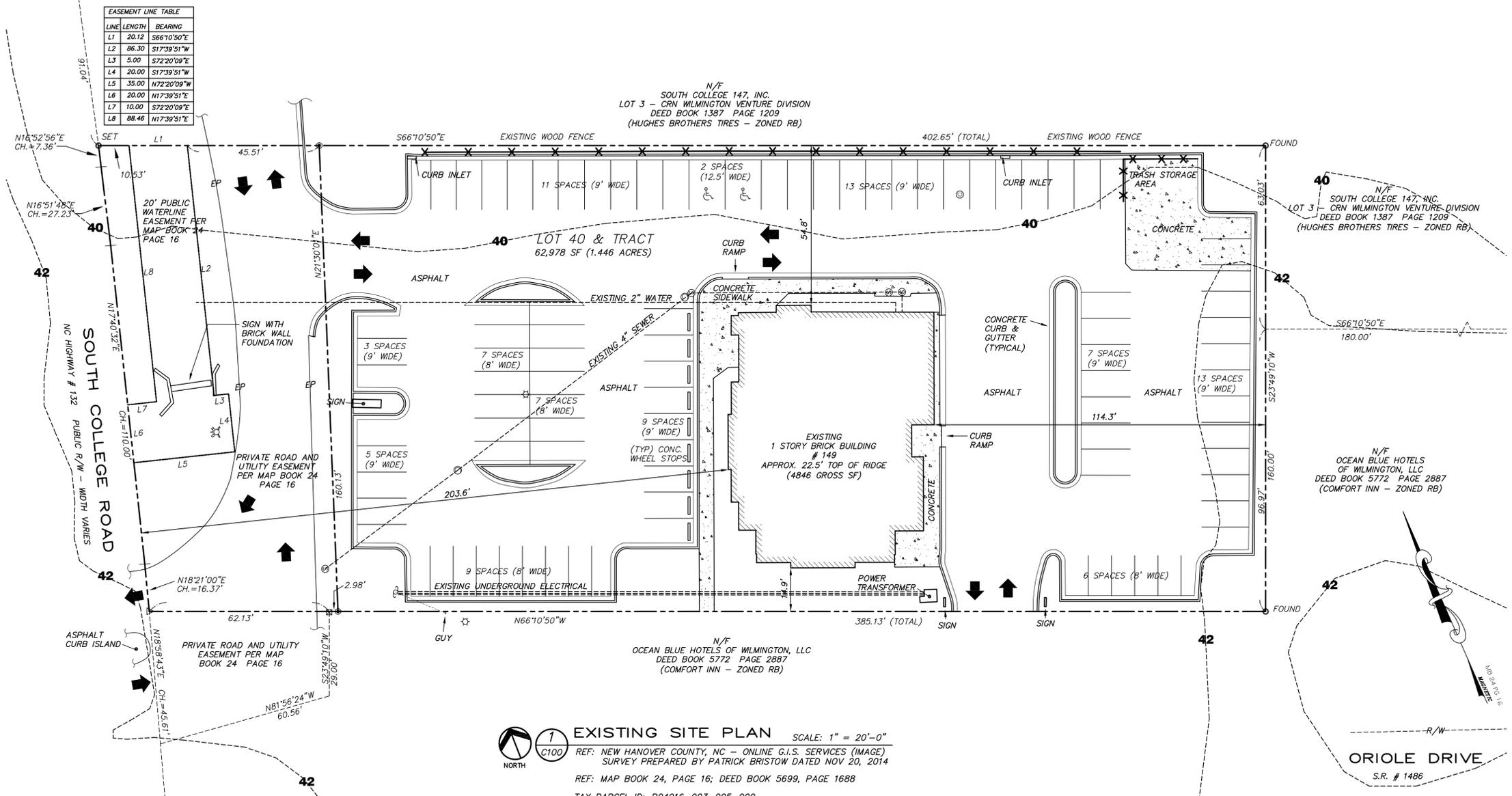


no.	date	revision
0	3/17/15	ISSUE FOR SITE (TRC) PLANNING APPROVAL
1	4/27/15	REVISED PER (TRC) REVIEW COMMENTS
A	2/23/14	ISSUED FOR OWNER REVIEW
B	2/27/15	ISSUED FOR OWNER REVIEW

EASEMENT LINE TABLE		
LINE	LENGTH	BEARING
L1	20.12	S66°10'50"E
L2	86.30	S17°39'51"W
L3	5.00	S72°20'09"E
L4	20.00	S17°39'51"W
L5	35.00	N72°20'09"W
L6	20.00	N17°39'51"E
L7	10.00	S72°20'09"E
L8	88.46	N17°39'51"E



EXISTING SITE PLAN SCALE: 1" = 20'-0"
 REF: NEW HANOVER COUNTY, NC - ONLINE G.I.S. SERVICES (IMAGE) SURVEY PREPARED BY PATRICK BRISTOW DATED NOV 20, 2014
 REF: MAP BOOK 24, PAGE 16; DEED BOOK 5699, PAGE 1688
 TAX PARCEL ID: R04916-003-005-000

EXISTING BUILDING (4846 GROSS SF) APPROX. 22.5' TOP OF RIDGE
PROPOSED COVERED BAR (600 GROSS SF) 12' MEAN ROOF HEIGHT
CAMA LAND USE CLASSIFICATION : DEVELOPED

WATER AND SEWER CAPACITY NEEDS
 WATER: 1920 GPD (CURRENT USE) EXISTING 2" LINE
 WATER: 2462 GPD (PROPOSED USE)
 SEWER: 1920 GPD (CURRENT USE) EXISTING 4" LINE
 SEWER: 2462 GPD (PROPOSED USE)

PARKING CALCULATIONS	
EXISTING PARKING	EXISTING ACCESSIBLE PARKING
2621 GROSS SF / 80 SF = 33 (MINIMUM)	2 SPACES PROVIDED
2621 GROSS SF / 65 SF = 40 (MAXIMUM)	
33 PARKING SPACES REQUIRED	PROPOSED ACCESSIBLE PARKING
92 (EXISTING) PARKING SPACES PROVIDED	3 SPACES REQUIRED/PROVIDED
PROPOSED BAR - 600 SF	
PROPOSED OPEN AIR DINING (SLATTED DECK) - 3958 SF	
3958 SF ALTERATION GROSS (EXCLUDING KITCHEN/BAR)	
ALTERATION PARKING	
3958 GROSS SF / 80 SF = 49 (MINIMUM)	
3958 GROSS SF / 65 SF = 61 (MAXIMUM)	
49 ADDITIONAL PARKING SPACES REQUIRED	
TOTAL PARKING REQUIRED = 82 SPACES (49 + 33)	
REMOVING 22 PARKING SPACES	
70 (EXISTING) PARKING SPACES REMAINING	
ADDITIONAL 12 SPACES PROVIDED IN ADJACENT PARKING LOT OF WILMINGTON MARKETPLACE CENTER	
Chapter 18 - Land Development Code	
Article 9 - Off-street parking and loading	
Section 18-256 - Off-street parking standards	
(d) Location on other property. If the required automobile parking space cannot reasonably be provided on the same lot as the principal use, it may be provided on a lot within two (2) city blocks or six hundred fifty (650) feet (whichever is greater) of the principal use structure. This parking area shall be held in fee simple by the owner of the use served, or in another manner that assures continued availability for required parking, provided the form of tenure shall be approved by the city attorney before such use is issued a certificate of occupancy.	

CITY OF WILMINGTON - ZONED RB (REGIONAL BUSINESS)

MINIMUM LOT AREA	= 1 ACRE
MINIMUM LOT WIDTH	= 100 FT
MAX LOT COVERAGE	= 40%
FRONT SETBACK	= 25 FT
REAR SETBACK	= 15 FT
INTERIOR SIDE SETBACK	= 0 FT
CORNER LOT SIDE SETBACK	= 25 FT
MAXIMUM HEIGHT	= 35 FT



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THIS SHEET SHOWS BASIC DRAFTING STANDARDS

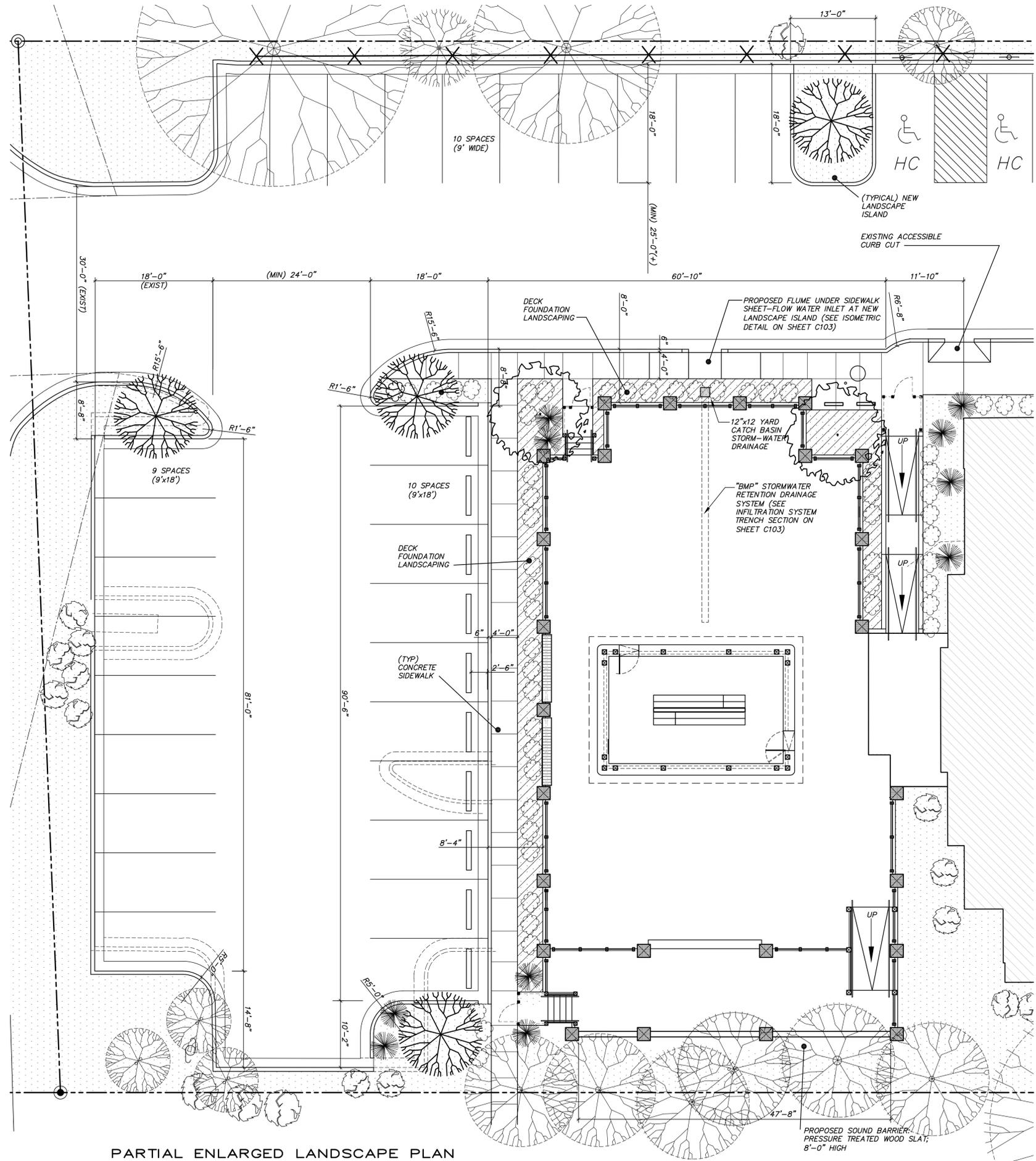
Proposed Existing Facility Alteration for
Pantana Bob's
 149 SOUTH COLLEGE ROAD
 WILMINGTON, NORTH CAROLINA
 SITE DEVELOPMENT PLAN
 Contract Documents - Issued as "Record Survey Document"

Design Elements
 Michael L. Saied, Jr., AIA, LEED-AP
 Architect
 1213 Calbreth Drive, Suite 142
 Wilmington, North Carolina 28405
 910.351.3331
 2/27/2015

MICHAEL L. SAIED JR. ARCHITECT
 1873
 2015

date	02 FEB 2015
pk no	PB/15
drawn by	SGH
checked by	MSAIED
drawing no.	C100
revision no.	1

no.	date	revision
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**PARTIAL ENLARGED LANDSCAPE PLAN
FRONT DINING AND COVERED BAR**

SCALE: 1/8" = 1'-0"



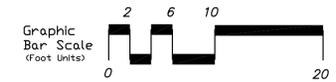
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C102

NOTES

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING REGARDING THE INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 919-343-3910 FOR INFORMATION.
- ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCHR OR ASSE.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE AND BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS, LINES, OR INDIVIDUAL SERVICES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AND AT NO EXPENSE TO THE OWNER.
- GUTTERS AND PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL LOCAL, STATE & FEDERAL CONSTRUCTION SAFETY REGULATIONS ARE FOLLOWED DURING THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- ANY DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN EPA APPROVED LANDFILL.
- SITE SIGNAGE WILL BE REVIEWED AND PERMITTED SEPARATELY.
- UNLESS OTHERWISE SHOWN, CURB RADII ARE DIMENSIONED TO FACE OF CURB.
- REFER TO C102 FOR DETAILS.

Symbol	Plant Type	Quantity	Scientific Name	Common Name	Planting Size	Height	Width
⊙	Shrub	55	Nandina domestica 'Firepower'	Firepower Dwarf Nandina	3g	12"	12"
⊙	Shrub	10	Rhododendron indicum	Indica Azalea	3g	21"	21"
⊙	Tree	7	Lagerstroemia indica	Crape Myrtle	2" Cal.	8'	5'
⊙	Tree	3	Quercus Phellos	Willow Oak	2" Cal.	8'	5'
⊙	Perennial	783sf	Liriope muscari 'Majestic' 15" O.C.	Majestic Lily Turf	#1	10"	8"

NOTE 1: CONTRACTOR TO VERIFY QUANTITIES AND PROVIDE AS SHOWN ON PLAN



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Proposed Existing Facility Alteration for
Pantana Bob's
149 SOUTH COLLEGE ROAD
WILMINGTON, NORTH CAROLINA
28403

PARTIAL ENLARGED LANDSCAPE PLAN & DETAILS
Contract Documents - Issued for Construction

Design Elements
Michael L. Saied, Jr., AIA, LEED-AP
Architect
1213 Calhoun Drive, Suite 142
Wilmington, North Carolina 28403
910.343.3910

2/27/2015
4/

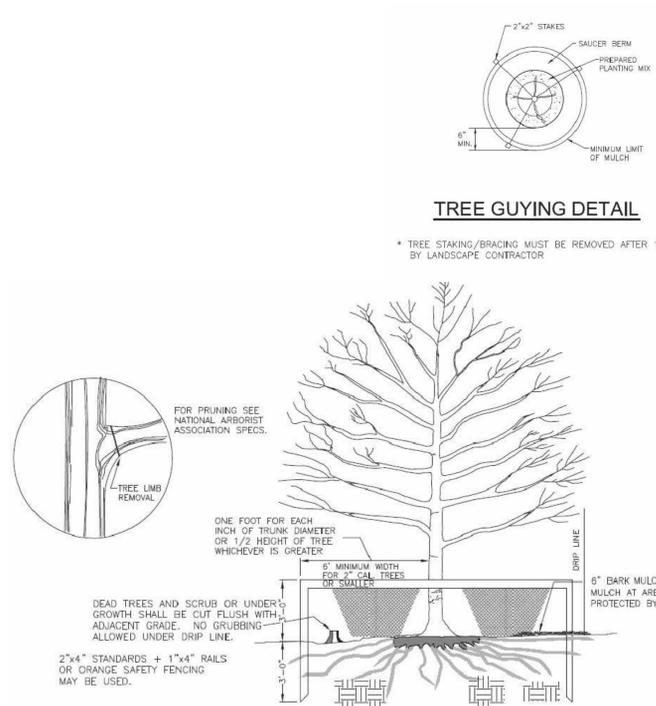
MICHAEL L. SAIED, JR. JUNIOR
REGISTERED PROFESSIONAL ARCHITECT
1973
STATE OF NORTH CAROLINA
NO. 10111

DATE: 02 FEB 2015
DRAWN BY: PB/15
CHECKED BY: SGH
DESIGNED BY: MSAIED

DRAWING NO. **C102**
REVISION NO. 1

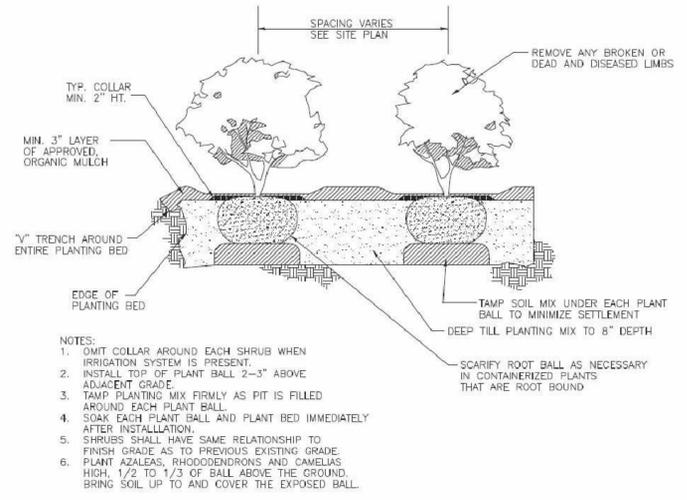
TREE GUYING DETAIL

* TREE STAKING/BRACING MUST BE REMOVED AFTER 1 GROWING BY LANDSCAPE CONTRACTOR

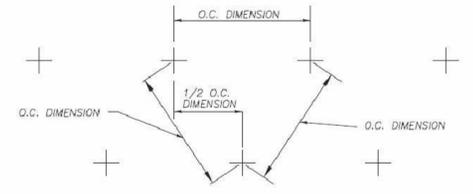


TREE PLANTING DETAIL

1. ALL TREES TO BE GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH RECOMMENDATION AND REQUIREMENTS OF ANSI Z60.1 STANDARD FOR NURSERY STOCK.
2. REMOVE ALL TREATED OR PLASTIC-COATED BURLAP STRAPPING WIRE OR NYLON TWINE FROM ROOT BALL AFTER SETTING IN HOLE. CUT AWAY TOP 12" OF WIRE BASKET, IF ANY.
3. INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.
4. SOAK PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION. PLACE 4-6" OF SEASONED MULCH OR PINE NEEDLES AROUND BASE OF TREE, 3' DIAMETER MINIMUM.
5. TREE BRACING STRAPS ARE OPTIONAL. USE POLYPROPYLENE WEBBING ONLY. NO WIRE OR ROPE TO BE IN DIRECT CONTACT WITH TRUNK. REMOVE ALL TREE STRAPS AND TRUNK WRAP AFTER ONE GROWING SEASON.
6. NO BACKFILL ALLOWED ON TOP OF ROOT BALL.
7. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING BURIED UTILITIES PRIOR TO INSTALLATION.
8. MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
9. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
10. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL, OR TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET 11 TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SF PER TREE).
11. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (SEWER, STORM DRAINAGE, GAS, WATER, PHONE, AND ELECTRICAL LINES).



- NOTES:
1. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
 2. INSTALL TOP OF PLANT BALL 2-3" ABOVE ADJACENT GRADE.
 3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
 4. SOAK EACH PLANT BALL AND PLANT BED IMMEDIATELY AFTER INSTALLATION.
 5. SHRUBS SHALL HAVE SAME RELATIONSHIP TO FINISH GRADE AS TO PREVIOUS EXISTING GRADE.
 6. PLANT AZALEAS, RHODODENDRONS AND CAMELIAS HIGH 1/2 TO 1/3 OF BALL ABOVE THE GROUND. BRING SOIL UP TO AND COVER THE EXPOSED BALL.

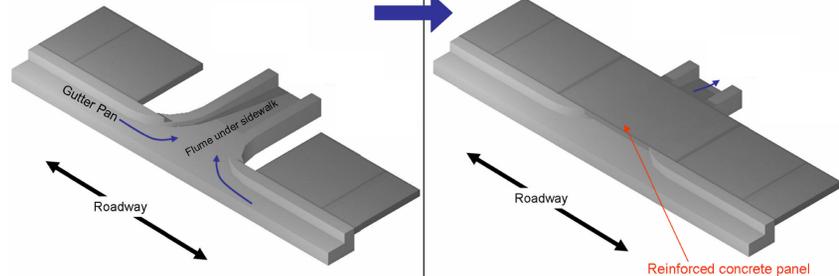
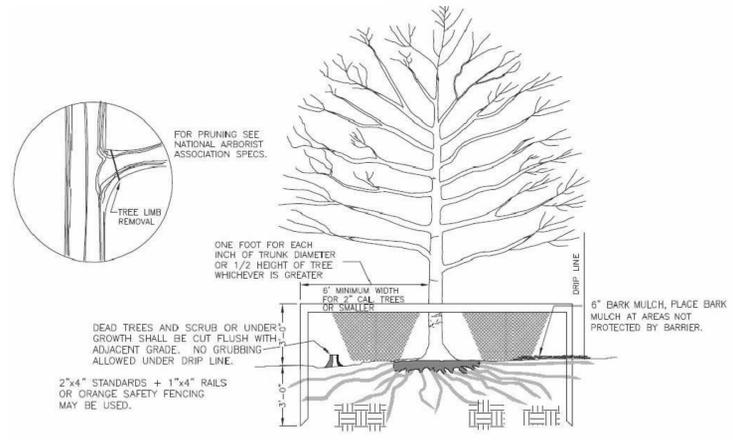


STAGGERED PLANTING LAYOUT

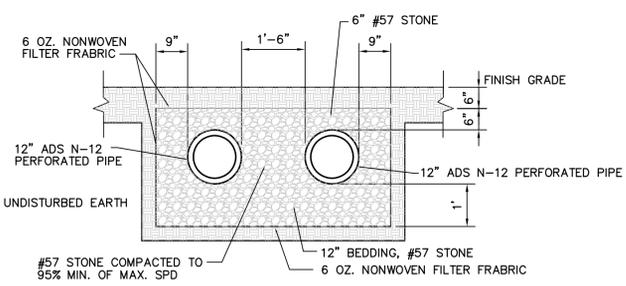
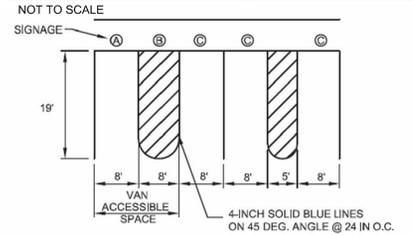
SHRUB DETAIL

TREE PROTECTION DETAIL

- NOTES:
1. REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.

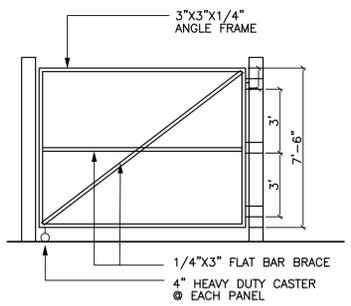


FLUME UNDER SIDEWALK ISOMETRIC DETAIL



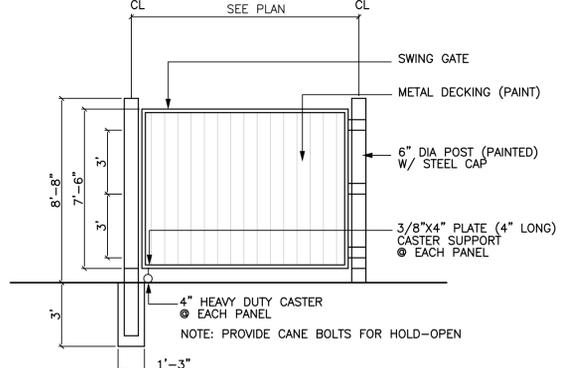
INFILTRATION SYSTEM TRENCH SECTION

1/2" = 1'-0"



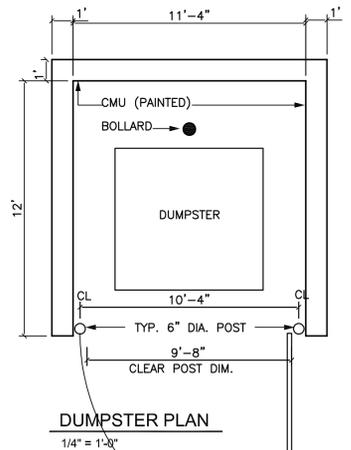
DUMPSTER GATE FRAME DETAIL

1/4" = 1'-0"



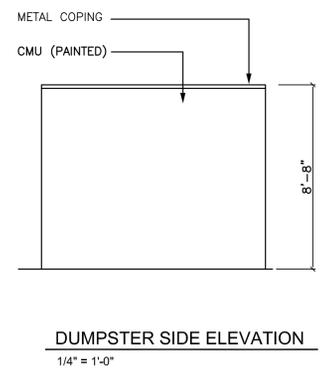
DUMPSTER GATE DETAIL

1/4" = 1'-0"



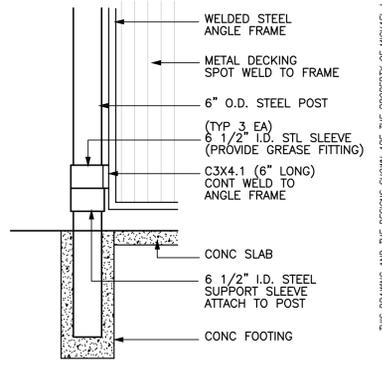
DUMPSTER PLAN

1/4" = 1'-0"



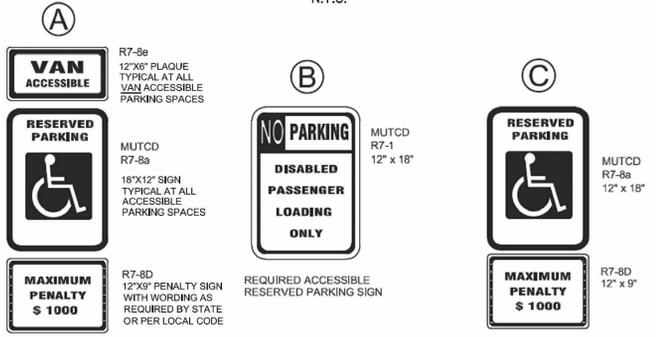
DUMPSTER SIDE ELEVATION

1/4" = 1'-0"



ENLARGED HINGE DETAIL

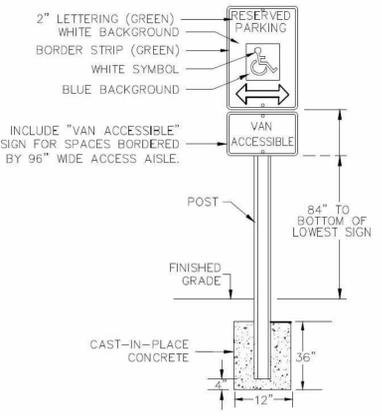
NOT TO SCALE



ACCESSIBLE PARKING SIGN

N.T.S.

- NOTES:
1. ALL 12"x18" ACCESSIBLE SIGNS (R7-8a & R7-1) SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (MUTCD). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
 2. REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD)
 3. PARKING SPACE DIMENSIONS SHOWN ARE MINIMUM.

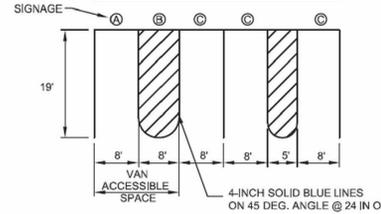


SIGN MOUNTING DETAIL

NOT TO SCALE

PARKING SPACE PAVEMENT MARKINGS

N.T.S.



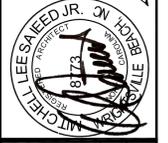
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Know what's below.
Call before you dig.

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