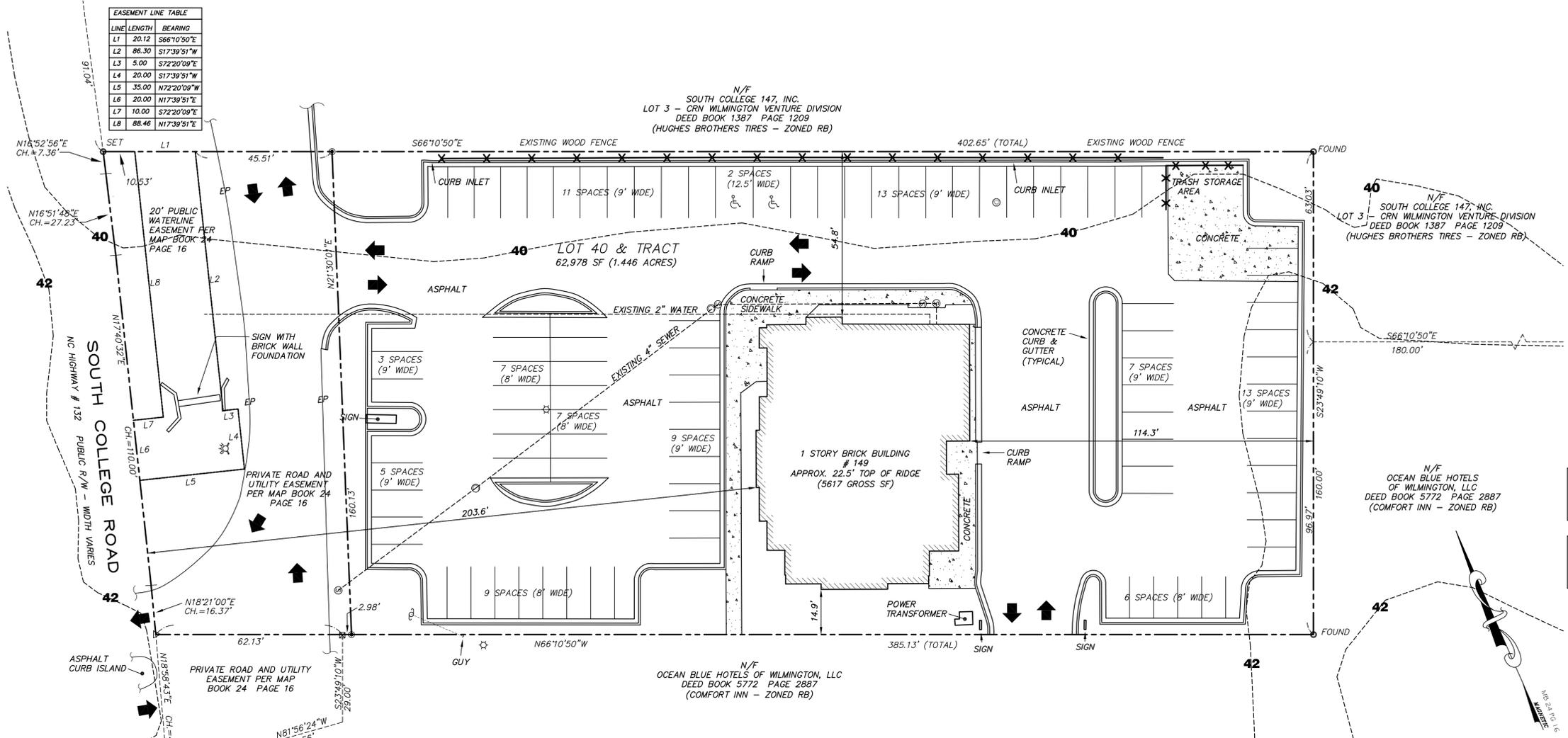
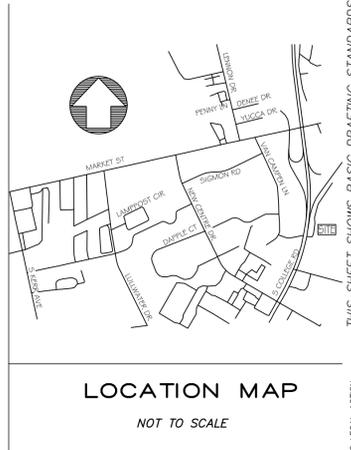


no.	date	revision	ISSUE FOR SITE (TRC) PLANNING APPROVAL
A	2/23/14	ISSUED FOR OWNER REVIEW	
B	2/27/15	ISSUED FOR OWNER REVIEW	



EASEMENT LINE TABLE		
LINE	LENGTH	BEARING
L1	20.12	S66°10'50"E
L2	86.30	S72°20'09"E
L3	6.00	S72°20'09"E
L4	20.00	S17°39'51"W
L5	35.00	N72°20'09"W
L6	20.00	N17°39'51"E
L7	10.00	S72°20'09"E
L8	88.46	N17°39'51"E



COLLEGE ROAD STREETYARD - 147 LINEAR FT x 25 (RB) = 3675 SF
 5073 SF EXISTING
 TOTAL STREETYARD REQ'D = 3675 SF
 EXISTING STREETYARD = 5073 SF

5073 SF / 600 SF = 8.5 TREES REQUIRED
 Section 18-477(b)
 13 CREDITS FOR PRESERVED TREES IN STREETYARD
 6 EXISTING EVERGREEN SHRUBS IN STREETYARD (24" HT)

EXISTING
 PARKING/LANDSCAPE ISLANDS - 700 SF
 STREETYARD/PERIMETER LANDSCAPING - 10,943 SF
 FOUNDATION LANDSCAPING - 2103 SF
 TOTAL (INTERIOR) LANDSCAPING - 13,746 SF
 21.8% OF TOTAL SITE

PROPOSED
 PARKING/LANDSCAPE ISLANDS - 1682 SF
 STREETYARD/PERIMETER - 10,681 SF
 FOUNDATION LANDSCAPING - 2157 SF
 TOTAL (INTERIOR) LANDSCAPING - 14,520 SF
 23.1% OF TOTAL SITE

EXISTING PERVIOUS AREA - 13,746 SF
 PROPOSED PERVIOUS AREA - 14,520 SF
 NET INCREASE - 774 SF

BY DEFINITION BUILDING ALTERATION/ADDITION INCREASES PERVIOUS AREA BY 1.3%

EXISTING SITE PLAN SCALE: 1" = 20'-0"
 REF: NEW HANOVER COUNTY, NC - ONLINE G.I.S. SERVICES (IMAGE) SURVEY PREPARED BY PATRICK BRISTOW DATED NOV 20, 2014
 REF: MAP BOOK 24, PAGE 16; DEED BOOK 5699, PAGE 1688
 TAX PARCEL ID: R04916-003-005-000

EXISTING BUILDING (5617 GROSS SF) APPROX. 22.5' TOP OF RIDGE
 PROPOSED COVERED BAR (600 GROSS SF) 12' MEAN ROOF HEIGHT
 CAMA LAND USE CLASSIFICATION : DEVELOPED

WATER AND SEWER CAPACITY NEEDS
 WATER: 1920 GPD (CURRENT USE) EXISTING 2" LINE
 WATER: 2462 GPD (PROPOSED USE)
 SEWER: 1920 GPD (CURRENT USE) EXISTING 4" LINE
 SEWER: 2462 GPD (PROPOSED USE)

EXISTING PARKING
 2956 GROSS SF / 80 SF = 37 (MINIMUM)
 2956 GROSS SF / 65 SF = 45 (MAXIMUM)
 37 PARKING SPACES REQUIRED
 92 (EXISTING) PARKING SPACES PROVIDED

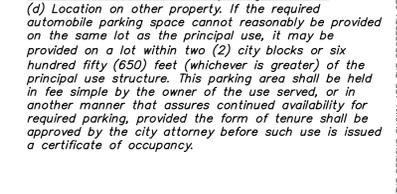
PROPOSED BAR - 600 SF
 PROPOSED RESTROOMS - 215 SF
 PROPOSED OPEN AIR DINING - 4065 SF
 4065 SF ALTERATION GROSS (EXCLUDING KITCHEN/RESTROOMS)

ALTERATION PARKING
 4065 GROSS SF / 80 SF = 51 (MINIMUM)
 4065 GROSS SF / 65 SF = 63 (MAXIMUM)
 51 ADDITIONAL PARKING SPACES REQUIRED

TOTAL PARKING REQUIRED = 88 SPACES (51 + 37)
 REMOVING 22 PARKING SPACES
 70 (EXISTING) PARKING SPACES REMAINING
 ADDITIONAL 18 SPACES PROVIDED IN ADJACENT PARKING LOT OF WILMINGTON MARKETPLACE CENTER

Chapter 18 - Land Development Code
 Article 9 - Off-street parking and loading
 Section 18-256 - Off-street parking standards
 (d) Location on other property. If the required automobile parking space cannot reasonably be provided on the same lot as the principal use, it may be provided on a lot within two (2) city blocks or six hundred fifty (650) feet (whichever is greater) of the principal use structure. This parking area shall be held in fee simple by the owner of the use served, or in another manner that assures continued availability for required parking, provided the form of tenure shall be approved by the city attorney before such use is issued a certificate of occupancy.

CITY OF WILMINGTON - ZONED RB (REGIONAL BUSINESS)
 MINIMUM LOT AREA - 1 ACRE
 MINIMUM LOT WIDTH - 100 FT
 MAX LOT COVERAGE - 40%
 FRONT SETBACK - 25 FT
 REAR SETBACK - 15 FT
 INTERIOR SIDE SETBACK - 0 FT
 CORNER LOT SIDE SETBACK - 25 FT
 MAXIMUM HEIGHT - 35 FT



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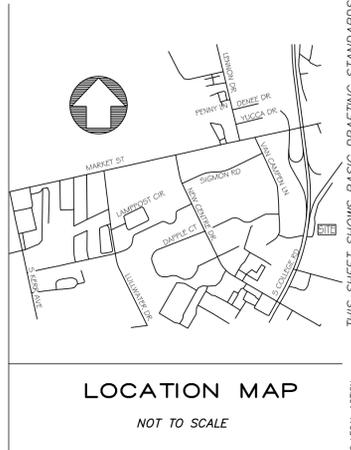
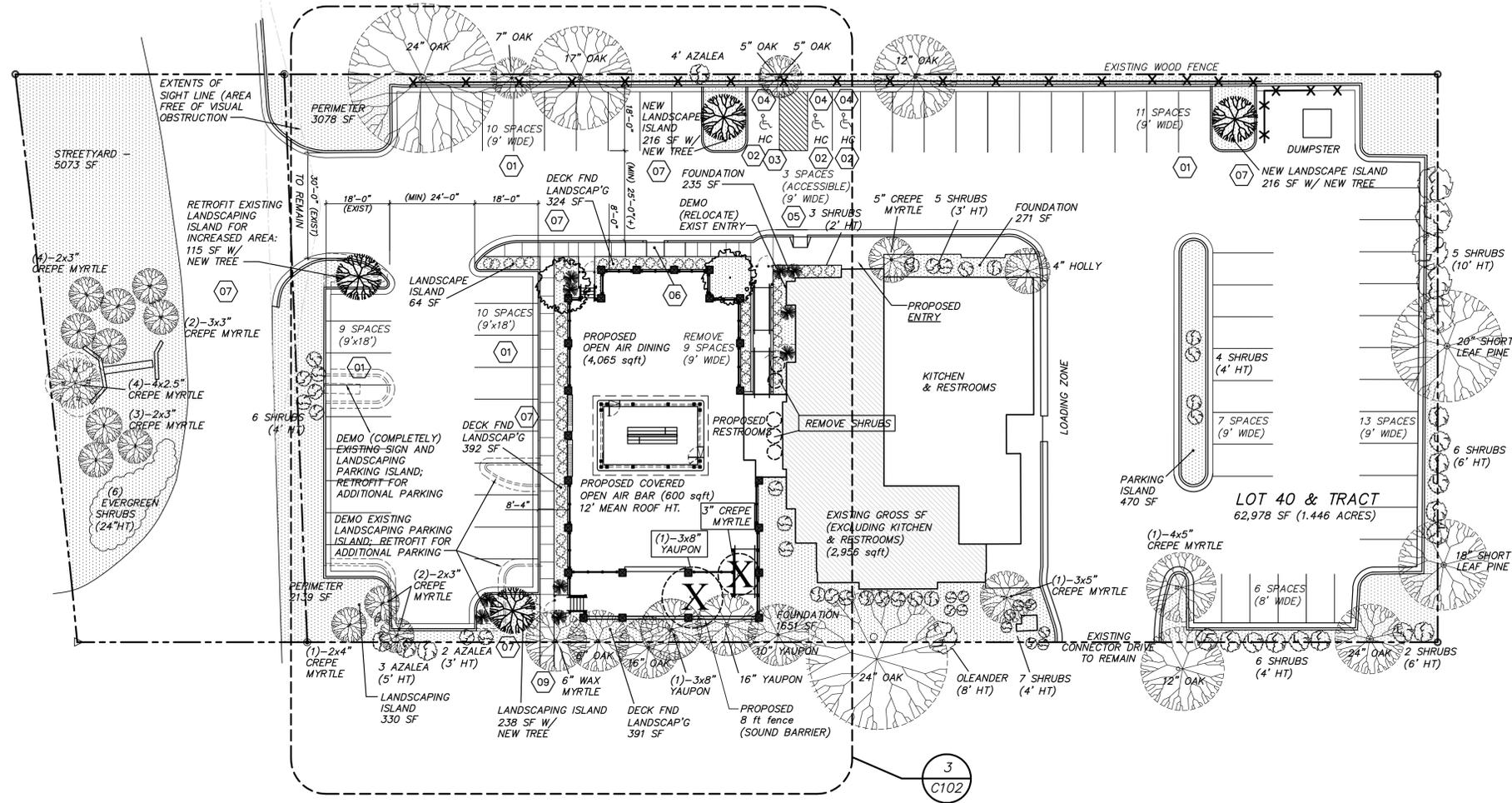
THIS SHEET SHOWS BASIC DRAFTING STANDARDS

Proposed Existing Facility Alteration for
Pantana Bob's
 149 SOUTH COLLEGE ROAD
 WILMINGTON, NORTH CAROLINA
SITE DEVELOPMENT PLAN
 Contract Documents - Issued for Construction

Design Elements
 Michael L. Saeed, Jr., AIA, LEED-AP
 Architect
 1913 Culbreth Drive, Suite 142
 Wilmington, North Carolina 28405
 910.250.3131

DATE: 02 FEB 2015
 DRAWN BY: PB/15
 CHECKED BY: SGH
 DRAWING NO: C100
 REVISION NO: 0

no.	date	revision
A	2/23/14	ISSUED FOR OWNER REVIEW
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0	3/17/15	ISSUE FOR SITE (TRC) PLANNING APPROVAL



- PLAN KEYNOTES (THIS SHEET ONLY)**
- 01 RE-STRIPE EXISTING PARKING SPACES AS SHOWN (TYPICAL NOM. 4" (WDE) CONTRASTING WHITE STRIPS; SPACED AT 9'-0" O/C x 18'-0" LENGTH.)
 - 02 DESIGNATED ACCESSIBLE PARKING SPACE (PROVIDED W/ 9'-0" WIDTH)
 - 03 DEMARCATION (PAINTED STRIPED AREA) CAR AND VAN ACCESSIBLE ACCESS AISLE (MIN 8'-0" WIDTH UNLESS NOTED OTHERWISE) PROVIDE CURB CUT OR RAMP @ ACCESSIBLE POINT TO WALKWAY (TYPICAL NOM. 4" (WDE) CONTRASTING WHITE STRIPS)
 - 04 PROVIDE ACCESSIBLE PARKING SPACE SIGNAGE IDENTIFIED BY INTERNATIONAL SYMBOL OF ACCESSIBILITY (PROVIDE EACH SPACE W/ DESIGNATED "ACCESSIBLE PARKING" SIGN) MOUNT BOTTOM OF SIGN 60" MIN. ABOVE FIN PARKING SURFACE (SIGN SHALL REF.: NC GENERAL STATUTE 20-37.6 AND 136-30; FOR ADDITIONAL INFORMATION REF.: NCDOT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES)
 - 05 PROPOSED ACCESSIBLE CURB CUT
 - 06 PROPOSED ACCESSIBLE CURB CUT/SHEET-FLOW WATER INLET AT NEW LANDSCAPE ISLAND
 - 07 SHADED AREA INDICATES NEW LANDSCAPING STRIPPING; DEMO EXISTING ASPHALT PAVEMENT AND SUB-BASE BEARING COURSE LAYER WITHIN DESIGNATED SHADED AREAS; AREAS SHALL BE REPLACED WITH PROPER PLANTING SOIL (LANDSCAPING MATERIAL PROVIDED BY LANDSCAPING CONTRACTOR)
 - 08 (TO REMAIN) EXISTING PAVED PARKING AREA, BELOW PROPOSED OPEN AIR DINING AND COVERED BAR.
 - 09 NEW SIDEWALK

LANDSCAPE PLAN SCALE: 1" = 20'-0"
 NORTH
 2 C101

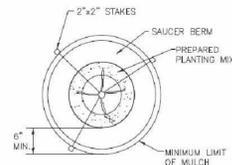
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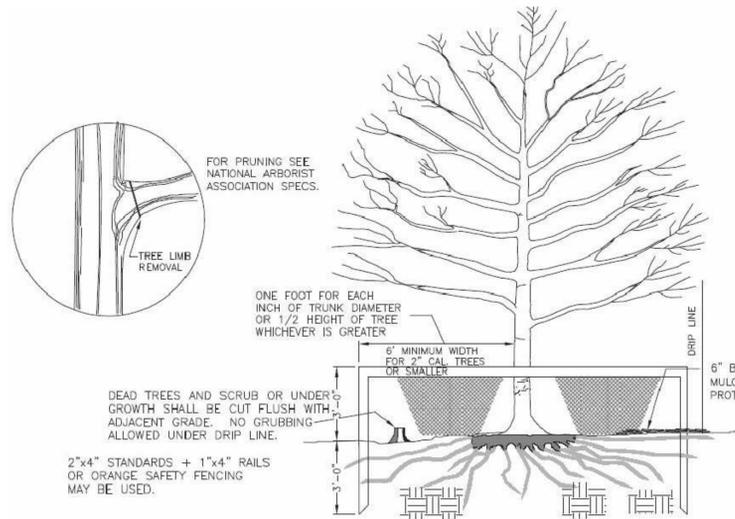
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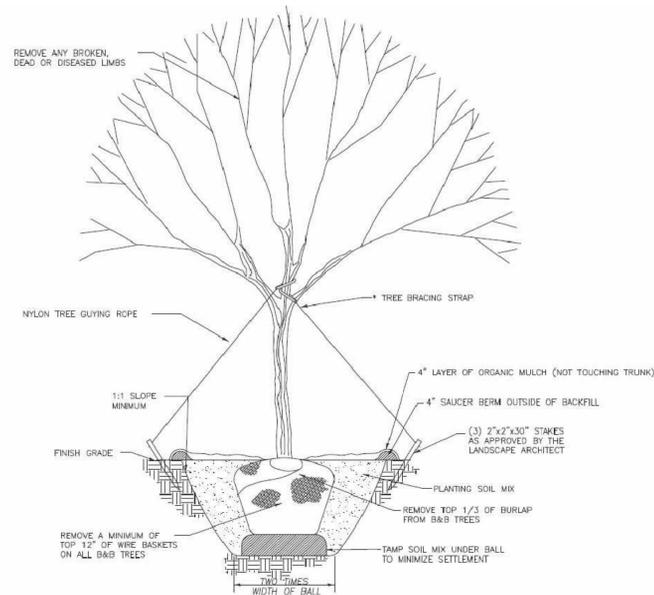
TREE GUYING DETAIL

* TREE STAKING/BRACING MUST BE REMOVED AFTER 1 GROWING BY LANDSCAPE CONTRACTOR



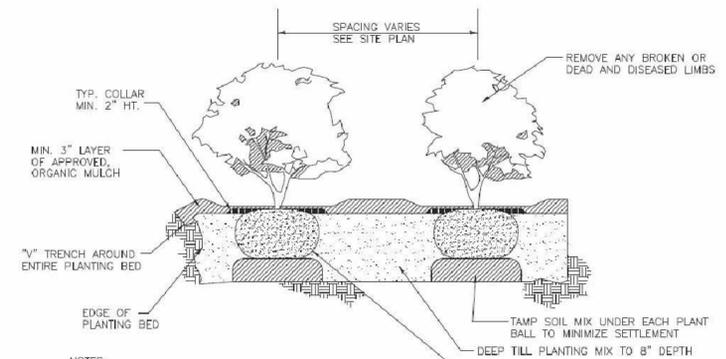
TREE PROTECTION DETAIL

- NOTES:
1. REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.



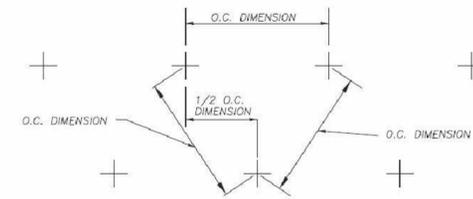
TREE PLANTING DETAIL

1. ALL TREES TO BE GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH RECOMMENDATION AND REQUIREMENTS OF ANSI Z60.1 STANDARD FOR NURSERY STOCK.
2. REMOVE ALL TREATED OR PLASTIC-COATED BURLAP STRAPPING WIRE OR NYLON TWINE FROM ROOT BALL. AFTER SETTING IN HOLE, CUT AWAY TOP 12" OF WIRE BASKET, IF ANY.
3. INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.
4. SOAK PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION. PLACE 4-6" OF SEASONED MULCH OR PINE NEEDLES AROUND BASE OF TREE, 3' DIAMETER MINIMUM.
5. TREE BRACING STRAPS ARE OPTIONAL, USE POLYPROPYLENE WEBBING ONLY. NO WIRE OR ROPE TO BE IN DIRECT CONTACT WITH TRUNK. REMOVE ALL TREE STRAPS AND TRUNK WRAP AFTER ONE GROWING SEASON.
6. NO BACKFILL ALLOWED ON TOP OF ROOT BALL.
7. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING BURIED UTILITIES PRIOR TO INSTALLATION.
8. MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
9. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
10. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL, OR TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SF PER TREE).
11. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (SEWER, STORM DRAINAGE, GAS, WATER, PHONE, AND ELECTRICAL LINES).



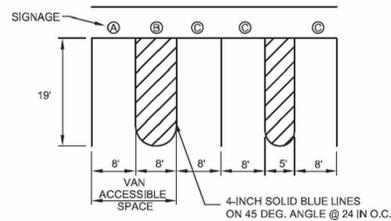
NOTES:

1. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
2. INSTALL TOP OF PLANT BALL 2-3" ABOVE ADJACENT GRADE.
3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
4. SOAK EACH PLANT BALL AND PLANT BED IMMEDIATELY AFTER INSTALLATION.
5. SHRUBS SHALL HAVE SAME RELATIONSHIP TO FINISH GRADE AS TO PREVIOUS EXISTING GRADE. PLANT AZALEAS, RHODODENDRONS AND CAMELIAS HIGH, 1/2 TO 1/3 OF BALL ABOVE THE GROUND. BRING SOIL UP TO AND COVER THE EXPOSED BALL.
6. SCARIFY ROOT BALL AS NECESSARY IN CONTAINERIZED PLANTS THAT ARE ROOT BOUND.

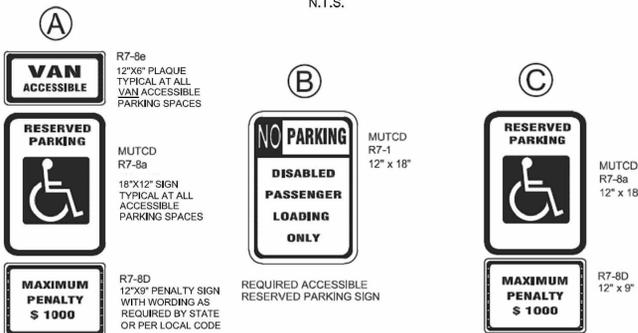


SHRUB DETAIL

STAGGERED PLANTING LAYOUT

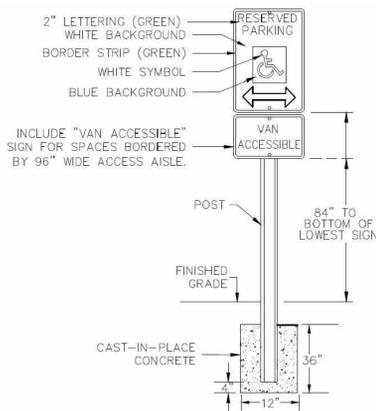


PARKING SPACE PAVEMENT MARKINGS



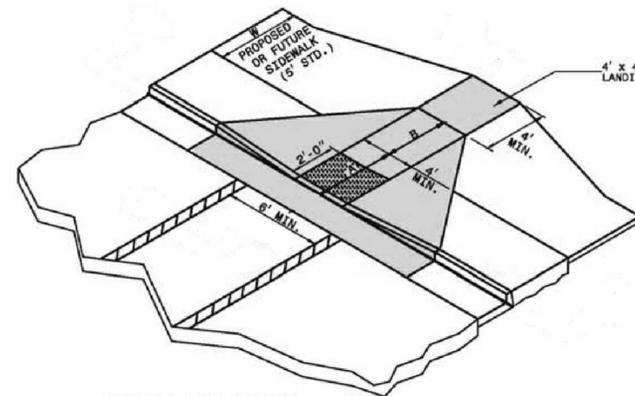
ACCESSIBLE PARKING SIGN

- NOTES:
1. ALL 12"x18" ACCESSIBLE SIGNS (R7-9a & R7-1) SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (MUTCD). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
 2. REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD)
 3. PARKING SPACE DIMENSIONS SHOWN ARE MINIMUM.



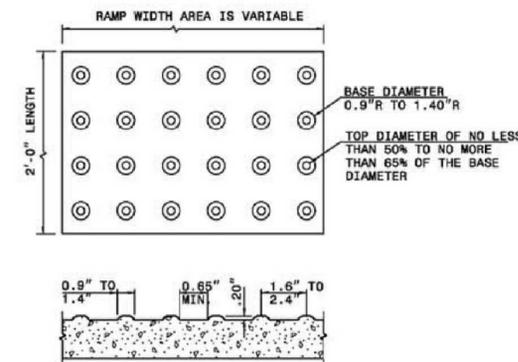
SIGN MOUNTING DETAIL

NOT TO SCALE



ISOMETRIC VIEW

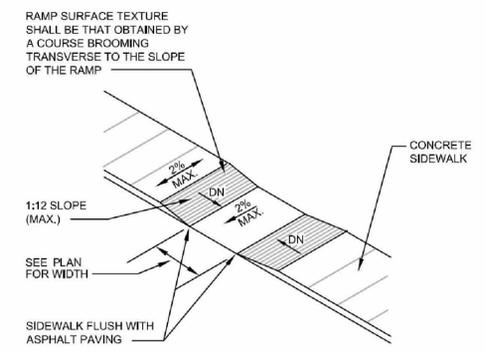
- NOTES:
1. DETECTABLE WARNING DOMES WILL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON THE DETAILS.
 2. DETECTABLE WARNING DOMES WILL CONTRAST VISIBILITY WITH ADJOINING SURFACE, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT SEQUENCE COVERING THE ENTIRE RAMP.



DETECTABLE WARNING DOMES

W	A	W+A+9"	X	B
5'	0.0'	5.8'	5.8'	5.0"
6'	0.0'	6.8'	6.8'	6.0"
7'	0.0'	7.8'	7.3'	6.5"
8'	0.0'	8.8'	7.3'	6.5"
5'	2.0'	7.8'	7.8'	5.0"
5'	2.5'	8.3'	8.1'	4.8"
5'	3.0'	8.8'	8.3'	4.4"
5'	3.5'	9.3'	8.4'	4.1"
5'	4.0'	9.8'	8.6'	3.8"
5'	4.5'	10.3'	8.7'	3.4"
5'	5.0'	10.8'	8.9'	3.1"

- B = X - (A+9")
 B = DISTANCE FROM FRONT EDGE OF SIDEWALK TO BACK POINT OF 12:1 (8.33%) SLOPE.
 * BACK OF SIDEWALK DROP REQUIRED FOR ALL SIDEWALK SLOPES.
 ** BACK OF SIDEWALK DROP REQUIRED FOR SIDEWALK SLOPES 0.04.



ACCESSIBLE RAMP - TYPE II

N.T.S.

- NOTES:
1. MAXIMUM CROSS SLOPE OF SIDEWALKS, RAMP SURFACES, AND LANDINGS SHALL BE 2.00%.

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no.	0

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