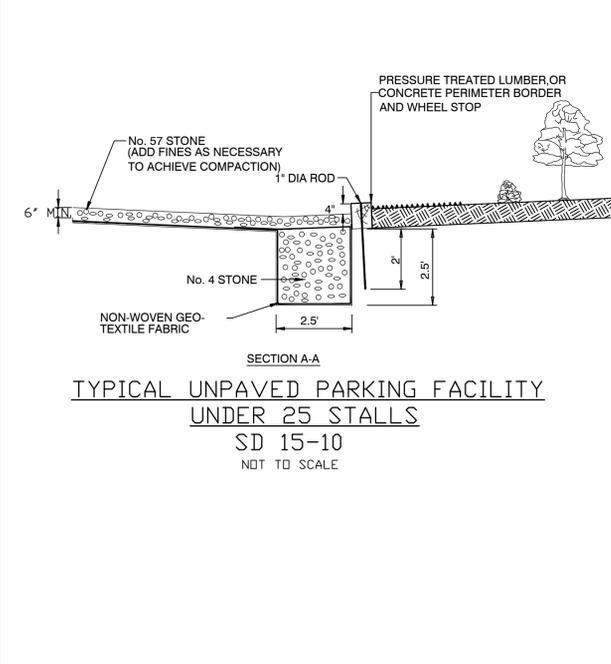
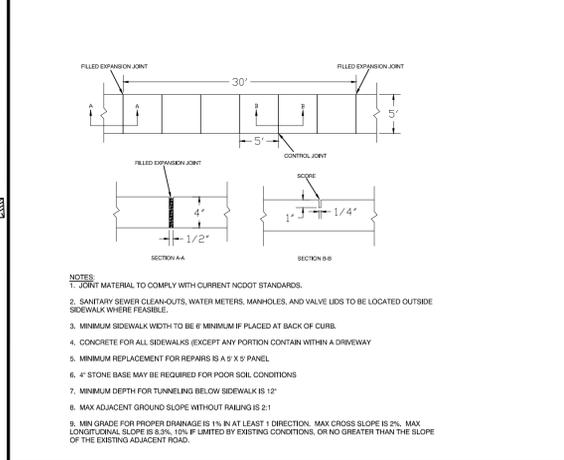


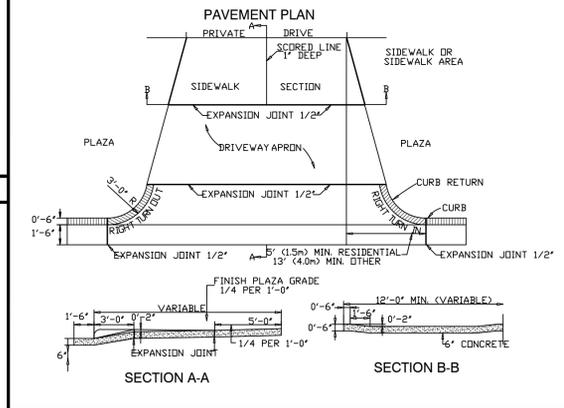
SD- 15-10. STANDARD UNPAVED PARKING FACILITY, UNDER 25 STALLS NOT TO SCALE



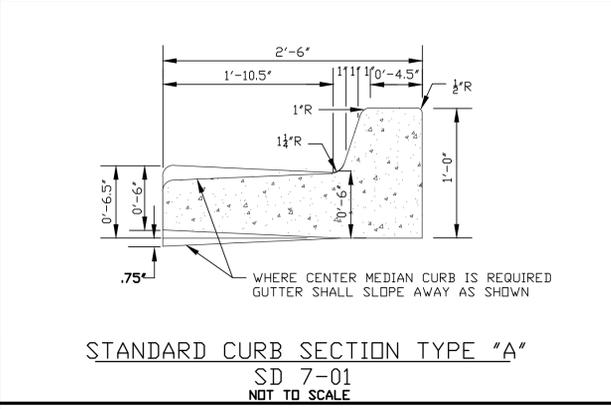
SD 3-10. STANDARD SIDEWALK DETAIL NOT TO SCALE



SD 8-02. STANDARD DRIVEWAY DETAIL NOT TO SCALE



SD-7-01. STANDARD CURB SECTION TYPE "A" NOT TO SCALE



SYMBOL LEGEND

	STREET YARD		EXISTING WATER METER
	PROPOSED GRAVEL PARKING LOT: # 57 STONE		EXISTING OVERHEAD POWER LINES
	EXISTING ASPHALT TO BE REMOVED		EXISTING POWER POLES
	EXISTING ASPHALT TO REMAIN		EXISTING FENCE TO REMAIN
	EXISTING PAVING TO REMAIN		

**SITE DATA**

ADDRESS: 4718 OLEANDER DRIVE  
 PARCEL ID: R06107-010-009-000  
 CURRENT OWNER: McKay Marilyn Watson

TOTAL PROJECT AREA: .62 AC, 27,007 sf  
 EXISTING ZONING: Regional Business (RB)  
 CAMA LAND CLASSIFICATION: URBAN  
 EXISTING USE: RETAIL  
 PROPOSED USE: BAR/NIGHTCLUB  
 NUMBER OF BUILDINGS: 1  
 RETAIL SPACE: 1,652 SF (EXISTING)

EXISTING IMPERVIOUS AREA  
 BUILDING: 1,652 SF  
 PAVING: 4,513 SF  
 TOTAL: 6,165 SF

EXISTING IMPERVIOUS TO REMAIN  
 BUILDING: 1,652 SF  
 PAVING: 2,692 SF

PROPOSED IMPERVIOUS AREA  
 CONCRETE WALK FROM PARKING: 66 SF  
 GRAVEL PARKING: 7,498 SF  
 TOTAL PROPOSED IMPERVIOUS: 7,564 SF

**WATER/SEWER USAGE**

	CURRENT	PROPOSED
SEWER	(210 GAL./DAY)	(210 GAL./DAY)
WATER	(210 GAL./DAY)	(210 GAL./DAY)

**BULK REQUIREMENTS**

	REQUIRED	PROVIDED*
MIN. LOT AREA	1 ACRE	27,007 SF, .62 ACRE
MIN. LOT WIDTH	100'	148'
MIN. FRONT SETBACK	25'	26.2'
MIN. SIDE SETBACK	10'	38'
MIN. INTERIOR SIDE SETBACK	0'	N/A
MIN. REAR SETBACK	15'	83'
MAX. BUILDING HEIGHT	35'	22'
MAX. LOT COVERAGE (BUILDINGS)	40%	1,652 SF (6.12%)

\*ALL PROVIDED BULK REQUIREMENTS SHOWN BASED ON EXISTING BUILDING TO REMAIN

**OFF-STREET PARKING REQUIREMENTS**

	REQUIRED	PROVIDED
BAR/NIGHTCLUB: 1/80 SF/GA	18 MIN.	18
HANDICAP PARKING: 1/25 SPACES	1	2

NOTE: THE 6 EXISTING PARKING SPOTS ARE TO BE REMOVED

**LANDSCAPE REQUIREMENTS**

	REQUIRED	PROVIDED
<b>STREET YARD</b>		
PRIMARY STREET YARD (12.5' RB) (OLEANDER DRIVE)	1,487 SF (119 LF X 12.5)	1,487 SF
TREES: 1,487 SF/600	3	X
SHRUBS: (1,487/600)*6	18	X
<b>SECONDARY STREET YARD (6.25' RB) (PARKWAY DRIVE)</b>	1,287 SF (206 LF X 6.25)	1,287 SF
TREES: 1,287 SF/600	2	X
SHRUBS: (1,287 SF/600)*6	12	X

- GENERAL NOTES**
- SITE BOUNDARY, STRUCTURES, TREES, ADJACENT PROPERTY LINES, EXISTING STREETS AND UTILITY INFORMATION TAKEN FROM SURVEY PROVIDED BY MICHAEL UNDERWOOD AND ASSOCIATES, PA DATED JANUARY 9, 2015.
  - ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO MEAN SEA LEVEL, NAVD 1988.
  - ALL DISTANCES ARE GROUND HORIZONTAL.
  - THIS LOT IS SUBJECT TO ALL UTILITY EASEMENTS, RESTRICTIONS OR COVENANTS OF RECORD.
  - SEWER AND WATER SERVICES FOR THIS LOT ARE IN PLACE AND PROVIDED BY THE CAPE FEAR PUBLIC UTILITY AUTHORITY.
  - PARCEL INFORMATION FROM NEW HANOVER COUNTY ONLINE TAX RECORD SEARCH.
  - ALL PROTECTED TREES WILL BE PRESERVED OR MITIGATED.
  - SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE.
  - SITE IS NOT LOCATED WITHIN A CONSERVATION OVERLAY DISTRICT.
  - GARBAGE TO BE STORED IN ROLL-OUT CONTAINER(S) WITHIN BUILDING.
  - ALL SIGNS WILL BE LOCATED AND APPROVED BY THE CITY OF WILMINGTON PLANNING DEPARTMENT.
  - TWO EXISTING DRIVEWAYS ARE TO BE CLOSED.
  - HEATING/AIR EQUIPMENT WILL BE LOCATED WITHIN THE BUILDING FOOTPRINT.
  - CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
  - NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
  - WATER AND SEWER SERVICE SHALL MEET CPDUA DETAILS AND SPECIFICATIONS. LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS.
  - ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING AND GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
  - NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.
  - REGULATED AND SIGNIFICANT TREES IN THE STREET YARD AND ANY TREES IN ANY REQUIRED BUFFERS ARE REQUIRED TO BE RETAINED.
  - NO EXISTING EASEMENTS PERTAIN TO THE SITE.
  - ALL SIGNS WILL BE LOCATED AND APPROVED BY THE CITY OF WILMINGTON PLANNING DEPARTMENT.
  - ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' - 10' (SEC. 18-566).
  - ALL FEDERAL STATE AND LOCAL PERMITS AREA REQUIRED PRIOR TO FULL CONSTRUCTION RELEASE. THIS INCLUDES, BUT IS NOT LIMITED TO: STATE STORM WATER, STATE UTILITY EXTENSION PERMITS, WETLAND DISTURBANCE PERMITS, CITY STORM WATER, TREE PROTECTION PERMITS, ETC.

**STORMWATER MANAGEMENT PLAN**

**APPROVED**

CITY OF WILMINGTON  
 ENGINEERING DEPARTMENT  
 DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_

**Approved Construction Plan**

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

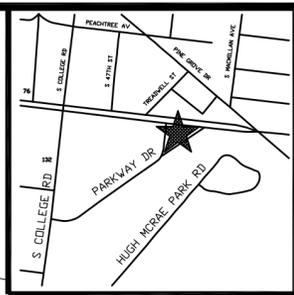
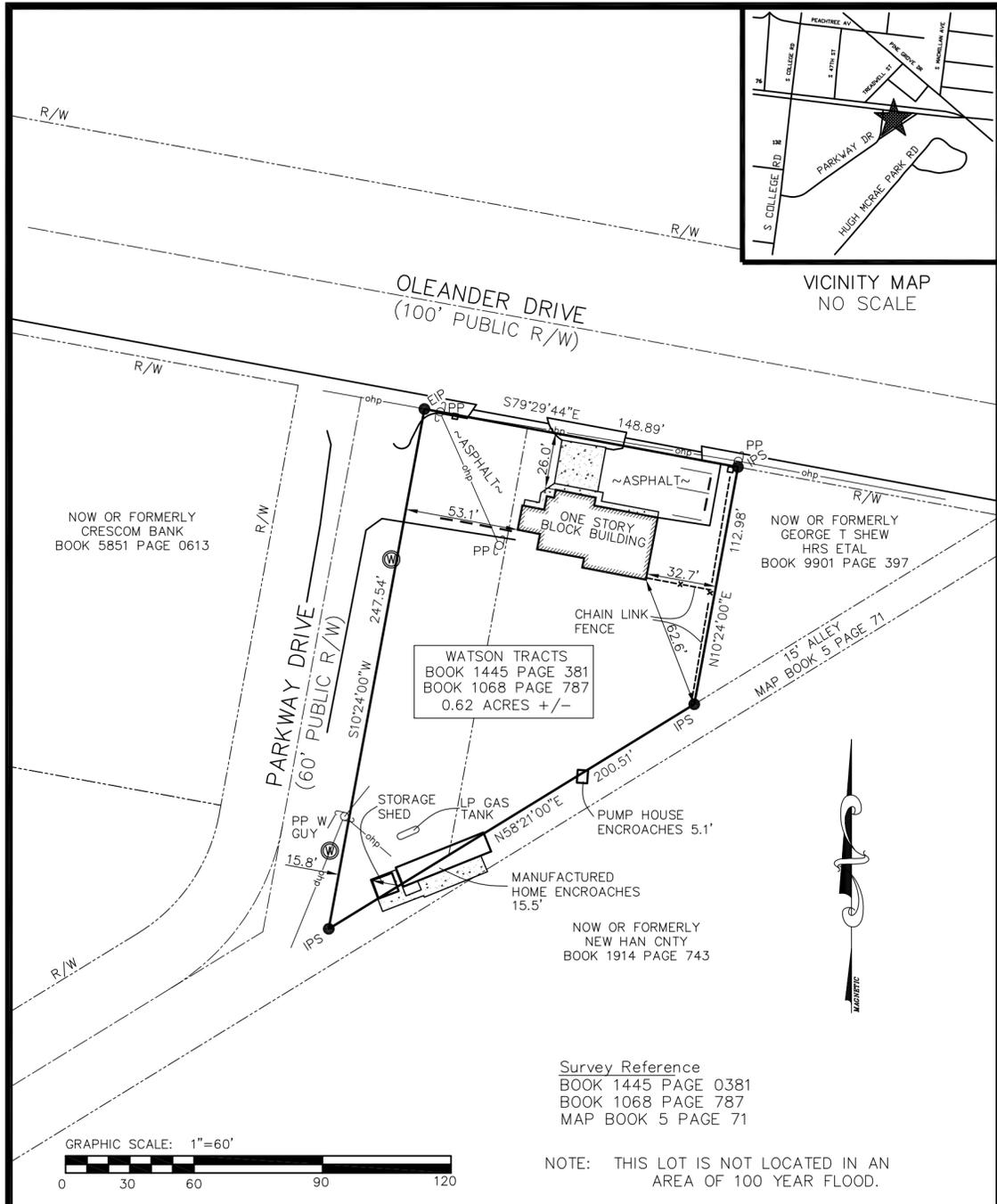
Scale: 1" = 20'

**MIHALY LAND DESIGN**  
 PLANNING + LANDSCAPE ARCHITECTURE  
 330 Military Cutoff Rd., Suite A3  
 Wilmington, NC 28403 910.392.4355

**CLIENT**  
**STEPHEN HENSON**  
 4718 OLEANDER DRIVE  
 WILMINGTON, NC 28403  
 PHONE: (336) 847-8300

**PROJECT**  
**4718 OLEANDER DRIVE**  
 WILMINGTON, NC 28403  
 SITE PLAN

Date: 01/28/2015  
 Phase: 000  
 Job Number: 100-870  
 Designed by: MLD  
 Drawn by: ALM  
 Checked by: JWM  
 Sheet Title: SITE PLAN  
 Sheet Number: L1.1 of 1 sheets



Survey Reference  
 BOOK 1445 PAGE 0381  
 BOOK 1068 PAGE 787  
 MAP BOOK 5 PAGE 71

NOTE: THIS LOT IS NOT LOCATED IN AN AREA OF 100 YEAR FLOOD.

Plat of Survey For:  
**WATSON FAMILY TRUST**  
 WATSON TRACTS  
 BOOK 1445 PAGE 381  
 BOOK 1068 PAGE 787  
 0.62 ACRES +/-  
 CITY OF WILMINGTON NEW HANOVER COUNTY  
 NORTH CAROLINA

LEGEND:  
 E.I.P. EXISTING IRON PIPE      Ⓢ WATER METER  
 I.P.S. IRON PIPE SET  
 ● PROPERTY CORNER

ADDRESS: 4718 OLEANDER DRIVE

MICHAEL UNDERWOOD and ASSOCIATES, PA  
 102 CINEMA DRIVE, SUITE A  
 WILMINGTON, NC 28403  
 PHONE: 910-815-0650  
 FAX: 910-815-0393  
 E-MAIL: mua@bizec.rr.com Firm License # C-0615

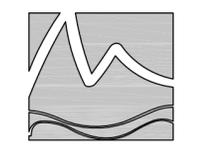
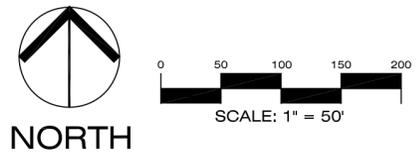
NORTH CAROLINA  
 NEW HANOVER COUNTY

I, MICHAEL N. UNDERWOOD, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION DESCRIPTION AS SHOWN ON THE FACE OF THIS PLAT ERROR OF CLOSURE AS CALCULATED BY COMPUTER IS 1/10,000 + THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN BY BROKEN LINES PLOTTED FROM INFORMATION REFERENCED THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH "THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA" WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 9TH DAY OF JANUARY A.D., 2015

MICHAEL N. UNDERWOOD, P.L.S.  
 REGISTRATION NUMBER L-2962  
 SEAL OR STAMP

©2015 MICHAEL UNDERWOOD and ASSOCIATES, PA

SURVEY SHOWN HERE PROVIDED BY  
 MICHAEL UNDERWOOD AND ASSOCIATES,  
 PA DATED JANUARY 9, 2015.



**MIHALY**  
 LAND DESIGN  
 PLANNING + LANDSCAPE ARCHITECTURE  
 330 Military Cutoff Rd. Suite A3  
 Wilmington, NC 28403 910.392.4355



Revisions

NO.	DATE	DESCRIPTION

CLIENT

**STEPHEN HENSON**  
 4718 OLEANDER DRIVE  
 WILMINGTON, NC 28403  
 PHONE: (336) 847-8300

PROJECT

**4718 OLEANDER DRIVE**  
 WILMINGTON, NC 28403  
 SITE PLAN

Date: 01/28/2015  
 Phase: 000  
 Job Number: 100-870  
 Drawn by: MICHAEL UNDERWOOD & ASSOCIATES.

Sheet Title:  
 EXISTING CONDITIONS SURVEY

Sheet Number  
**L2.1**  
 of 2 sheets

MIHALY PLAN CONTROL - PLAN SET 'A' 01/28/2015

I:\Buddy's LDD 2009\Final Surveys\4718 Oleander Drive\dwg\Master FINAL.dwg 1/6/2015 2:01:33 PM EST