

To: Gary Wert
From: Jeff Walton, Associate Planner; 910-341-3260
CC: File;
Date: 8/15/2016
Re: Ogden Marketplace Planning Comments (Landscape revisions)

The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. Additional review will be required once all the needed documents have been provided. Items or documents not provided on initial submission will be subject to further review. Please contact me for any further questions.

City Council Conditions:

- The proposed building elevations along Middle Sound Loop Road shall be addressed to prevent the appearance of blank walls.
 - a. This is under review. The comment letter stated that elevations were still being finalized, please email plan revisions when completed.
- I am fine with the tree removal and mitigation plan. I think moving the large oak mitigates any payment needed for trees for this project. I attached a redline that addresses my final concerns. Since this is a private move for a development to comply with the code for development, moving the tree at your cost would be preferred.

Site Plan Comments:

- All single parking rows must be a minimum 216 sq ft and double parking rows must be a minimum 432 Sq ft.
 - I need the islands marked not just the entire landscaped area.
 - I know some are smaller. I have redlined islands that need to be dimensioned or lack that adequate square footage.
- Show compliance with the required and proposed foundation plantings for each building, including the metal building.
 - Compliance needs to be shown in table format and in the plans for the proposed plantings.
 - I am attaching a redline. Foundation plantings are not adequately shown on all sides of the buildings abutting parking or a drive aisle.
 - (b) Exemptions from these requirements may be granted when the following circumstances exist or when any of the following conditions are proposed on the site:
 - (2) On the rear side of a building when less than ten (10) percent of the total required parking is located in the rear of the building and the rear is not adjacent to any public right-of-way.
 - Please show me how you meet this rule for the areas you do not comply with foundation plantings.
- Sec. 18-60 (c) (7): Show location of existing and proposed property boundaries and lot lines.
 - If metal building property is a future subdivision of property, we will need **access recorded along with plat.**
 - Please provide documentation for recording.

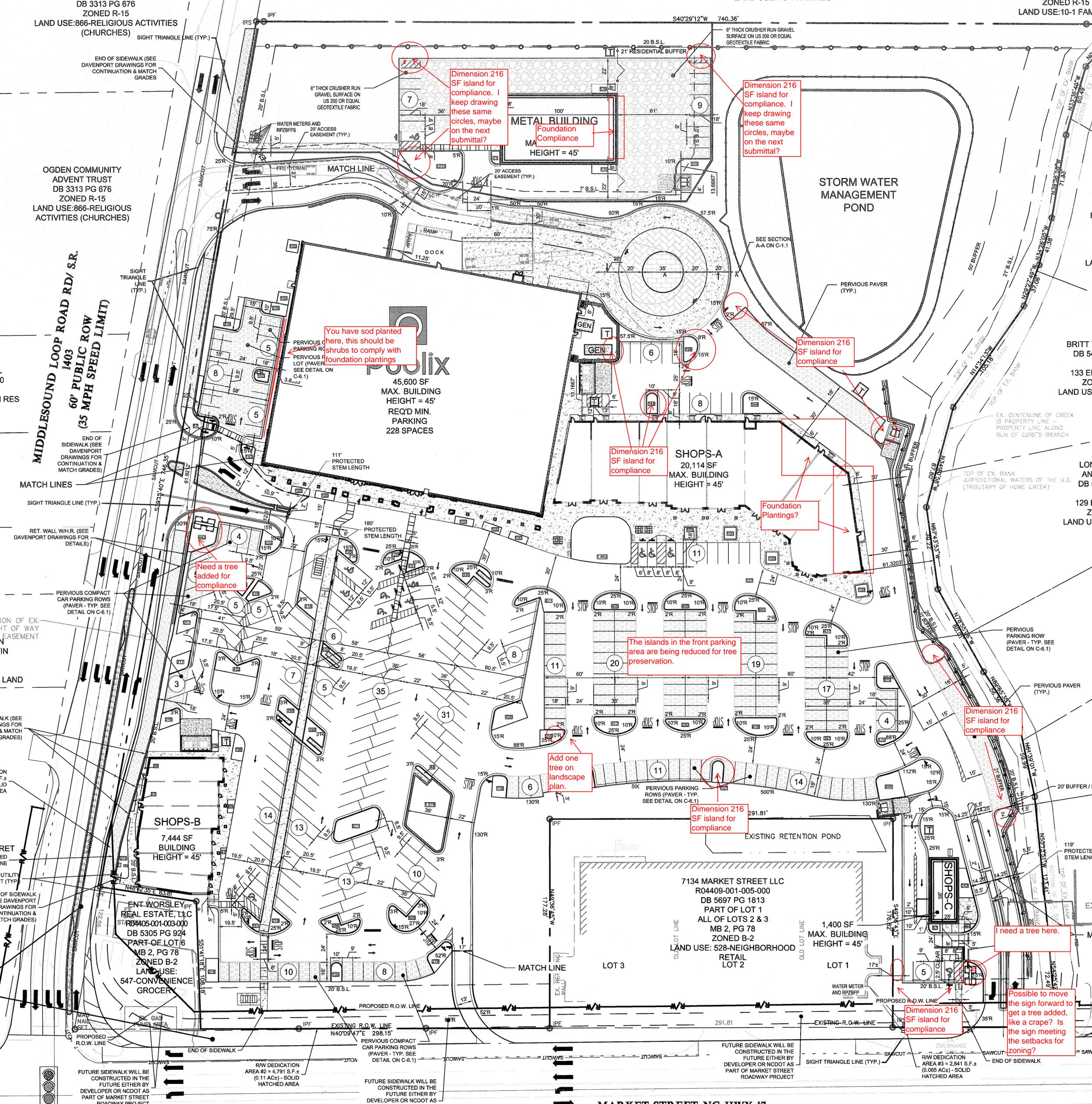
Sec. 18-282. Large-scale retail developments Compliance

- *Regulations.* The following additional regulations shall apply to large-scale retail developments:
 - Each large-scale retail development shall be designed to accommodate buses and other mass transit vehicles.

- This is not an option, please show how you comply.
 - I need confirmation from Wave Transit that they are not interested in bus service to this location as stated.

Landscape Plan:

- The bufferyard to the south needs to be supplement with shrubs along with the proposed trees.
- I added notes to the redline concerning landscape islands and trees.



DB 3313 PG 676
ZONED R-15
LAND USE:866-RELIGIOUS ACTIVITIES (CHURCHES)

OGDEN COMMUNITY
ADVENT TRUST
DB 3313 PG 676
ZONED R-15
LAND USE:866-RELIGIOUS ACTIVITIES (CHURCHES)

MIDDLESOUND LOOP ROAD RD/ S.R.
1403
60' PUBLIC ROW
(35 MPH SPEED LIMIT)

Dimension 216
SF island for
compliance. I
keep drawing
these same
circles, maybe
on the next
submittal?

Dimension 216
SF island for
compliance. I
keep drawing
these same
circles, maybe
on the next
submittal?

You have sod planted
here, this should be
shrubs to comply with
foundation plantings

Dimension 216
SF island for
compliance

Dimension 216
SF island for
compliance

Foundation
Plantings?

Need a tree
added for
compliance

The islands in the front parking
area are being reduced for tree
preservation.

Dimension 216
SF island for
compliance

Add one
tree on
landscape
plan.

Dimension 216
SF island for
compliance

I need a tree here.

Dimension 216
SF island for
compliance

Possible to move
the sign forward to
get a tree added,
like a crane? Is
the sign meeting
the setbacks for
zoning?

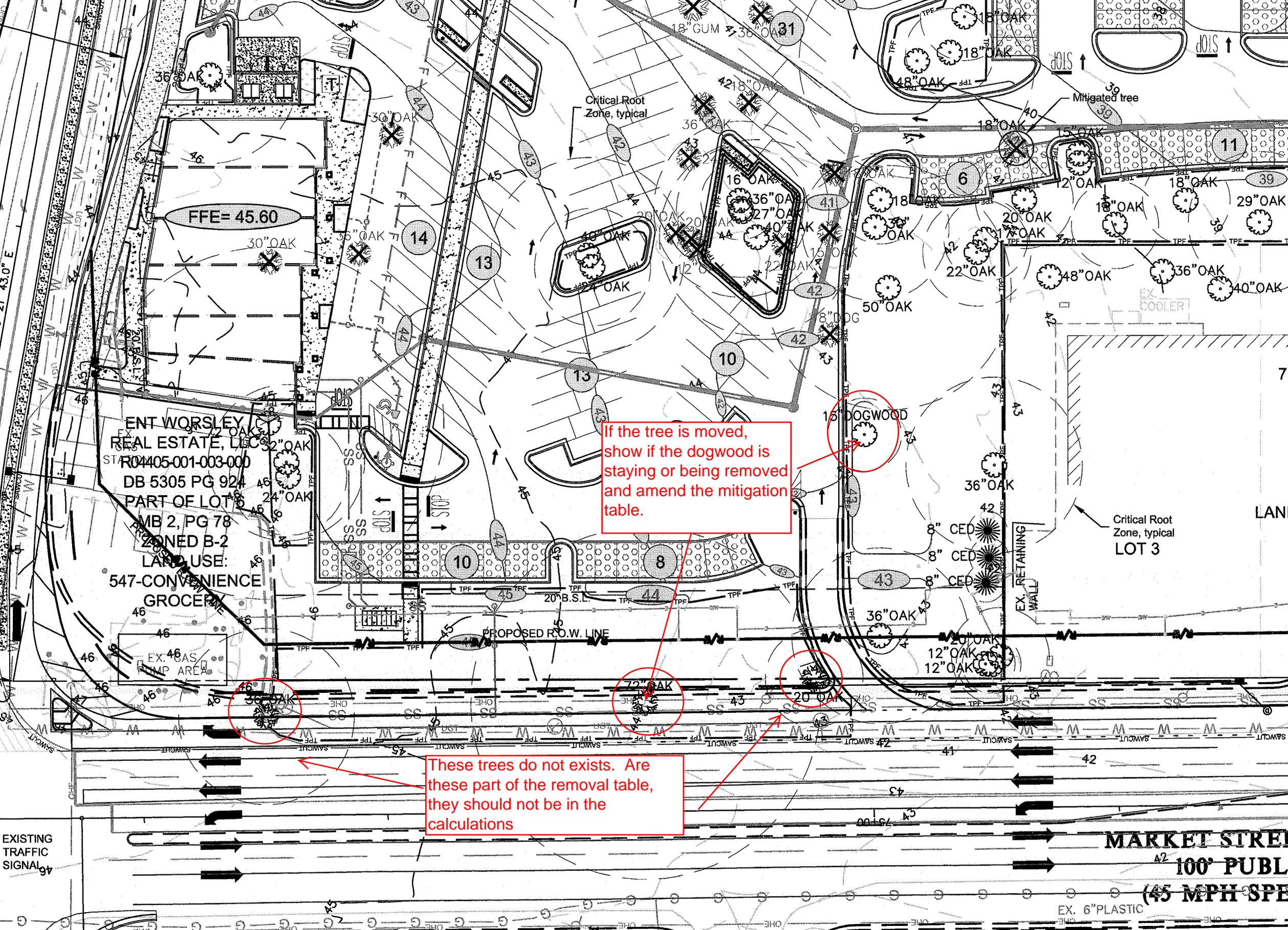
ENT WORSLEY
REAL ESTATE, LLC
R04405-001-003-000
DB 5305 PG 924
PART OF LOT 6
MB 2, PG 78
ZONED B-2
LAND USE:
547-CONVENIENCE
GROCERY

7134 MARKET STREET LLC
R04409-001-005-000
DB 5697 PG 1813
PART OF LOT 1
ALL OF LOTS 2 & 3
MB 2, PG 78
ZONED B-2
LAND USE: 528-NEIGHBORHOOD
RETAIL LOT 2

SHOPS-C
1,400 SF
MAX. BUILDING
HEIGHT = 45'

FUTURE SIDEWALK WILL BE
CONSTRUCTED IN THE
FUTURE EITHER BY
DEVELOPER OR NCDOT AS
PART OF MARKET STREET
ROADWAY PROJECT

R/W DEDICATION
AREA #3 = 2,841 S.F.±
(0.065 AC±) - SOLID
HATCHED AREA



If the tree is moved, show if the dogwood is staying or being removed and amend the mitigation table.

These trees do not exist. Are these part of the removal table, they should not be in the calculations

ENT WORSLEY
REAL ESTATE, LLC
ST 104405-001-003-000
DB 5305 PG 924
PART OF LOT 15
ZONED B-2
LAND USE:
547-CONVENIENCE
GROCERY

MARKET STREET
100' PUBL
(45 MPH SPE