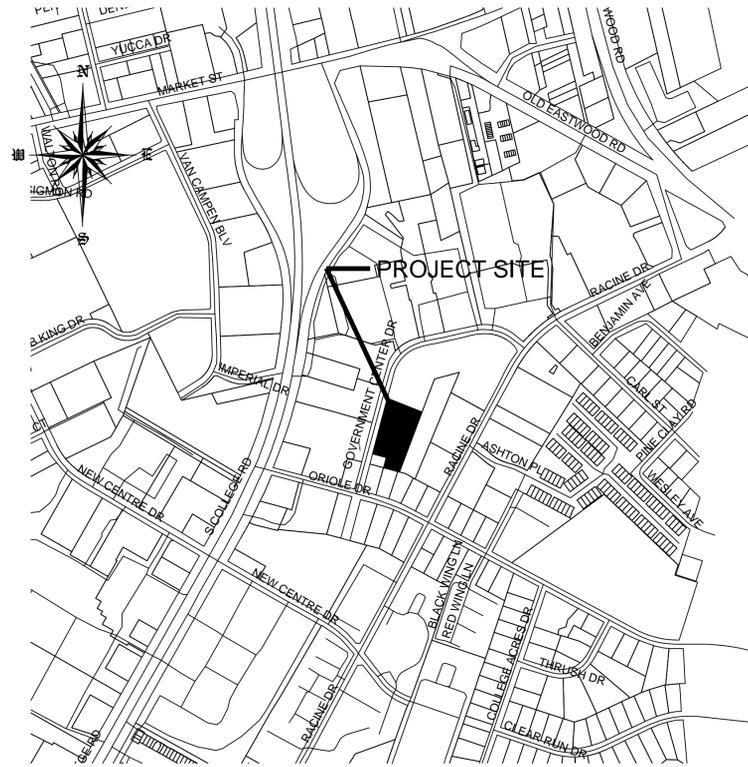


NOTES

1. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING (IF REQUIRED) WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION.
2. ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS OCCUR IN THOSE AREAS.
3. NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
4. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAY ARE TO BE THERMO PLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
5. ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING REGARDING THE INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET SIGN NAMES.
6. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS AND BE MAINTAINED BY THE OWNER.
7. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
8. TRAFFIC ENGINEERING TO BE NOTIFIED AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
9. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
10. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN PARKING AREAS SHALL BE WHITE. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY FOR DRIVEWAY ARE TO BE THERMO PLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
11. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
12. STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
13. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEEL CHAIR RAMPS.
14. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
15. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
16. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
17. WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY DETAILS AND SPECIFICATIONS.
18. PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
19. IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST SUPPLY A RPZ BACKFLOW PREVENTION DEVICE ON THE DEVELOPERS SIDE OF THE WATER METER BOX.
20. ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA SHALL COMPLY WITH THE CFPWA CROSS CONNECTION REGULATIONS.
21. ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZE SENSOR.
22. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USGFCOCHR.
23. CONTRACTOR TO FILED VERIFY EXISTING WATER AND SEWER LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF CONFLICTS.
24. AN ALL WEATHER DRIVING SURFACE FOR EMERGENCY VEHICLES MUST BE MAINTAINED DURING CONSTRUCTION.
25. UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC ROW TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT/DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
26. NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (TEN) FEET ABOVE THE GROUND WITHIN THE TRIANGLE SIGHT DISTANCE.
27. CONTRACTOR IS TO NOTIFY (AT A MINIMUM) THE FOLLOWING COMPANIES FOR LOCATION SERVICES:
 ULCO1-800-632-4949, 48 HOURS IN ADVANCE
 BELL SOUTH.....1-800-392-8712 (STEVE DAYVAULT)
 CAROLINA ONE CALL CENTER 1-800-632-4949
28. THERE SHALL BE NO ENCUMBRANCES WITHIN THE NCDOT RIGHT OF WAY.
29. A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT (SD 15-14 C&W TECH STD)
30. FIRE HYDRANTS CANNOT BE FURTHER THAN 8' FROM THE CURB.
31. PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS OF FDC'S
32. FDC'S CAN BE NO FURTHER THAN 40' FROM FIRE DEPARTMENT VEHICLE PLACEMENT
33. FDC'S CAN BE NO FURTHER THAN 150' FROM A FIRE HYDRANT
34. BICYCLE PARKING IS PROVIDED ON THE SOUTHWEST CORNER OF PROPOSED BUILDING

CONSTRUCTION PLANS FOR NUEWIRTH ANNEX 375 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403



VICINITY MAP
SCALE 1" = 600'
NOVEMBER, 2016

LIST OF DRAWINGS

- | | |
|----|-------------------------------------|
| XX | COVER SHEET |
| CE | EXISTING SITE/TREE SURVEY |
| C1 | SITE PLAN |
| C2 | GRADING, DRAINAGE & EROSION CONTROL |
| C4 | DETAILS |
| L1 | LANDSCAPE PLAN |

NUMBER	DATE	REVISION
R1	11/17/16	SUBMITTED FOR COW TRC REVIEW

OWNER/DEVELOPER
GILLILAN PROPERTIES, LLC
 MR. JOHN GILLILAN
 219 COLLEGE ROAD
 WILMINGTON, NC 28406
 1-910-799-1815

CIVIL ENGINEER
JBS CONSULTING, PA
 BRAD SEDGWICK, PE
 7332 COTESWORTH DRIVE
 WILMINGTON, NC 28405
 1-910-619-9990

GENERAL CONTRACTOR
TMC TAYLOR
 MR. GREG TAYLOR
 1406 CASTLE HAYNE ROAD
 WILMINGTON, NC 28401
 910-251-1181

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

Name _____	Date _____
Planning _____	
Traffic _____	
Fire _____	
CFPUA _____	

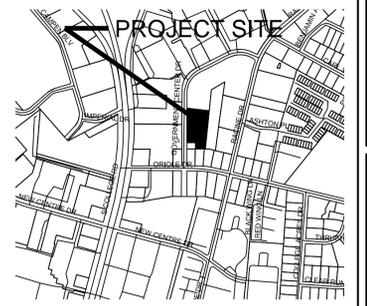




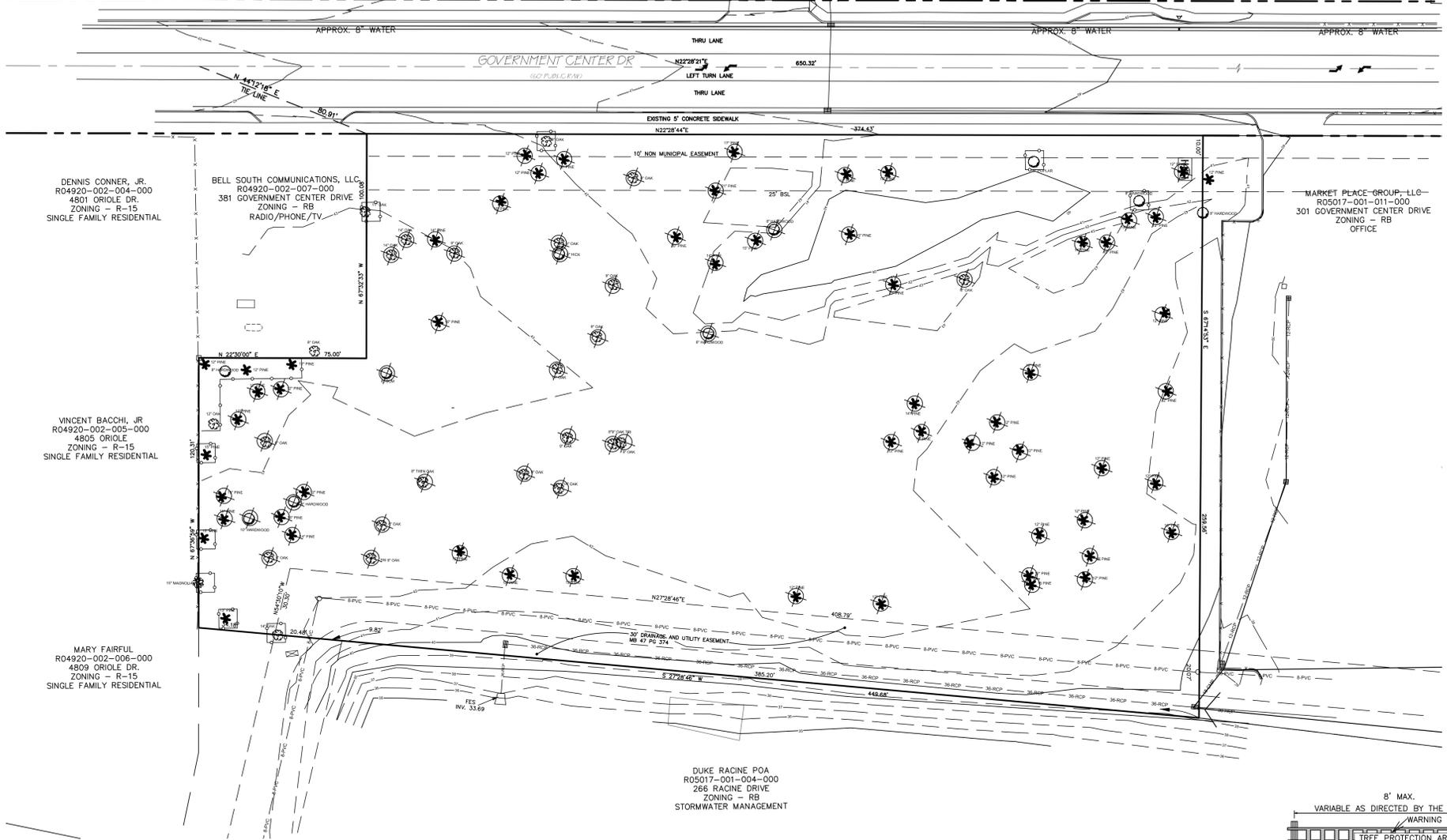
GILLILAN PROPERTIES, LLC
R04920-002-002-000
219 S. COLLEGE
ZONING - RB
AUTO RETAIL

SHARDAMAYA, INC
R04916-003-006-000
151 S. COLLEGE
ZONING - RB
HOTEL

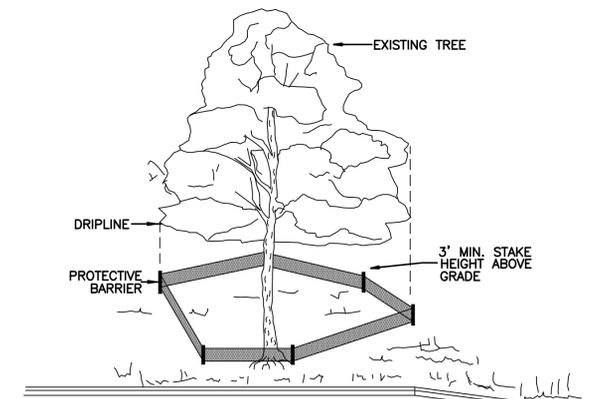
BENCH MARK
TOP OF EX. HYDRANT
ELEVATION = 42.82 NAVD '88



VICINITY MAP
SCALE: 1"=1000'

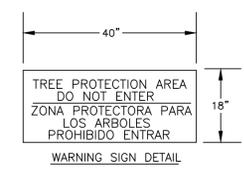
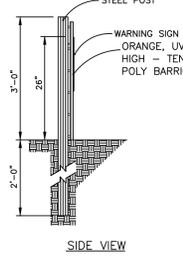
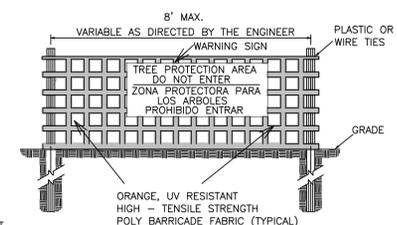


EXISTING SITE/TREE SURVEY
SCALE: 1" = 30'



TREES TO BE SAVED WILL BE CLEARLY MARKED PRIOR TO CONSTRUCTION AND A PROTECTIVE BARRIER IS TO BE INSTALLED AT THE DRIPLINE.
DRIPLINE - THE AREA OF SOIL DIRECTLY BENEATH THE TREE EXTENDING OUT TO THE TIPS OF THE OUTERMOST BRANCHES.
CONTRACTOR TO COMPLY WITH COW SIGN ORDINANCE FOR MARKING FENCING

METHOD OF TREE PROTECTION DURING CONSTRUCTION
SD 15-08
NOT TO SCALE



- NOTES:
1. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
 2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
 4. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCING AND SIGNS THROUGHOUT DURATION OF PROJECT.
 5. TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
 6. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

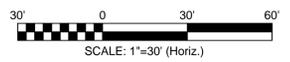
Fire _____

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE _____ PERMIT # _____

SIGNED _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



TREE PROTECTION DURING CONSTRUCTION
SD 15-09
NOT TO SCALE

LEGEND

EX. GRAVEL	
ASPAHLT PAVEMENT	
CONC. PAVEMENT	
PROPOSED SPOT ELEVATION	41.5'
WAVE STYLE BIKE RACK 8 BIKE SPOTS EACH	
TREE PROTECTION FENCING SEE DETAIL	
TREE FOR REMOVAL	



NO WETLAND WITHIN PROJECT AREA

REVISION	DATE	NUMBER	DESCRIPTION

<p>DESIGN BY: BDS DRAWN BY: BDS CHECKED BY: BDS DATE: _____</p>	<p>EXISTING SITE/TREE SURVEY</p> <p>NEUWIRTH ANNEX</p> <p>375 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403</p>
<p>GILLILAN PROPERTIES, LLC MR. JOHN GILLILAN 219 COLLEGE ROAD WILMINGTON, NC 28406 1 010 700 1815</p>	
<p>FOR REVIEW ONLY NOT FOR CONSTRUCTION</p>	
<p>JBS CONSULTING, PA 7332 Cotesworth Drive Wilmington, NC 28405 (910) 619-9990 License Number C-2525</p>	
<p>SHEET</p> <p>CE</p> <p>JOB NO. _____ of _____ 110-001</p>	

SITE DATA

ADDRESS 375 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403

PARCEL ID NUMBERS R05017-001-009-000

DEED BOOK & PAGE D.B. XXXX PG. XXX
D.B. 5983 PG. 262

MAP BOOK & PAGE MB 47 PG. 289

ZONING RB-REGIONAL BUSINESS
CITY OF WILMINGTON

TOTAL LOT AREA 2.3 ACRES

CAMA LAND USE CLASSIFICATION URBAN

SPECIAL OVERLAY DISTRICT.....NOT IS SOD

PROPOSED USE.....CAR DEALERSHIP/OFFICE

NUMBER OF BUILDINGS 1 PROPOSED

BUILDING SQUARE FOOTAGE..... 10,000 SF
GROSS FLOOR SPACE..... 15,000 SF

PAVING COVERAGE..... 10,000 SF / (2.3 AC X 43560) = 10.02%

PAVEMENT/BUA CALCULATIONS FOR THE STORMWATER PERMIT

TOTAL DRAINAGE AREA (SF) 100,188 SF (2.3 ACRES)

EXISTING ON SITE 0 SF
PROPOSED 0 SF

PARKING LOT BUILDING 61,613 SF
BUILDING 10,000 SF
SIDEWALK 2,010 SF

TOTAL PROPOSED 73,623 SF

	REQUIRED	PROPOSED
MIN. LOT AREA	100'	374'
MIN. LOT WIDTH	100'	374'
MAX. LOT COVERAGE	40%	10.02%
FRONT BUILDING SETBACK	25'	37.5'
REAR BUILDING SETBACK	15'	80.3'
SIDE BUILDING SETBACK	0'	10.0'
MAX. BUILDING HEIGHT	35'	25'

PARKING REQUIREMENTS

TOTAL PROVIDED 142 SPACES
± 5 H/C
147 SPACES TOTAL

BICYCLE PARKING
8 PROVIDED.

SOLID WASTE
SOLID WASTE DISPOSAL WILL BE BY DUMPSTER. DUMPSTER PAD IS LOCATED AT THE REAR OF THE PROPOSED BUILDING. THE DUMPSTER PAD SHALL BE ENCLOSED WITH A SOLID WOODEN FENCE AS SHOWN ON THE DETAIL ON THE DETAIL SHEET.

UTILITY INFORMATION

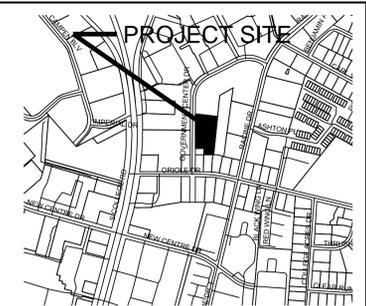
WATER: 000 GPD (CURRENT USE)
WATER: 900 GPD (PROPOSED USE) + IRRIGATION (SEPARATE TAP) (NO IRRIGATION PLANNED AT THIS STAGE OF THE PROJECT)
SEWER: 000 GPD (CURRENT USE)
SEWER: 900 GPD (PROPOSED USE)

CALCULATIONS - ALL UNITS (5,000 SF PER UNIT @ 3) 12 EMPLOYEES/SHIFT /ONE SHIFT = 3 X 12 X 25 = 900 GALLONS PER DAY

STORMWATER CLASSIFICATION

RECEIVING STREAM SPRING BRANCH
RIVER BASIN CAPE FEAR
STREAM INDEX NUMBER 18-74-63-1
WATER CLASSIFICATION "C, Sw"

LANDSCAPING REQUIREMENTS: SEE SHEET L1



VICINITY MAP
SCALE: 1"=1000'

DESIGN BY: BDS
DRAWN BY: BDS
CHECKED BY: BDS
DATE: NOVEMBER, 2016

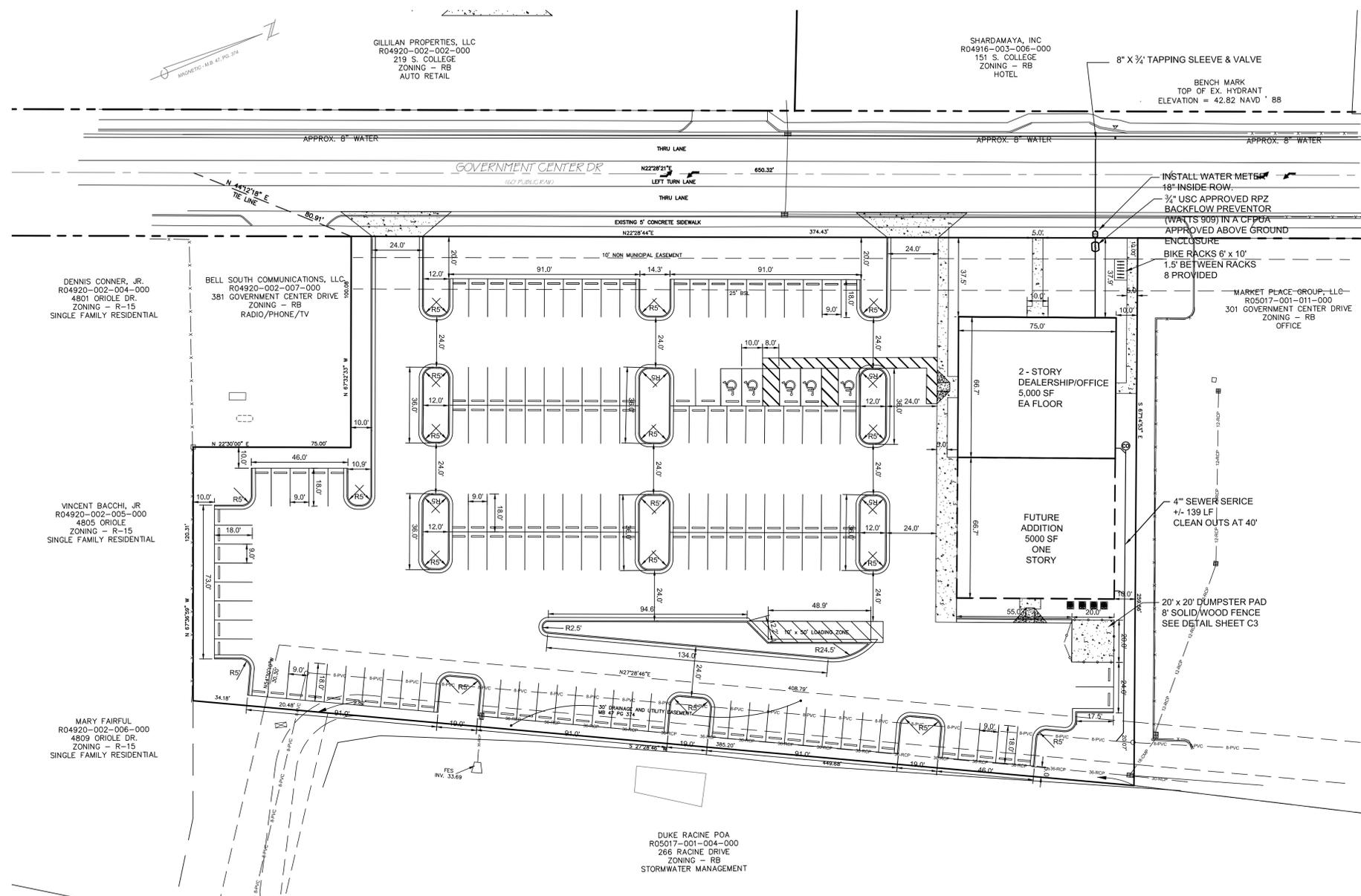
SITE PLAN
NEUWIRTH ANNEX
375 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403

GILLILAN PROPERTIES, LLC
MR. JOHN GILLILAN
219 COLLEGE ROAD
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JBS CONSULTING, PA
7332 Cotesworth Drive
Wilmington, NC 28405
(910) 619-9990
License Number C-2825
PLANNING - ENGINEERING - PROJECT MANAGEMENT

SHEET
C1
JOB NO. 110-001



SITE PLAN
SCALE: 1" = 30'

TRIP REPORT

Day/Period	Total	Pass-By	Avg	Min	Max	Std	Avg	%	%	Level	Equation	0.2
Weekday Average City Trip	233	0	32.3	15.64	79.86	15.7	58	50	50	FIRM		
Weekday AM Peak Hour of Generator	14	0	2.22	0.88	6	1.76	31	55	45	Tran	T = 2.30(X) - 2.41	0.89
Weekday PM Peak Hour of Generator	20	0	2.6	0.88	6.41	1.91	31	47	53	Tran	T = 2.61(X) - 0.10	0.75

Weekday ADT - 233 trips

AM Peak trips
Enter - 8
Exit - 6
Total - 14

PM Peak trips
Enter - 9
Exit - 11
Total - 20

Source: Institute of Transportation Engineers, Trip Generation Manual (9th Edition, 2012)
TRIP GENERATION 2013, TRAFFICWARE, LLC

LEGEND

- EX. GRAVEL
- ASPHALT PAVEMENT
- CONC. PAVEMENT
- PROPOSED SPOT ELEVATION X 41.5'
- WAVE STYLE BIKE RACK 8 BIKE SPOTS EACH
- TREE PROTECTION FENCING SEE DETAIL
- TREE FOR REMOVAL



NO WETLAND WITHIN PROJECT AREA

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT

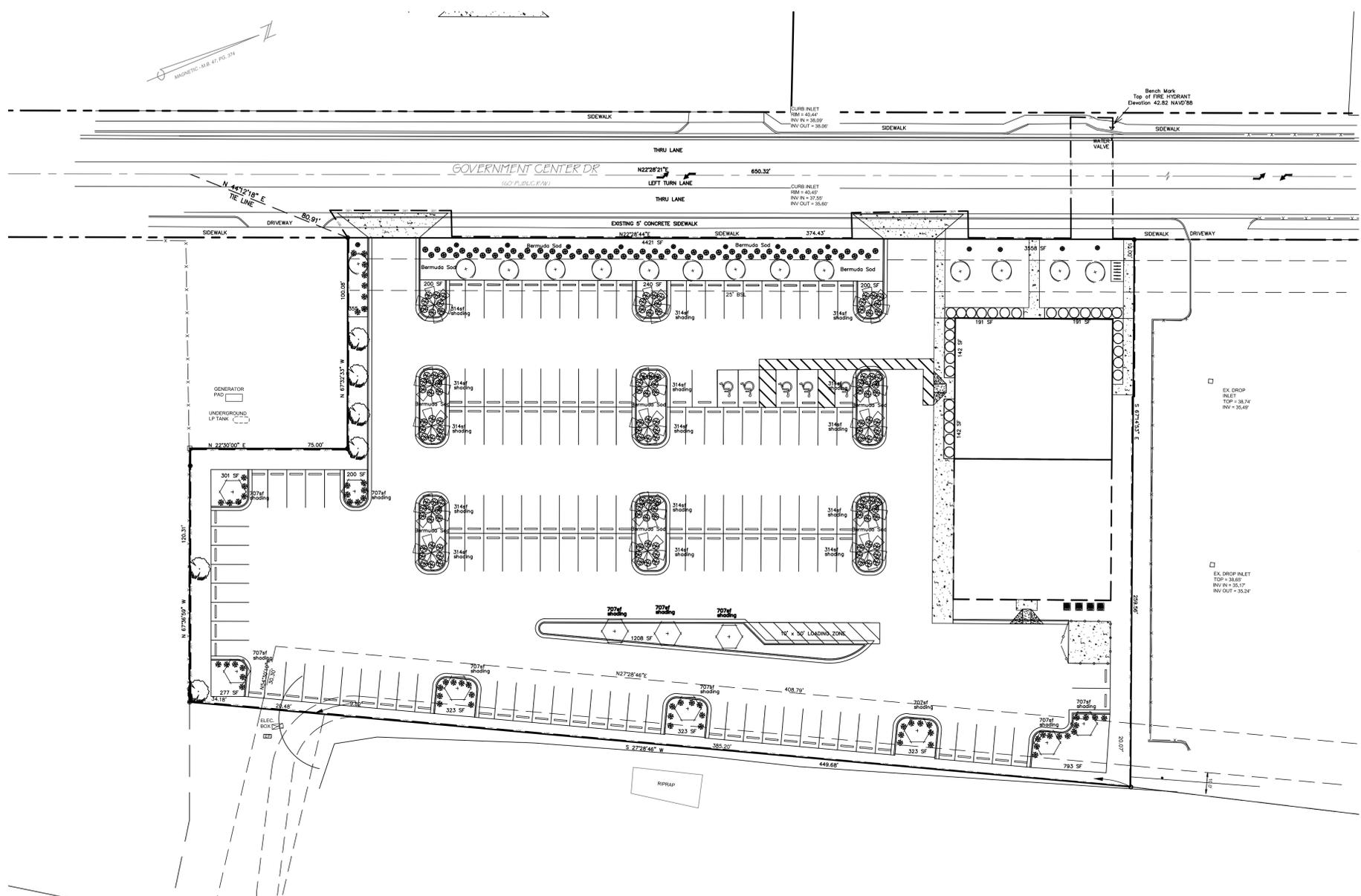
DATE _____ PERMIT # _____

SIGNED _____

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NO.	DATE	REVISION
R1	11/17/16	SUBMITTED FOR COW TRC REVIEW



LANDSCAPE PLAN
SCALE: 1" = 30'

LEGEND

- ASPHALT PAVEMENT
- CONC. PAVEMENT
- PROPOSED SPOT ELEVATION
- WAVE STYLE BIKE RACK 8 BIKE SPOTS EACH
- TREE PROTECTION FENCING SEE DETAIL
- TREE FOR REMOVAL

PLANTING SCHEDULE

Common Name	Scientific Name	Size	Qty
Allee Elm	<i>Ulmus parvifolia</i>	2.5" Cal.	8
Dwarf Yaupon Holly	<i>Ilex vomitoria "nana"</i>	3 Gal.	29
Drift Rose	<i>Rosa Meigalpio</i>	3 Gal.	120
Liriope, Big Blue	<i>Liriope muscari</i>	1 Gal.	65
Trident Maple		3" Cal.	16
Tulip Poplar Arnold	<i>Liriodendron tulipifera</i>	2.5" Cal.	14
Cosmopolitan	<i>Miscanthus Cosmopolitan</i>	3 Gal.	13
Common Privet	<i>Ligustrum vulgare</i>	3 Gal., 3'ht	70



NO WETLAND WITHIN PROJECT AREA

LANDSCAPE REQUIREMENTS

STREET YARD BUFFER
 ZONING RB (MULTIPLIER = 25)
 374' FRONTAGE - 2 DRIVES @ 25' = 324 * 25 = 8100 SF REQUIRED
 MAX WIDTH = 37.5 FT MIN WIDTH = 12.5'
 PROVIDED = 3558 + 4421 + 355 = 8,334 SF PROVIDED

1 - CANOPY TREES PER 600 SF 8100 / 600 = 13.5 REQUIRED
 14 PROVIDED

6 - SHRUBS (12" MIN. HT.) PER 600 SF = 6 X (8100 / 600) = 81 REQUIRED
 83 PROVIDED

PARKING LOT LANDSCAPING
 SHADING REQUIREMENTS = 20% OF PARKING SURFACE AREA
 61,613 SF X 20% = 12,323 SF REQUIRED
 PROVIDED = (11 X 707 SF) + (15 X 315 SF) = 12,487 SF PROVIDED

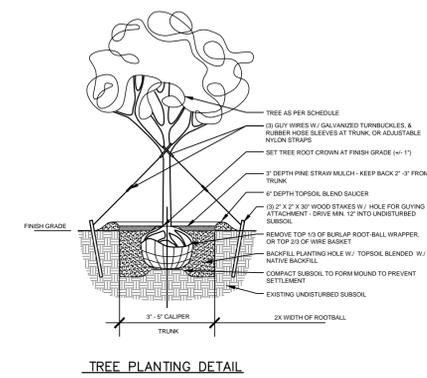
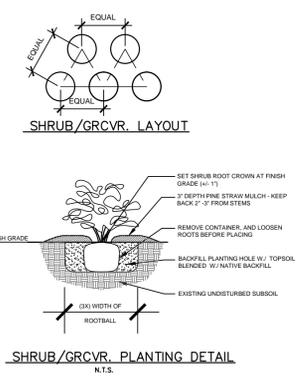
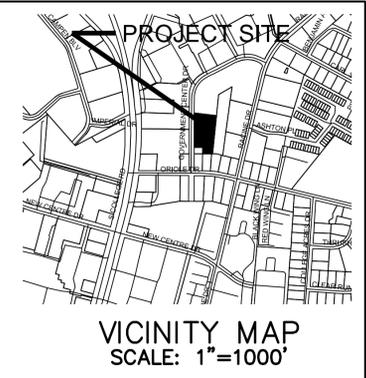
ALL PARKING LOT ISLANDS ARE CURBED AND PLANTED WITH APPROPRIATE SHRUBS.

PERIMETER LANDSCAPING
 LANDSCAPE YARD 10' IN WIDTH BETWEEN THIS SITE AND PARCELS TO THE SOUTH.
 ONE TREE EVERY 18 TO 27 FEET.
 295 FT PERIMETER - 295 / 18 = 16 TREES (MAX)
 295 / 27 = 11 TREES (MIN)

USE 8 TREES (EXISTING) + 6 TREES (PROPOSED) = 14 PROPOSED

PARKING AREA SCREENING
 HEDGE PLANTED USING 3' HIGH SHRUBS PLANTED WITH A 5' WIDTH.

FOUNDATION PLANTINGS
 FRONT OF BUILDING = 25' X 75' = 1875 SF X 12% = 225 SF REQUIRED
 382 SF PROVIDED
 SIDE OF BUILDING = 25' X 66.7' = 1666.8 SF X 12% = 200 SF REQUIRED
 284 SF PROVIDED



Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

STORMWATER MANAGEMENT PLAN

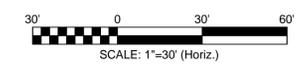
APPROVED

CITY OF WILMINGTON
 ENGINEERING DEPARTMENT

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DESIGN BY: BDS
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 DATE: NOVEMBER, 2016

LANDSCAPE PLAN
NEUWRTH ANNEX
 375 GOVERNMENT CENTER DRIVE
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SHEET
L1
 of 6
 JOB NO. 110-001