

To: Brad Sedgwick
From: Pat O’Mahony, Associate Planner; 910-341-0189
CC: File;
Date: 10/13/2020
Re: Nourish NC TRC Rev. 1

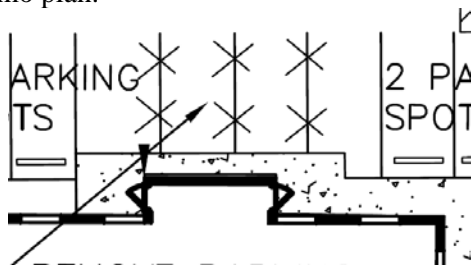
The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. A staff summary of comments:

| Staff | Department | Notes |
|---------------------|-----------------------|---------------------|
| Pat O’Mahony | Planning, Plan Review | Comments attached |
| Mitesh Baxi | Traffic Engineering | Comments attached |
| Bill McDow | Transportation | Comments attached |
| Richard Christensen | Engineering | Comments attached |
| Anna Reh-Gingerich | Stormwater Services | Comments attached |
| Chris Walker | Fire | No further comments |

Pat O’Mahony- Planning – Attached

Site Plan Comments:

- Provide existing parking spaces in site data table.
- Sec. 18-60 (c) (6): Show location of buildings (existing and proposed) and all proposed expansions.
 - Clarify existing building size on plans. Plans show 5,117sf existing. Site data table shows 8,759sf building existing.
- The spaces below are shown to be removed, will this area remain open? If so, only show removal of spaces on demo plan.

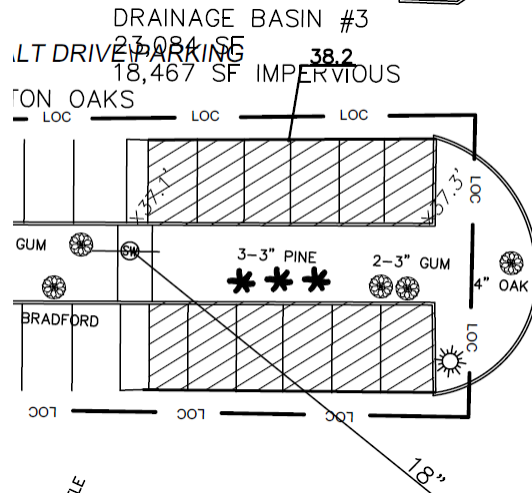


- Show tree removal and preservation calculations.
- Sec. 18-504: Show compliance with screening of dumpsters with living and non-living material.

Landscape Plan to Include:

- Table III of the Landscaping Expansion Table is triggered by the 37% increase in gross square feet. Required: 15 trees per disturbed acre, full width of streetyard, 6% interior landscaping.

- 18 shrubs are required in streetyard, 8 are shown.
- Show streetyard calculations with a multiplier of 18.
- Minimum streetyard width for O&I-1 is 9'.
- Clarify the area below, plantings may be required at the end of the parking aisle.



- Sec. 18-483. Parking area screening:
 - Ensure a low buffer is provided along parking area. Crepe myrtles are interspersed and do not look to provide a complete low buffer.

Engineering has reviewed the plans for the Nourish NC project submitted September 3, 2020 for TRC review and have the following comments:

1. Complete page 5 of 6, Section V. Submittal Requirements, of the SW Application. Initial what was submitted and place a 'NA' next to the items that are not required for Drain Plan review.
2. Provide the 50-year HGL in addition to the 10-year HGL analysis. 10- and 50-year HGL is a technical standard.

Please call or email if there are any questions. Thank you.

Project Name: **Nourish NC**

Formal TRC Date: Oct 15, 2020

Reviewer Name: Chris Walker

Reviewer Department/Division: FIRE

- No comments from FIRE

BASE INFORMATION:

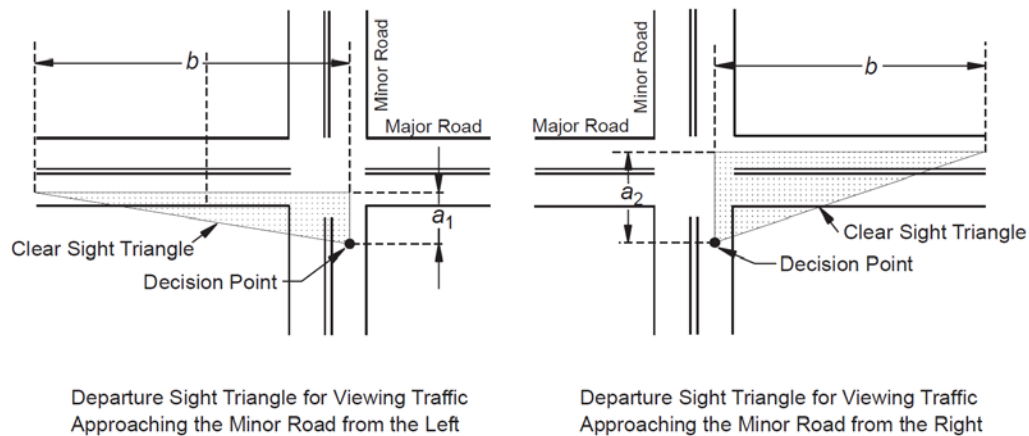
- Coordinate with Engineering division for any variance to the technical standards.

SIGHT DISTANCE TRIANGLE FOR ANY STREET/DRIVEWAY INTERSECTIONS WITH THOROUGHFARES

Market St is a major thoroughfare [Chap VII (C) (2) (a) of CofW Tech Stds]. In accordance with the City Code, sight distances along thoroughfares must be calculated in compliance with the AASHTO requirements. [Chap VII (C) (1) of CofW Tech Stds] [Sec.18-556 CofW LDC].

Show the departure sight distances with dimensions for the intersections.

Refer 'AASHTO A Policy on Geometric Design of Highways and Streets', Chapter 9.5.2 Departure Sight Triangles. Here minor road is driveway. Since it is an apron style driveway it is considered as a stop-controlled, regardless of stop sign.



Departure Sight Triangles (Stop-Controlled)

TECHNICAL STANDARDS:

1. Dimension sidewalks.
2. Please show the full width of the painted landscaping island north of handicap space, so that the full length of accessible aisle is protected of vehicular traffic.
3. Dimension all the proposed parking spaces on the site plan. [Sec. 18-529(b)(2) CofW LDC]
4. Twenty-four feet (24') is the minimum drive aisle width behind perpendicular parking. Please dimension. [Chapter VII Table 6 of CofWTSSM]. Aisle behind the proposed handicap spaces is subject to variance.
5. Please show location of accessible ramp(s) and parking signs and provide details on the plan. If transition is flush, installation of detectable warning domes is recommended. Specify if it will be parallel ramps.
6. Note the required and proposed number of handicapped spaces in the development data. [Sec. 18-529(b)(2) CofW LDC]
7. Note/label the plan with spot elevations that clearly indicate the accessible route from the HC space(s) to the building. [Sec. 18-529(b)(2) CofW LDC]

Please let me know if you have any questions or if I can be of further assistance.

Project Name: **NOURISH NC**
 TRC Date: **10.15.2020**
 Reviewer Name: **BILL McDow**
 Reviewer Department/Division: **PDT/Transportation Planning**

TECHNICAL STANDARDS:

1. The site has proposed a 12,013 SF Building, (a 3254 SF ADDITION to the Existing Building) for a Warehouse Store at 3606 Market Street.
2. Please revise the proposed ITE Estimated Trip Generation Numbers for the project based upon the SF for Land Use 150, WAREHOUSE, and the SF for the proposed Land Use 710, Office and Industrial.
3. Please revise the land use table to show the Estimated Trip Generation Numbers and Land Uses as shown below:

| Land Use | Type | ITE Code* | 24 Hour Volumes | AM Peak Hour Trips | | PM Peak Hour Trips | | Saturday Peak Hour trips | |
|-----------------------------|---------------------|-----------|-----------------|--------------------|------|--------------------|------|--------------------------|------|
| | | | | Enter | Exit | Enter | Exit | Enter | Exit |
| Office & Industrial ____ SF | Office & Industrial | 710 | | | | | | | |
| Warehouse ____ SF | Retail | 150 | | | | | | | |

4. The proposed ADA route from the sidewalk connection (for the Public Sidewalk) to the building, currently goes behind the handicap parking spaces, to access the building. The site plan appears to be removing parking spaces on the North side of the building. Please consider shifting the remaining parking spaces and allowing the proposed sidewalk connection to go in a straight line, directly to the building.

Please let me know if you have any questions regarding the comments.

Project: Nourish NC
TRC Meeting Date: 10/9/20
Reviewer: Anna Reh-Gingerich
Department: Stormwater Services

To Whom It May Concern:

The Nourish NC project falls within the Burnt Mill Creek Watershed, which currently is listed by the State for having high chlorophyll and a poor benthic community. Any additional infiltration on-site would help reduce the amount of stormwater runoff and pollution that could enter Burnt Mill Creek and contribute to the current pollution problems.

I appreciate that there will be more sod added to allow more infiltration. I would still suggest adding additional infiltration practices, or more trees or plants, to help absorb runoff and filter pollution:

1. Incorporate pervious materials into sidewalks and/or the parking stalls where the soils allow.
2. Incorporate more native plantings or trees into the islands.
3. Incorporate bioretention/rain gardens into the areas where asphalt is being removed. They are already being excavated – would be a PERFECT opportunity if the soils support it! [Rain Garden Fact Sheet](#); [Stormwater Solutions](#)

Thank you for the opportunity to review! Please do not hesitate to reach out to me if you have any other questions or would like to explore other ways to improve infiltration on-site.

Thank you,

Anna Reh-Gingerich

Interim Watershed Coordinator - Heal Our Waterways Program
City of Wilmington Stormwater Services
209 Coleman Drive
Wilmington, NC 28412
Ph: 910-765-0629 | Fax: 910-341-7832
anna.reh-gingerich@wilmingtonnc.gov
www.healourwaterways.org



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