



2702 S. COLLEGE RD. REGION: MID-ATLANTIC
WILMINGTON, NC

DESIGNER OF RECORD:

DISCIPLINE	COMPANY	REPRESENTATIVE	ADDRESS	PHONE NO.
CIVIL:	TOWER ENGINEERING	FREDERICK HERB, P.E.	326 TRYON RD., RALEIGH, NC 27603	919.661.6351
LANDSCAPE:	TOWER ENGINEERING	FREDERICK HERB, P.E.	326 TRYON RD., RALEIGH, NC 27603	919.661.6351
ARCHITECT:	NOT APPLICABLE			
SITE LIGHTING:	NOT APPLICABLE			

OWNER REPRESENTATIVE:

DISCIPLINE:	REGION	REPRESENTATIVE	ADDRESS	PHONE NO.
AREA CONST. MANAGER:	MID-ATLANTIC	STEVE KELLETT	163 CARLISLE BENNETT RD., SPARTANBURG, SC 29307	864.494.2491

**REGION: MID-ATLANTIC
BUILDING INFORMATION**

ADDRESS

STATE SITE CODE: 32-0496
STREET ADDRESS: 2702 S. COLLEGE ROAD
CITY, STATE: WILMINGTON, NC

SITE:

MCDONALD'S SITE AREA: 0.5± AC (LEASED)
DISTURBED AREA: 0.14 AC.
ZONED: RB (REGIONAL BUSINESS)
PIN: R06114-004-001-000
EXISTING STALL COUNT: 18 STALLS
PROPOSED STALL COUNT: 18 STALLS

BUILDING CODE:

BUILDING CODE EDITION: 2012 NC BUILDING CODE
MECHANICAL CODE EDITION: 2012 NC MECHANICAL CODE
ELECTRICAL CODE EDITION: 2011 NATIONAL ELECTRIC CODE
PLUMBING CODE EDITION: 2012 NC PLUMBING CODE
ENERGY CODE EDITION: 2012 NC ENERGY CONSERVATION CODE

SCOPE OF WORK

- EXISTING MCDONALD'S RESTAURANT TO UNDERGO REMODEL AND ADDITION (SEE BUILDING PLANS FOR ASSOCIATED MODIFICATIONS)
- SITE TO BE RENOVATED TO INCLUDE NEW OPTIMIZED TANDEM DRIVE THRU LAYOUT AND TO MEET APPLICABLE ACCESSIBILITY REQUIREMENTS.

VICINITY MAP

SCALE N.T.S.



AERIAL PHOTO

SCALE N.T.S.



GENERAL CONSTRUCTION NOTES:

- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER AND DESIGNER OF RECORD IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN AND CHANGES APPROVED.
- THIS PLAN HAS BEEN REVIEWED BY THE AUTHORITY HAVING JURISDICTION AND/OR ITS AUTHORIZED REPRESENTATIVE, BUT SUCH CHECKING AND/OR APPROVAL DOES NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY TO CORRECT ERRORS, OMISSIONS OR MAKE CHANGES REQUIRED BY CONDITIONS DISCOVERED IN THE FIELD DURING THE COURSE OF CONSTRUCTION. MCDONALD'S CONSTRUCTION MANAGER & THE AUTHORITY HAVING JURISDICTION SHALL BE INFORMED IN WRITING OF ANY CHANGES MADE DURING CONSTRUCTION PRIOR TO EXECUTION OF SAID CHANGE.
- ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE AUTHORITY HAVING JURISDICTION(S) PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS STAMPED AND SIGNED BY THE APPROPRIATE PROFESSIONAL(S) PRIOR TO THE INSTALLATION OF THE IMPROVEMENTS.
- THE LOCATION OF EXISTING UTILITIES SHOWN HEREIN IS AN APPROXIMATION OF THEIR ACTUAL LOCATION AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO ASSUME ALL LIABILITY FOR ANY AND ALL DAMAGES WHICH MAY OCCUR DUE TO THE CONTRACTOR'S FAILURE TO PHYSICALLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.
- THE CONTRACTOR SHALL NOT PERFORM ANY EXCAVATION OPERATIONS UNTIL ALL APPLICABLE UTILITY COMPANIES, COUNTY AND CITY AGENCIES HAVE BEEN NOTIFIED AND GIVEN THE OPPORTUNITY TO MARK THEIR FACILITIES IN THE FIELD.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE APPROPRIATE AGENCIES, UTILITIES OR COMPANIES TO PROVIDE TEMPORARY ELECTRIC POWER, WATER SUPPLY AND SANITARY FACILITIES DURING DURATION OF CONSTRUCTION ACTIVITIES. ASSOCIATED COSTS SHALL BE INCIDENTAL TO PROJECT.
- ALL WORK SHALL BE PER OSHA AND APPLICABLE FEDERAL, STATE AND LOCAL CODE REQUIREMENTS.
- THE CONTRACTOR SHALL SECURE ALL REQUIRED ENCROACHMENT AND/OR OTHER PERMITS FROM ALL GOVERNING AGENCIES BEFORE THE COMMENCEMENT OF WORK. CONTRACTOR SHALL MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS OR OTHER ADJACENT OCCUPIED OR USED FACILITIES. STREETS, WALKS OR OTHER ADJACENT OCCUPIED OR USED FACILITIES SHALL NOT BE CLOSED OR OBSTRUCTED WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION; ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS SHALL BE PROVIDED IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORK HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT, AND ENGINEER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE FOR THE OWNER, ARCHITECT, OR ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY EXCEPT FOR THE ADEQUACY OF HIS DESIGN CONTAINED HEREIN.
- ALL GRADING TO BE IN ACCORDANCE WITH LOCAL ADOPTED CODES AND ASTM D1557.
- THE SITE SHALL BE EITHER UNIFORMLY GRADED BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN, BETWEEN SUCH POINTS AND EXISTING FINISHED GRADES, OR CONFORM POINTS; SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. IT SHALL COMPLY WITH THE GEOTECHNICAL'S REPORT COMPACTION REQUIREMENTS AND BE SLOPED TO DIRECT WATER AWAY FROM THE BUILDING AND TO PREVENT PONDING.
- ALL GRADED AREAS SHALL BE PROTECTED FROM TRAFFIC AND EROSION, KEPT FREE FROM TRASH AND WEEDS AND EMPLOYEE SEDIMENTATION CONTROL SYSTEMS. PRIOR TO COMPLETION OF THE PROJECT THE CONTRACTOR SHALL RESTORE ALL GRADED AREAS TO THEIR SPECIFIED TOLERANCES.
- PRIOR TO PLACING AGGREGATE BASE OR PAVEMENT, THE SUBGRADE SHALL BE TREATED WITH A SOILS STERILIZATION TYPE WEED KILLER (EPA-REGISTERED) AND TERMITE CONTROL WHERE REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR RESETTling EXISTING MONITORING WELLS, MANHOLES, CLEAN-OUTS AND ANY OTHER STRUCTURE TO FINISH GRADE AS NECESSARY.
- ALL NEW ASPHALT PAVING AND CONCRETE WORK SHALL MATCH THE EXISTING GRADES AT LIMITS OF WORK. SLOPE AWAY FROM BUILDINGS.
- REPLACE EXISTING ASPHALT PAVING AND/OR CONCRETE AS REQUIRED DUE TO NEW CONSTRUCTION INSTALL NEW PAVING PER PLAN AND/OR MCDONALD'S SPECIFICATIONS.
- EXISTING ASPHALT PAVING AND/OR CONCRETE SHALL BE CUT TO A NEAT, STRAIGHT LINE (WHEN APPLICABLE). ALL EXPOSED VERTICAL SURFACES SHALL BE TACKED COATED BELOW FINISH GRADE LINE WITH ASPHALT EMULSION PRIOR TO PAVING.
- ALL NEW CONCRETE PAVING SHALL BE SEALED. JOINT SEALANT SHALL BE APPLIED TO ALL EXPANSIONS AND ISOLATION JOINTS; AND CONTROL JOINTS IN DRIVE SLABS.
- "SAW-CUTTING" TO CREATE CONTROL JOINTS SHALL BE DONE WITHIN 1 TO 4 HOURS (PENDING TEMPERATURE) AFTER THE HARDENING SUFFICIENTLY, TO PREVENT RAVELING OR DISLODGING OF AGGREGATES, OF THE CONCRETE.
- UNLESS OTHERWISE NOTED, ALL CURBS SHALL HAVE A 6" CURB FACE.
- ASPHALT PRIME COAT SHALL BE APPLIED TO THE COMPACTED AGGREGATE BASE PRIOR TO PLACING ASPHALTIC CONCRETE. THE RATE OF APPLICATION SHALL BETWEEN 0.2 AND 0.5 GALLONS PER SQUARE YARD.
- ASPHALT TACK COAT SHALL BE APPLIED BELOW FINISHED GRADE TO ALL VERTICAL SURFACES IN CONTACT WITH THE ASPHALT PAVEMENT AND TO THE SURFACE OF THE BASE COURSE WITH FINISH COURSE PLACED ON DIFFERENT DAYS. TACK COAT SHALL BE APPLIED AT A RATE BETWEEN 0.05 AND 0.015 GALLONS PER SQUARE YARD.
- SEAL COAT SHALL BE APPLIED TO ALL NEW ASPHALTIC PAVEMENT PER MANUFACTURER SPECIFICATIONS AND MCDONALD'S PROJECT MANUAL.
- ANY WORK THAT IMPACTS ACCESSIBILITY SHALL BE RESTORED TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL ADOPTED CODES; MOST STRINGENT SHALL APPLY.

REVISIONS	DATE	DESCRIPTION
0		C1.0 COVER SHEET
0		C2.0 EXISTING SITE CONDITIONS/DEMO PLAN
0		C3.0 SITE PLAN
0		C4.0 ACCESSIBILITY PLAN
0		C5.0 GRADING/EROSION PLAN
0		C6.0 DRIVE THRU PLAN AND DETAILS
0		C7.0 DETAILS
0		C8.0 SITE FOUNDATIONS
0		C9.0 CITY DETAILS
0		L1.0 LANDSCAPE PLAN

LANDSCAPING NOTES, WHERE APPLICABLE:

GENERAL

- CONTRACTOR IS TO CONDUCT A FIELD REVIEW AND BE FAMILIAR WITH ALL EXISTING AND PROPOSED UTILITIES AND SUBSURFACE FEATURES PRIOR TO START OF WORK. SEE ARCHITECTURAL, SITE AND CIVIL PLANS.
- ALL MATERIALS AND EQUIPMENT SHALL BE PROVIDED AND INSTALLED AS SHOWN IN THE DETAILS AND AS DESCRIBED IN THE SPECIFICATIONS, EXCEPT AS NOTED OTHERWISE.
- ALL UTILITIES, EXISTING IRRIGATION AND NON-IMPACTED LANDSCAPING SHALL BE PRESERVED AND PROTECTED IN PLACE. EXISTING REMOTE CONTROL VALVES SERVICING ADJACENT AREAS MUST REMAIN IN OPERATION DURING THE COURSE OF THE PROJECT. SHOULD THERE BE ANY DISRUPTION IN WATER SERVICE AS RESULT OF THIS WORK AND PLANTS IN ADJACENT AREAS DIE, THE CONTRACTOR WILL BE RESPONSIBLE TO REPLACE PLANTS IN LIKE KIND. THEREFORE THE CONTRACTOR MAY BE REQUIRED TO HOOK UP TEMPORARY IRRIGATION OR HAND WATER FOR THE DURATION UNTIL PERMANENT REPAIRS CAN BE MADE.
- THE CONTRACTOR IS REQUIRED TO VERIFY AND PROVIDE THE QUANTITY OF MATERIALS SHOWN ON THE LANDSCAPE PLANS. QUANTITIES IN THE LANDSCAPE LEGENDS ARE MERELY A GUIDE FOR ESTIMATING. THEREFORE QUANTITIES SHOWN ON THE LANDSCAPE PLANS TAKE PRECEDENCE OVER QUANTITIES LISTED IN THE LEGENDS.
- CONTRACTOR SHALL CONFIRM IF CITY CERTIFICATION OF THE LANDSCAPE INSTALLATION IS REQUIRED, CONTRACTOR TO CONTACT THE AUTHORITY UNDER JURISDICTION 48 HOURS PRIOR TO COMPLETION OF INSTALLATION WORK TO ARRANGE FOR THE REQUIRED SITE REVIEW AS PART OF THIS CERTIFICATION. ALL WORK TO BE PER PLANS AND ANY MODIFICATIONS SHALL BE APPROVED BY MCDONALD'S CONSTRUCTION MANAGER PRIOR TO IMPLEMENTATION.
- ALL CONSTRUCTION WASTE TO BE RECYCLED AS APPROPRIATE.
- OBTAIN ALL MATERIALS LOCALLY (WITHIN 50 MILES) AS POSSIBLE.
- REFER TO ARCHITECTURAL AND CIVIL PLANS FOR DESCRIPTIONS OF ELEMENTS NOT IDENTIFIED ON THIS PLAN.
- PERMANENTLY SEED AND MULCH CUT SLOPES AS EXCAVATION PROCEEDS TO THE EXTENT CONSIDERED DESIRABLE AND PRACTICAL.
- UNLESS REQUIRED WITHIN A SHORTER TIME FRAME BY THE AUTHORITY UNDER JURISDICTION, SLOPES THAT ERODE EASILY OR THAT WILL NOT BE GRADED FOR A PERIOD OF 14 DAYS OR MORE, SHALL BE TEMPORARILY STABILIZED AS WORK PROGRESSES WITH VEGETATION OR OTHER ACCEPTABLE MEANS UNLESS OTHERWISE SPECIFIED HEREIN THE CONSTRUCTION DOCUMENTS.

PLANTING

- SET PLANTS IN PITS OR BEDS, PARTLY FILLED WITH PREPARED PLANT MIX, AT A MINIMUM DEPTH OF 6 INCHES UNDER EACH PLANT. REMOVE BURLAP, ROPES AND WIRES FROM THE ROOT BALL.
- MINIMUM SETBACKS DISTANCES FOR TREE PLANTING SHALL BE PER AUTHORITY UNDER JURISDICTION AND TAKE INTO ACCOUNT CLEAR SIGHT LINES FOR VEHICLES ENTERING OR EXITING THE SITE.
- ALL SURFACE AND SUB-SURFACE DRAINAGE STRUCTURES SHALL BE MAINTAINED. CONTRACTOR TO IDENTIFY EXISTING PAVED AREAS BEING CONVERTED INTO PLANTING BEDS AND NEW PLANTER BED SURROUNDED BY PAVEMENT OR STRUCTURES AND SHALL DECOMPACT SOILS AS APPLICABLE. EXCAVATE PLANTER BED TO A MINIMUM DEPTH OF 16". REMOVE FOREIGN MATERIALS, WEEDS AND UNDESIRABLE PLANTS AND THEIR ROOTS. REMOVE CONTAMINATED SUBSOIL. SOIL SHALL BE DISCARDED OFF-SITE. UNIFORMLY FILL PLANTERS WITH NATIVE SOIL OR COMPATIBLE TOPSOIL TO WITHIN 1-1/2" OF TOP OF CURB. COMPACT TO 85%. REPLACE AND CONDITION SOIL PER GEOTECHNICAL REPORT.
- EXISTING LANDSCAPING TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. TREES TO REMAIN SHALL BE PROTECTED PER ISA OR AGENCY REQUIREMENTS. GRADING AND TRENCHING WITHIN DRIPLINES OF EXISTING PLANTS SHALL BE LIMITED AND DONE MANUALLY. GRADING/TRENCHING WITHIN THE DRIPLINE OF TREES SHALL BE WORKED ON UNDER THE SUPERVISION OF AN ARBORIST. BEYOND DRIPLINE, NO ROOTS LARGER THAN 1" SHALL BE CUT WITHOUT ARBORIST SUPERVISION AND APPROVAL.
- IF THERE ARE EXISTING LANDSCAPE AREAS TO REMAIN: SURFACE IN THESE AREAS TO BE CLEANED FREE OF WEEDS, LITTER, DEBRIS, ETC. REPLACE DEAD, DAMAGED, OR MISSING PLANTS WITH SPECIMENS OF SIMILAR MATERIAL.
- NO LANDSCAPING OF ANY TYPE SHALL BE PLACED WITHIN THREE (3) FEET OF ANY FIRE HYDRANT, FIRE SUPPRESSION SYSTEM CONTROL VALVE, OR ANY TYPE OF FIRE RELATED CONTROL DEVICE. PLANTS SHALL BE SELECTED FOR THIS AREA THAT WILL NOT ENCROACH UPON THIS THREE (3) FOOT RADIUS.
- SYMBOL FOR GROUNDCOVER IS SCHEMATIC AND IS NOT SHOWN UNDER SHRUBS AND TREES FOR CLARITY. CONTRACTOR TO INSTALL UNDER SHRUBS AND TREES TO FILL ENTIRE PLANTER BED. QUANTITY IN LEGEND IS A GUIDE AND SHALL BE VERIFIED/DETERMINED BY GENERAL CONTRACTOR.
- SEE MCDONALD'S PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

**IF YOU DIG IN
NORTH CAROLINA...
CALL US FIRST!
1-800-632-4949**

NORTH CAROLINA ONE CALL
IT'S THE LAW

DATE		STATUS	DATE	BY
		FINAL	-	-
		PLAN CHECKED	-	-
		AS-BUILT	-	-

McDonald's

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

REGIONAL MGR. DIRECTOR
REGIONAL CONSTRUCTION MGR.
REGIONAL REAL ESTATE MGR.
AREA CONSTRUCTION MGR.
CONTRACTOR

CO-SIGN SIGNATURES

OFFICE ADDRESS: 4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

RALEIGH REGION

DATE: 9-5-2016
REV: 0

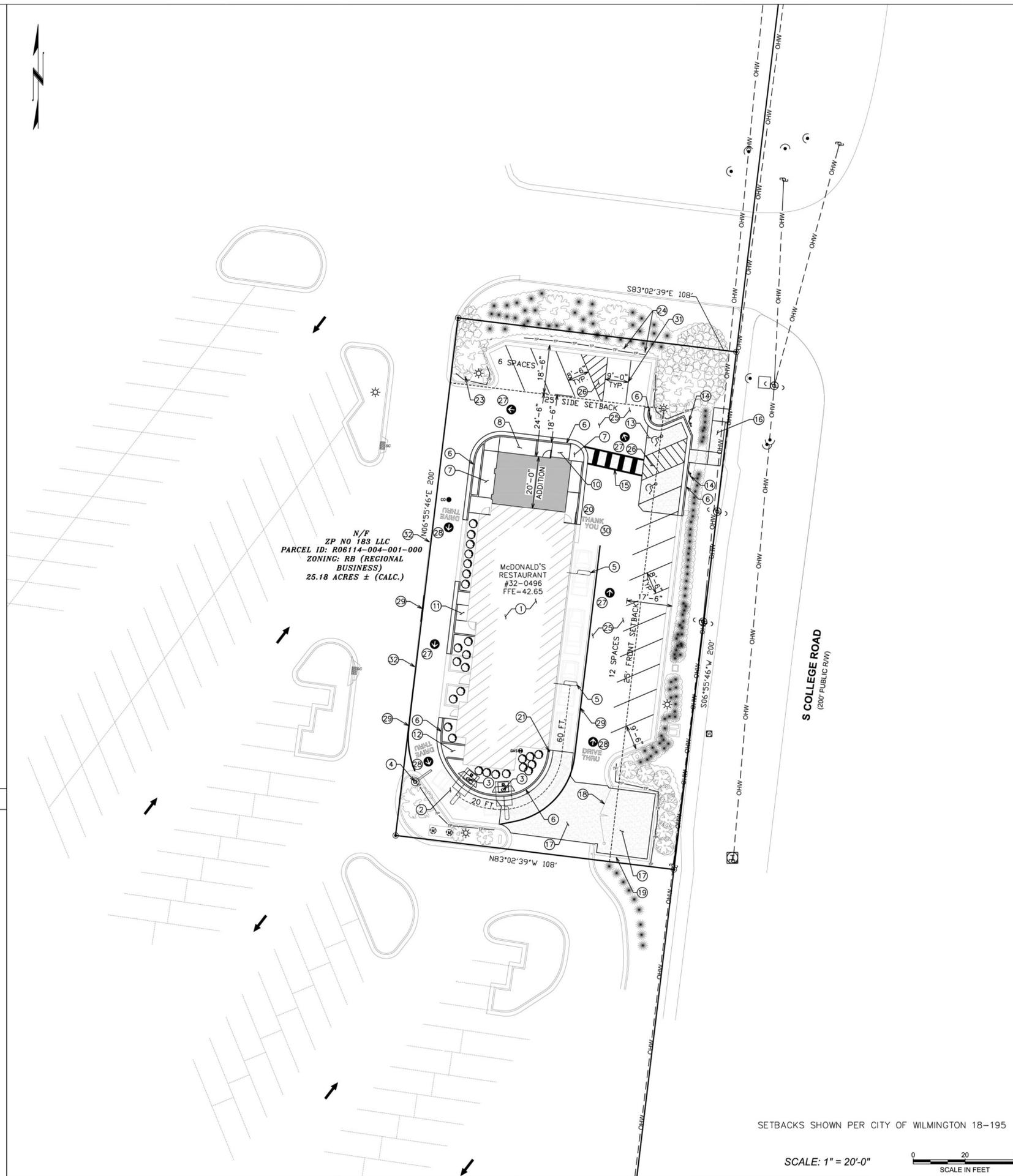
ISSUE/REVISION DESCRIPTION

SITE KEY NOTES:

- ① MODIFIED BUILDING FOOTPRINT WHICH INCLUDES BUILDING ADDITION. SEE BUILDING PLANS FOR DETAILS.
- ② TANDEM DRIVE THRU OPTIMIZED AT 60 FT. AND 80 FT. CONCRETE PAD AT DRIVE THRU WITH 10' CONTROL JOINTS AND 20' EXPANSION JOINTS. TIE INTO EXISTING PAD TO REMAIN WHERE APPLICABLE.
- ③ NEW OPO MENU BOARD WITH INTEGRATED CUSTOMER ORDER DISPLAY PER DETAIL SHEET. GALVANIZED ANCHOR BOLTS (6" ABOVE GRADE), FOOTING AND ELECTRICITY BY GENERAL CONTRACTOR. SIGN INSTALLED BY SIGN CONTRACTOR. COORDINATE WITH A.C.M.
- ④ REVERSE ARM GATEWAY PER DETAIL SHEET. GALVANIZED ANCHOR BOLTS (6" ABOVE GRADE), FOOTING AND ELECTRICITY BY GENERAL CONTRACTOR. SIGN INSTALLED BY SIGN CONTRACTOR. CONTRACTOR TO COORDINATE WITH A.C.M.
- ⑤ INSTALL DETECTOR LOOPS AT EACH DRIVE THRU WINDOW PER DETAIL SHEET (VERIFY WITH A.C.M.). REPAIR/REPLACE CONCRETE AS REQUIRED.
- ⑥ CONSTRUCT CURB AND GUTTER PER DETAIL SHEET. TIE INTO EXISTING ADJACENT CURBING WHERE APPLICABLE.
- ⑦ CONCRETE EXTERIOR WALKWAY PER McDONALD'S SPECIFICATIONS. VERIFY FINISH WITH A.C.M.
- ⑧ CONCRETE ACCESSIBLE PATH. SEE SHEET C4.0 FOR DETAILS.
- ⑨ NOT USED
- ⑩ CONCRETE ACCESSIBLE CURB RAMP. SEE SHEET C4.0 FOR DETAILS.
- ⑪ CONCRETE EGRESS TO GRADE.
- ⑫ CONCRETE DELIVERY RAMP AND WALKWAY AT STORAGE BUILDING.
- ⑬ CONCRETE PAD AT RELOCATED ACCESSIBLE PARKING SPACES AND AISLE.
- ⑭ ACCESSIBLE SIGNAGE. SEE SHEET C4.0 FOR ADDITIONAL DETAILS.
- ⑮ CONCRETE ACCESSIBLE CROSSWALK. SHEET SHEET C4.0 FOR DETAILS.
- ⑯ CONCRETE ACCESSIBLE ROUTE TO EXISTING PUBLIC SIDEWALK. REWORK INSPECTION WELLS AS REQUIRED TO BE FLUSH WITH WALKWAY
- ⑰ NEW CONCRETE PAD WITHIN TRASH CORRAL AND APRON. VERIFY EXTENT OF REPLACEMENT WITH A.C.M.
- ⑱ INSTALL NEW TRASH CORRAL GATES (STEEL FRAME AND TREX BOARD).
- ⑲ PAINT TRASH CORRAL STRUCTURE TO MATCH PROPOSED COLOR SCHEME. SEE BUILDING PLANS FOR COLOR SPECIFICATIONS.
- ⑳ GUARDRAIL. PAINT TO MATCH PROPOSED COLOR SCHEME. SEE BUILDING PLANS FOR COLOR SPECIFICATIONS.
- ㉑ PIPE BOLLARD PER DETAIL SHEET.
- ㉒ NOT USED
- ㉓ REPLACE EXISTING STOP SIGN WITH NEW STOP SIGN
- ㉔ McDONALD'S APPROVED OUT OF SEQUENCE PARKING (OOSP) SIGNAGE (TYPICAL OF 2). SEE SHEET C6.0 FOR DETAILS.
- ㉕ REPAIR EXISTING ASPHALT LOT AS REQUIRED AND PROVIDE SEAL COAT. RESTRIPE PARKING SPACES WITH 4" WIDE STRIPES, WHITE, WHERE SHOWN UNLESS NOTED OTHERWISE.
- ㉖ PAINT 4" WIDE STRIPE, WHITE, @ 45' 2'-0" O.C.
- ㉗ PAINT DRIVE THRU DIRECTIONAL ARROW. SEE SHEET C6.0 FOR DETAILS.
- ㉘ PAINT "DRIVE THRU" WITH DIRECTIONAL ARROW. SEE SHEET C6.0 FOR DETAILS.
- ㉙ PAINT 6" WIDE STRIPE, YELLOW, ALONG OUTSIDE OF DRIVE THRU LANE.
- ㉚ PAINT "THANK YOU" PER McDONALD'S SPECIFICATIONS. SEE SHEET C6.0 FOR DETAILS.
- ㉛ PAINT OOSP PARKING STALL 4" WIDE STRIPE, YELLOW.
- ㉜ EXISTING HEADER CURB ALONG DRIVE THRU LANE TO REMAIN. REPAINT YELLOW PER OWNER/OPERATOR REQUEST (VERIFY WITH A.C.M. AND O/O.)

LEGEND

- | | | | |
|-------------------------|-------------------------|---|-------------------------------------|
| ● | PROPERTY CORNER | ⊗ | SITE KEY NOTE |
| --- | PROPERTY LINE | ➔ | DRIVE THRU DIRECTIONAL ARROW |
| --- | SETBACK LINE | ➔ | "DRIVE THRU" WITH DIRECTIONAL ARROW |
| --- | EASEMENT | ➔ | TRAFFIC/LOT FLOW ARROW |
| F.F.E. = XXXXX | FINISH FLOOR ELEVATION | ☐ | CANOPY WITH COD AND DETECTOR LOOP |
| T | TELEPHONE LINE | ☐ | OPO MENU BOARD |
| W | WATER LINE | ☐ | GREASE TRAP |
| OHW | OVERHEAD UTILITIES | | |
| E | UNDERGROUND ELECTRICAL | | |
| SS | SANITARY SEWER | | |
| RD | ROOF DRAIN | | |
| RW | RIGHT OF WAY | | |
| M | SANITARY SEWER MANHOLE | | |
| TF | TRANSFORMER | | |
| INLET | INLET | | |
| POWER POLE | POWER POLE | | |
| WATER VALVE | WATER VALVE | | |
| SIGN | SIGN | | |
| BOLLARD | BOLLARD | | |
| POLE MOUNTED AREA LIGHT | POLE MOUNTED AREA LIGHT | | |
| FIRE HYDRANT | FIRE HYDRANT | | |
| ACCESSIBLE STALL | ACCESSIBLE STALL | | |
| FLAG POLE | FLAG POLE | | |



GENERAL SITE NOTES:

1. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 1-800-632-4949 OR 811 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
4. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS. ACCESS SHALL BE LIMITED UNTIL PERMISSION IS GRANTED.
5. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
6. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
7. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
8. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
9. ALL WORK IN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
10. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
11. SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY FEMA F.I.R.M. COMMUNITY PANEL NUMBER 3720313600J, WITH AN EFFECTIVE DATE OF APRIL 3, 2006.

PROPOSED PARKING INFORMATION

TOTAL SPACES	ACCESSIBLE SPACES	8' X 17' @ 60'
18	2	8.5' X 17' @ 60'
	4	8.5' X 18' @ 60'
	1	9.5' X 18' @ 60'
	2	9' X 18' @ 90'
	2	9' X 18' @ 90'

STREET ADDRESS 2702 S. COLLEGE ROAD	
CITY WILMINGTON	STATE NORTH CAROLINA
COUNTY NEW HANOVER	
PIN R06114-004-001-000	LOCATION CODE NUMBER 032-0496
TEP PID 56725	

REV	DATE	DESCRIPTION	BY	ISSUE/REF
0	9-5-2016	FIRST ISSUE		

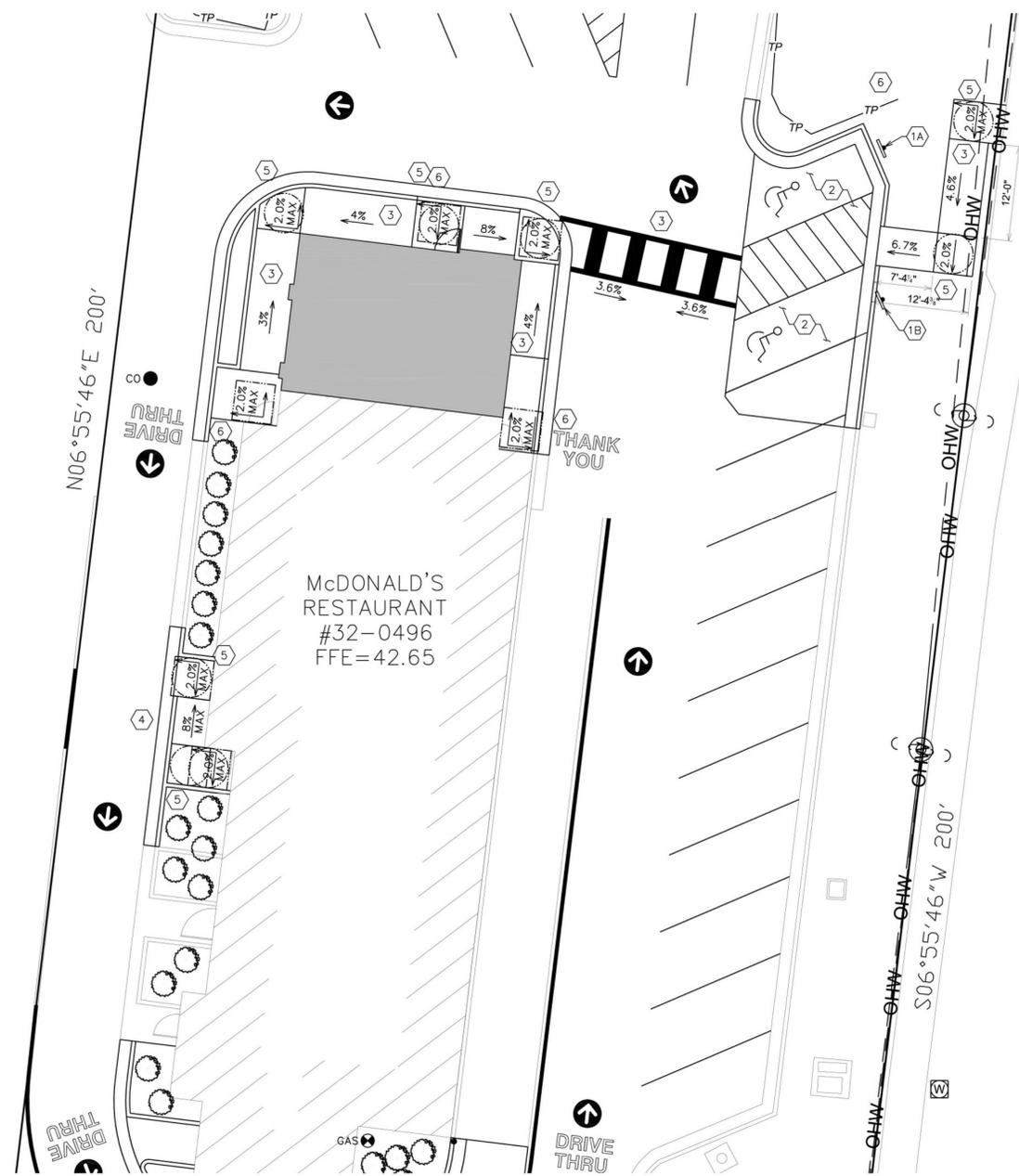
TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
 RALEIGH, NC 27603
 OFFICE: (919) 661-6351
 www.tepgroup.net
 N.C. LICENSE # C-1794



McDonald's
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.
 OFFICE ADDRESS: 4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

DATE	PLAN APPROVAL SIGNATURE (2 REQUIRED)	STATUS	DATE	BY
	REGIONAL MGR. DIRECTOR	FINAL	-	-
	REGIONAL CONSTRUCTION MGR.	PLAN CHECKED	-	-
	REGIONAL REAL ESTATE MGR.	AS-BUILT	-	-
	AREA CONSTRUCTION MGR.			
	CONTRACTOR			

CO-SIGN SIGNATURES
 C-3
 SITE PLAN

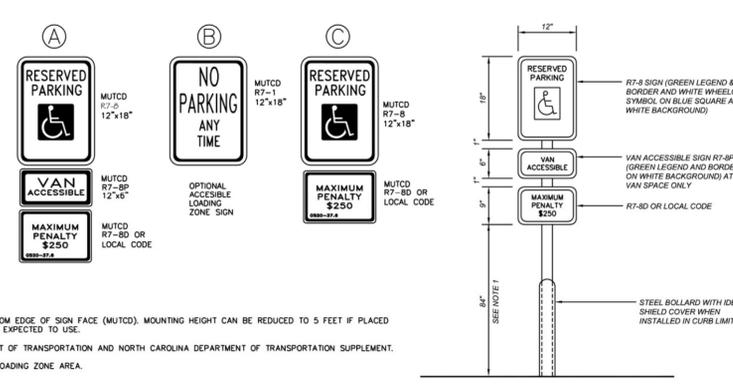


SCALE: 1" = 10'-0"

ACCESSIBLE PARKING REQUIREMENTS

TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 300	7	2
301 TO 400	8	2
401 TO 500	9	2
501 TO 1000	2% OF TOTAL	1 IN EVERY 6 ACCESSIBLE SPACES
1001 AND OVER	20 PLUS 1 FOR EACH 100 OVER 1000	1 IN EVERY 6 ACCESSIBLE SPACES

REFERENCE: SECTION 1106 OF NC STATE BUILDING CODE



- NOTES:**
- ALL 12"x18" ACCESSIBLE SIGNS SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (MUTCD). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
 - REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SUPPLEMENT.
 - IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA.
 - SIGNAGE MUST NOT OBSTRUCT ACCESSIBLE ROUTE OR RAMPS.
 - SIGNAGE TO BE INSTALLED ON STEEL BOLLARD WITH IDEAL SHIELD COVER WHEN INSTALLED INSIDE CURB/ASPHALT LIMITS
 - PER CITY OF WILMINGTON STANDARD, ACCESSIBLE SIGNAGE TO BE MAINTAINED BY PROPERTY OWNER.

ACCESSIBLE PARKING & SIGNAGE
NOT TO SCALE

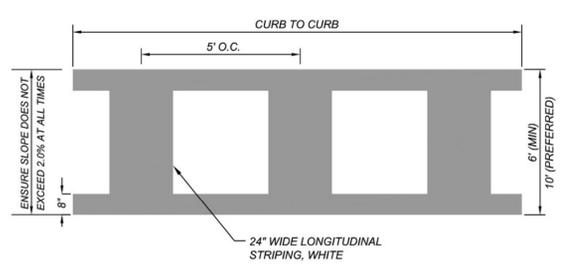
GENERAL SITE NOTES:

- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 1-800-632-4949 OR 811 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY FEMA F.I.R.M. COMMUNITY PANEL NUMBER 3720313600J, WITH AN EFFECTIVE DATE OF APRIL 3, 2006.
- EXTERIOR ACCESSIBLE SIGNAGE (ISA/DIRECTION, SPEACH/HEARING IMPAIRED, ETC.) TO BE INSTALLED BY GENERAL CONTRACTOR IN REQUIRED LOCATIONS PER CODE

ACCESSIBILITY KEY NOTES:

- (1A) INSTALL ACCESSIBLE VAN SIGNAGE - SEE THE SPECIFICATION ON THIS SHEET FOR DETAILS
- (1B) INSTALL ACCESSIBLE CAR SIGNAGE - SEE THE SPECIFICATION ON THIS SHEET FOR DETAILS
- (2) ACCESSIBLE PARKING SPACES' AND AISLE'S SLOPES NOT TO EXCEED 2.0% IN ANY DIRECTION
- (3) EXTERIOR WALKWAY TO HAVE A SLOPE OF NO MORE THAN 5% AND A CROSS SLOPE OF NO MORE THAN 2.0%
- (4) ACCESSIBLE EGRESS TO GRADE
- (5) ANY CHANGE IN DIRECTION AND/OR INTERSECTION AT A TURN ALONG THE ACCESSIBLE PATH TO HAVE SLOPE AND CROSS SLOPE NO GREATER THAN 2.0%
- (6) CLEAR FLOOR AREA FOR DOOR - LANDING AREA NOT TO EXCEED 2.0% IN ANY DIRECTION

- NOTE:**
- 2.00% MAX CROSS SLOPE AND 5.0% MAX LONGITUDINAL SLOPE
 - MARKING SHOWN INTENDED TO MEET WILMINGTON TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL SD 11-11.



ACCESSIBLE CROSSWALK DETAIL
NOT TO SCALE

LEGEND

- (Symbol) ACCESSIBILITY KEY NOTE
- (Symbol) HANDICAP STALL
- (Symbol) PROPERTY LINE
- (Symbol) SIGN
- (Symbol) BOLLARD
- (Symbol) EX. FIRE HYDRANT
- (Symbol) FENCE
- (Symbol) POLE MOUNTED AREA LIGHT
- (Symbol) PROPERTY CORNER
- (Symbol) F.F.E. = XXXXX FINISH FLOOR ELEVATION
- (Symbol) ADA ACCESSIBLE ROUTE (5.0% MAXIMUM LONGITUDINAL SLOPE, 2.0% MAXIMUM CROSS SLOPE, EXCLUDING RAMPS AND LANDINGS); (48" MINIMUM UNLESS INDICATED OTHERWISE)
- (Symbol) HANDICAP PARKING AREA (2% MAX SLOPE)
- (Symbol) CHANGE IN DIRECTION/INTERSECTION AT TURN (2% MAX SLOPE)
- (Symbol) 60" x (FULL RAMP WIDTH) LANDING AREA (2% MAX SLOPE ANY DIRECTION)

ACCESSIBLE SLOPE CHART

	SLOPE	CROSS SLOPE
PARKING SPACE	2.0% MAX	2.0% MAX
ACCESSIBLE AISLE	2.0% MAX	2.0% MAX
ACCESSIBLE ROUTE	5.0% MAX	2.0% MAX
ACCESSIBLE RAMP	8.3% MAX	2.0% MAX
TOP/BOTTOM LANDING	2.0% MAX	2.0% MAX
DOOR LANDING	2.0% MAX	2.0% MAX
WALKWAY	5.0% MAX	2.0% MAX
CHANGE IN DIRECTION	2.0% MAX	2.0% MAX

NOTE:
CONTRACTOR TO VERIFY ALL EXISTING SLOPES. CONTACT TEP IN THE EVENT OF ANY SUBSTANTIAL DISCREPANCIES

PROPOSED PARKING INFORMATION

TOTAL SPACES	ACCESSIBLE SPACES	SPACES	SIZE	SPACING
18	2	8' X 17'	@ 60"	
	9	8.5' X 17'	@ 60"	
	4	8.5' X 18'	@ 60"	
	1	9.5' X 18'	@ 60"	
	2	9' X 18'	@ 90"	

STREET ADDRESS: 2702 S. COLLEGE ROAD

CITY: WILMINGTON STATE: NORTH CAROLINA

COUNTY: NEW HANOVER

PIN: R06114-004-001-000 LOCATION CODE NUMBER: 032-0496

TEP PID: 56725

REV	DATE	DESCRIPTION	BY	ISSUE/REF
0	9-5-2016			

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-6351
www.tepgroup.net
N.C. LICENSE # C-1794

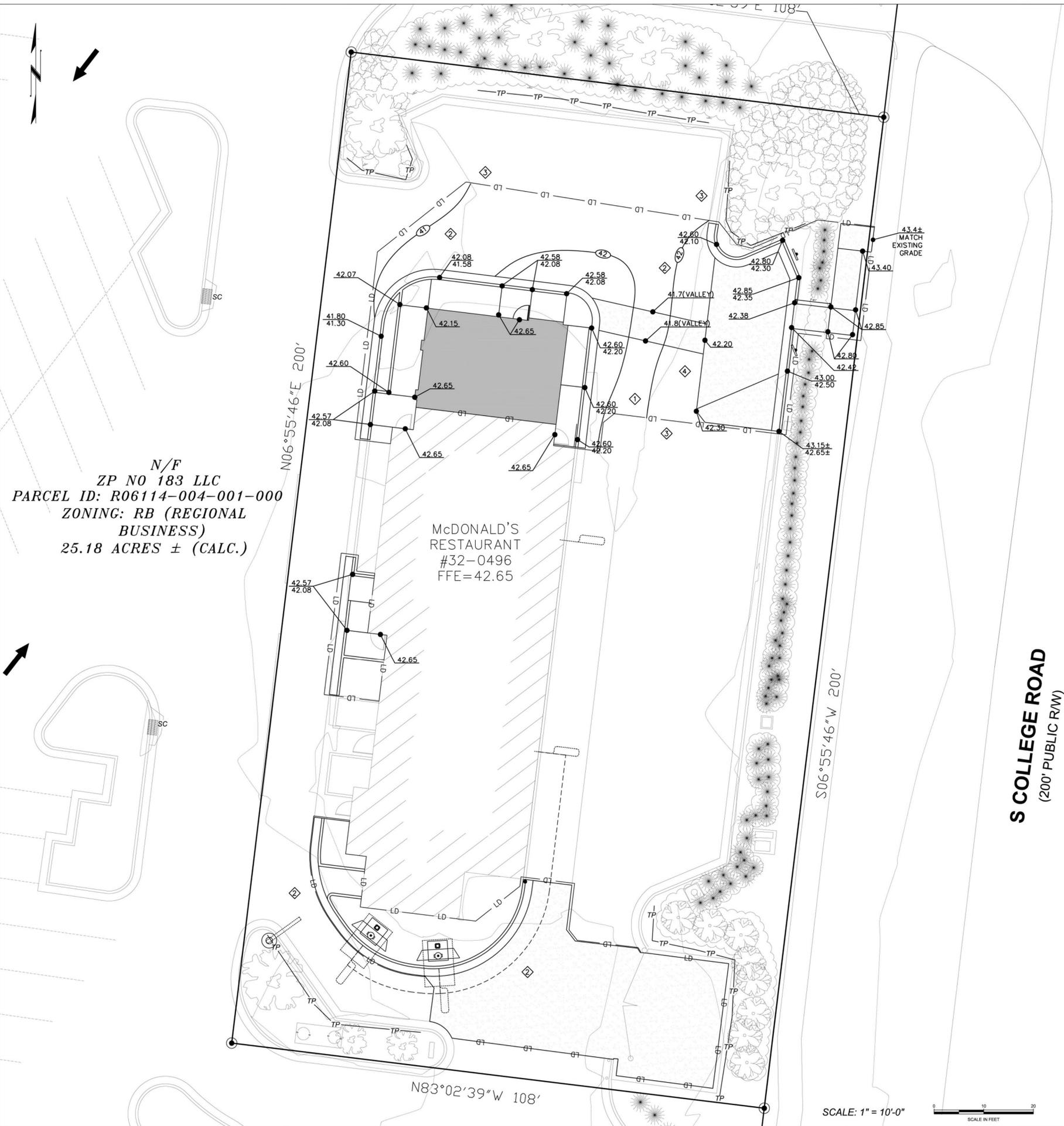
McDonald's

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE ADDRESS: 4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

DATE	PLAN APPROVAL SIGNATURE (2 REQUIRED)	REGIONAL MGR. DIRECTOR	REGIONAL CONSTRUCTION MGR.	REGIONAL REAL ESTATE MGR.	CO-SIGN SIGNATURES	AREA CONSTRUCTION MGR.	CONTRACTOR	STATUS	DATE	BY
								FINAL	-	-
								PLAN CHECKED	-	-
								AS-BUILT	-	-

C-4
ACCESSIBILITY PLAN



N/F
 ZP NO 183 LLC
 PARCEL ID: R06114-004-001-000
 ZONING: RB (REGIONAL BUSINESS)
 25.18 ACRES ± (CALC.)

McDONALD'S RESTAURANT
 #32-0496
 FFE=42.65

S COLLEGE ROAD
 (200' PUBLIC R/W)

SCALE: 1" = 10'-0"
 SCALE IN FEET

GRADING/EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 1-800-632-4949 OR 811 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
2. SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY FEMA F.I.R.M. COMMUNITY PANEL NUMBER 3720313600J, WITH AN EFFECTIVE DATE OF APRIL 3, 2006.
3. ALL GRADING AND BACKFILLING, EXCAVATING, ETC., SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORTS. REFER TO THESE REPORTS FOR ADDITIONAL INFORMATION NOT TRANSFERRED TO THESE PLANS.
4. THE EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EARTHWORK.
5. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
6. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED AND REPAIRED AT A MINIMUM OF WEEKLY BASIS AND AFTER EVERY RAIN EVENT.
7. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
8. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THE CONSTRUCTION ENTRANCES.
9. THE APPROXIMATE AREA OF THE LIMITS OF CLEARING, GRADING AND CONSTRUCTION IS 0.13 ACRES.
10. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.

GRADING KEY NOTES

- ① DUE TO EXISTING SLOPES ON SITE THE CENTER OF THE LOT WILL HAVE A LOW POINT OR VALLEY. THIS VALLEY MUST BE BELOW THE EXISTING DRIVE THRU AREA GRADES TO MAINTAIN POSITIVE DRAINAGE AND TIE INTO THE EXISTING PARKING RUNOFF
- ② SITE CONTRACTOR TO TIE BACK TO EXISTING GRADES AND MAINTAIN POSITIVE DRAINAGE THROUGHOUT THE SITE. CONTACT TEP WITH DISCREPANCIES OR CONCERNS PRIOR TO CONSTRUCTION.
- ③ GRADE LINE TIE-INS ARE APPROXIMATE. CONTRACTOR TO FIELD ADJUST TO MAINTAIN EXISTING DRAINAGE AS REQUIRED.
- ④ SLOPES AT THE ACCESSIBLE CROSSWALK ARE SHOWN AT 3.6% TO THE VALLEY. THESE MAY BE ADJUSTED AS REQUIRED TO MAINTAIN DRAINAGE. MINIMUM/MAXIMUM RUNNING SLOPE TO BE 0% AND 5% RESPECTIVELY.

IMPERVIOUS SURFACE AREA		
	AC	%
SITE AREA (LEASED)	0.50	100.0%
PRE-DEVELOPMENT		
PERVIOUS (OPEN SPACE)	0.12	23.4%
TOTAL IMPERVIOUS	0.38	76.6%
ASPHALT/CONCRETE	0.30	60.9%
BUILDING	0.08	15.7%
POST-DEVELOPMENT		
PERVIOUS (OPEN SPACE)	0.11	22.8%
TOTAL IMPERVIOUS	0.38	77.2%
ASPHALT/CONCRETE	0.29	58.8%
BUILDING	0.09	18.4%
Net Increase in Impervious Surface Area of 0.6%		

APPROXIMATE LIMITS OF DISTURBANCE MAY VARY BASED OFF SITE SPECIFICS. ADDITIONAL ASPHALT SHALL TRANSITION TO THE EXISTING LOT WITH NO GREATER SLOPE THAN 5% UNLESS NOTED OTHERWISE. CONTACT TEP IN THE EVENT OF ANY SUBSTANTIAL DISCREPANCIES

SLOPES SHOWN INTENDED TO MATCH DRAINAGE ON EXISTING SITE - CONTRACTOR TO VERIFY SLOPES AND DRAINAGE - MODIFY AS REQUIRED

LEGEND

▣	INLET	~~~~~	WOOD/TREE LINE
XXX.XX	TOP OF CURB	- SF -	SILT FENCE OR TREE PROTECTION (WHERE APPLICABLE)
XXX.XX	BOTTOM OF CURB	- LD -	LIMITS OF DISTURBANCE
XXX.XX	SPOT ELEVATION	- SC -	INLET PORTION. SEE DETAILS FOR METHODS
▨	HANDICAP PARKING AREA (2% MAX. SLOPE)		
---	PROPERTY LINE		
- - - -	SETBACK LINE		
---	EASEMENT		
FFE = XXX.XX	FINISH FLOOR ELEVATION		
- T -	TELEPHONE LINE		
- W -	WATER LINE		
- OHW -	OVERHEAD UTILITIES		
- E -	UNDERGROUND ELECTRICAL		
- SS -	SANITARY SEWER		
- RD -	ROOF DRAIN		
- RW -	RIGHT OF WAY		

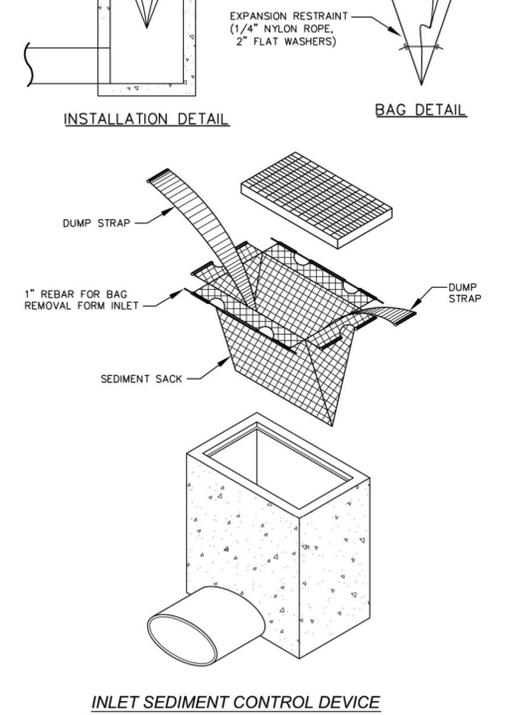
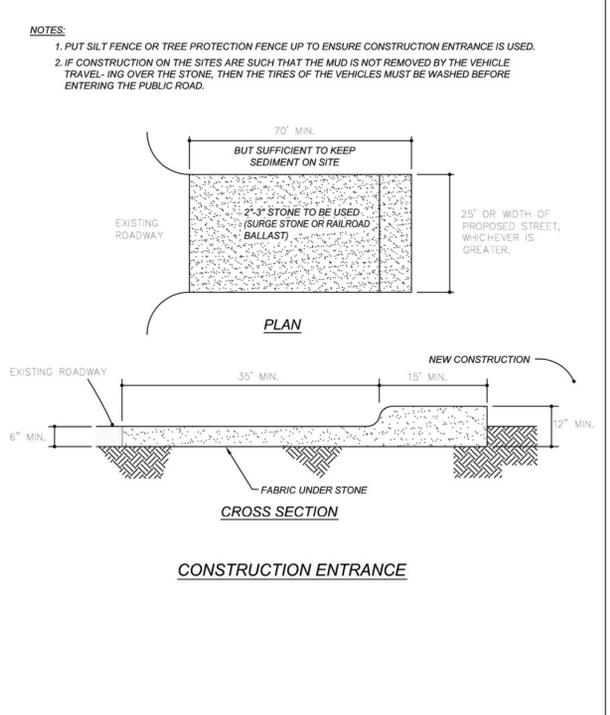
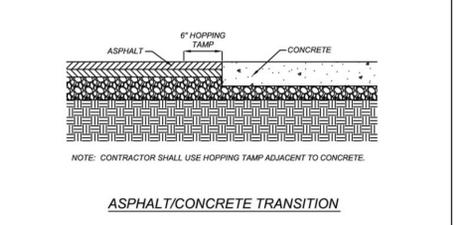
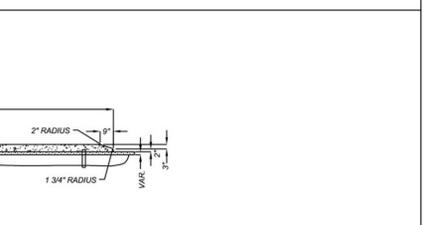
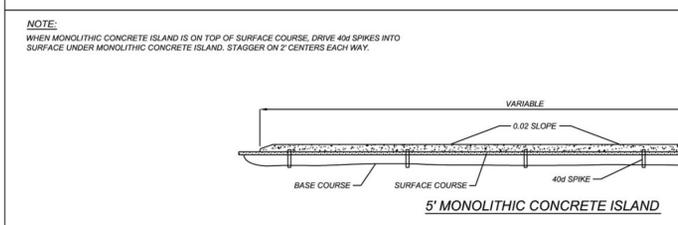
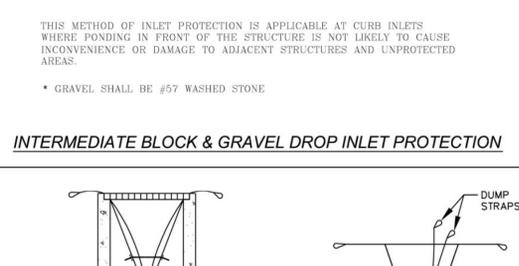
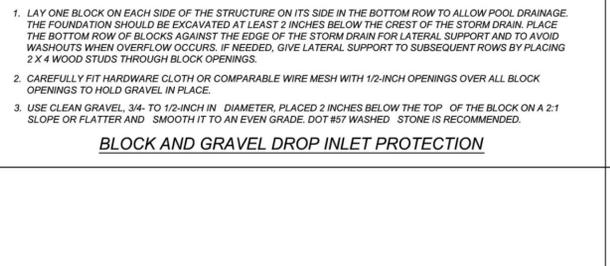
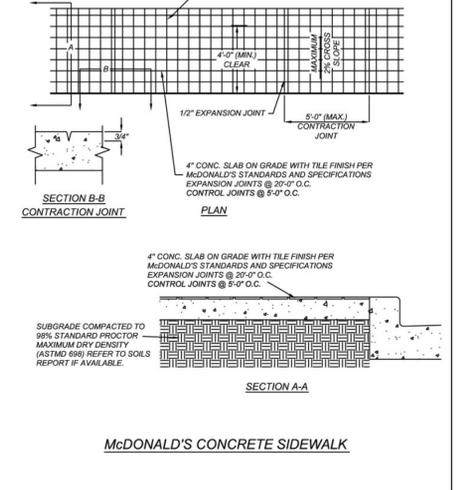
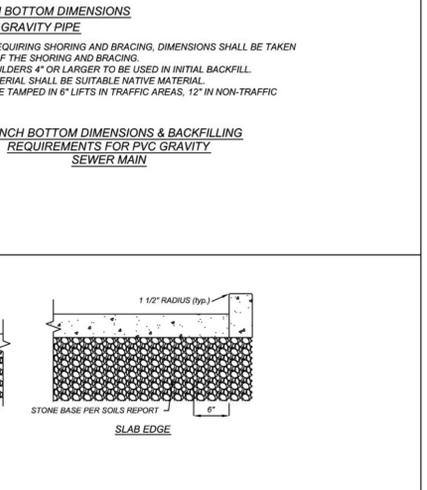
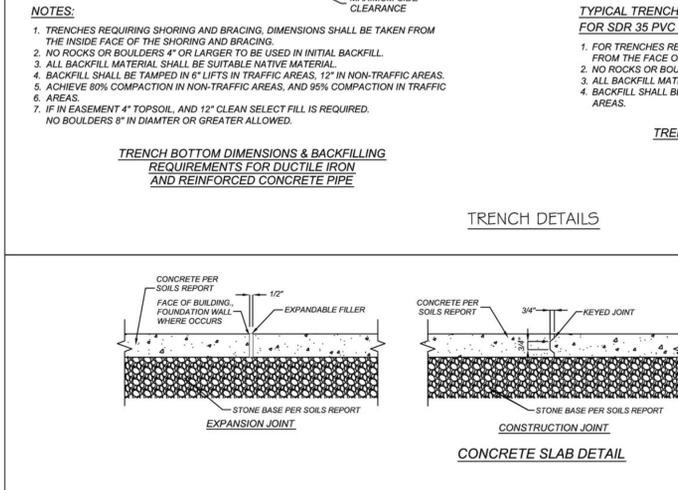
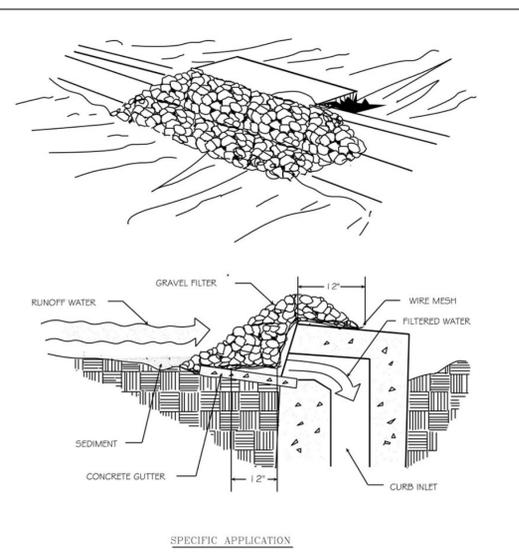
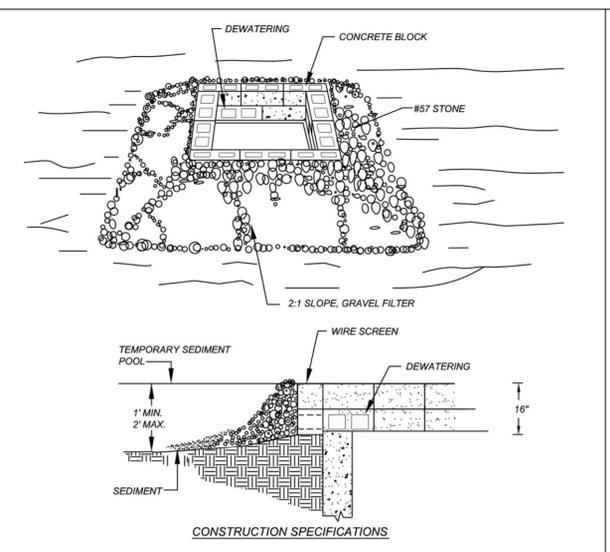
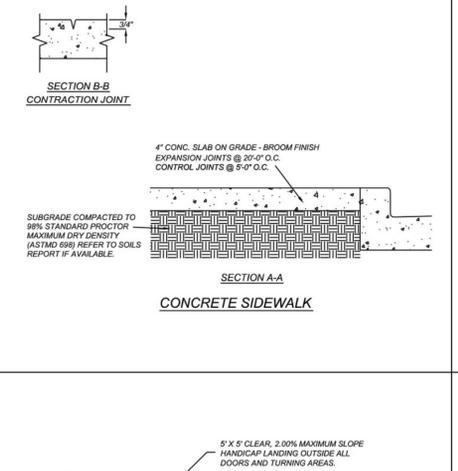
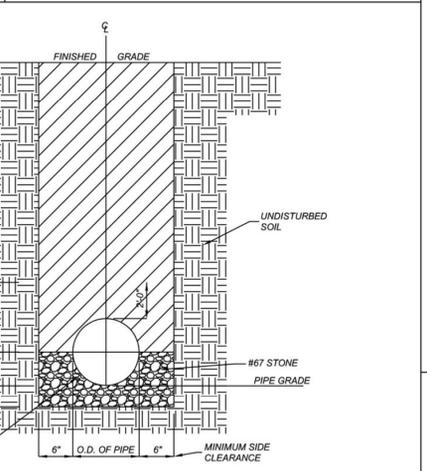
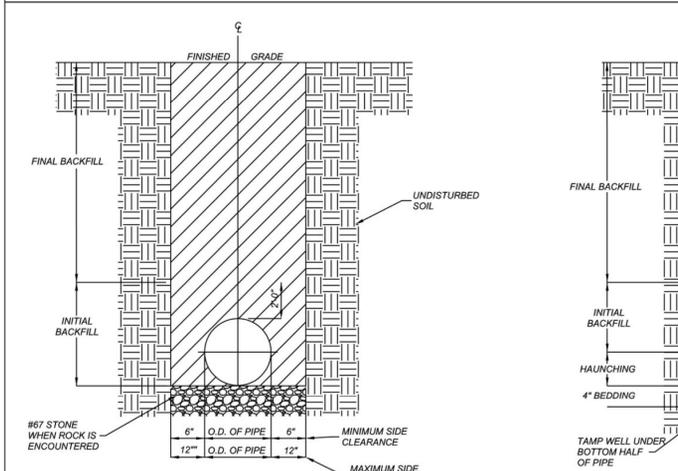
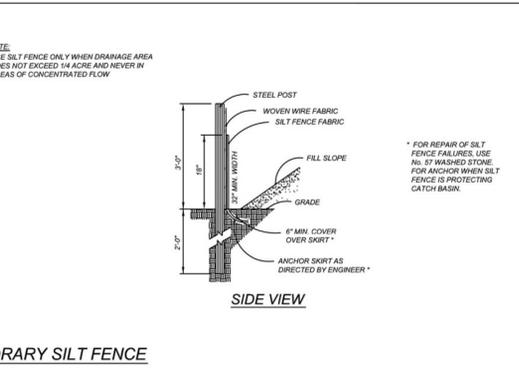
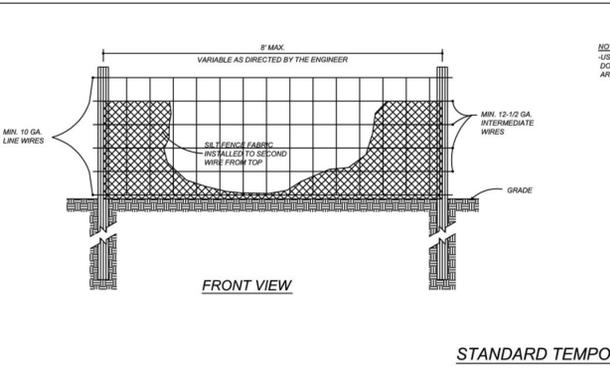
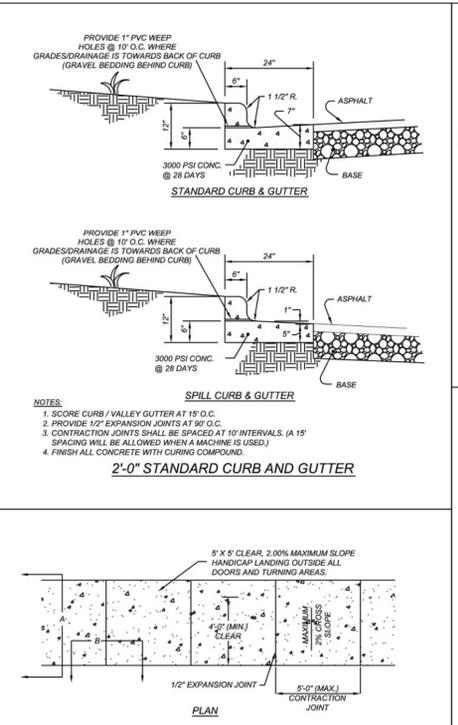
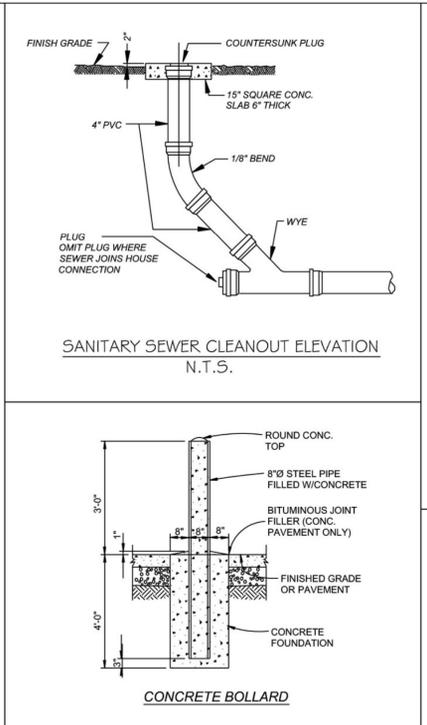
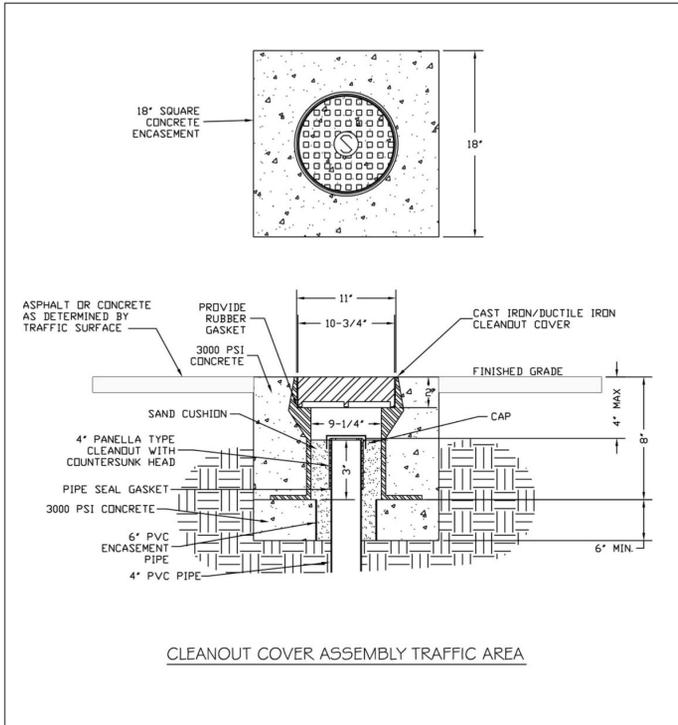
PROPOSED PARKING INFORMATION

TOTAL SPACES	2	ACCESSIBLE SPACES	8' X 17' @ 60°
	9	SPACES	8.5' X 17' @ 60°
	4	SPACES	8.5' X 18' @ 60°
	1	SPACES	9.5' X 18' @ 60°
	2	SPACES	9' X 18' @ 90°
18			

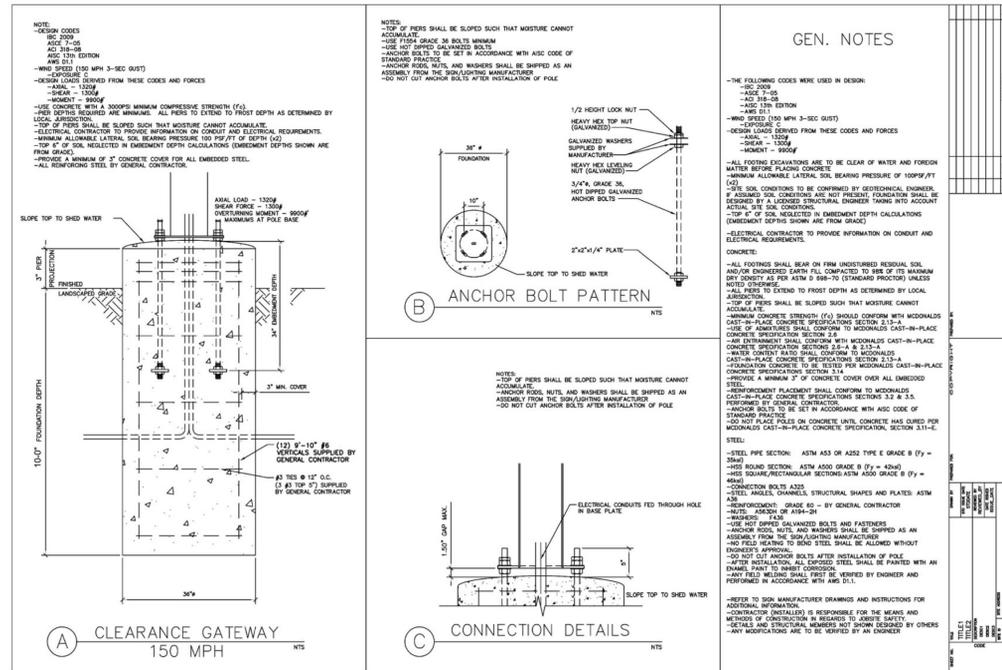
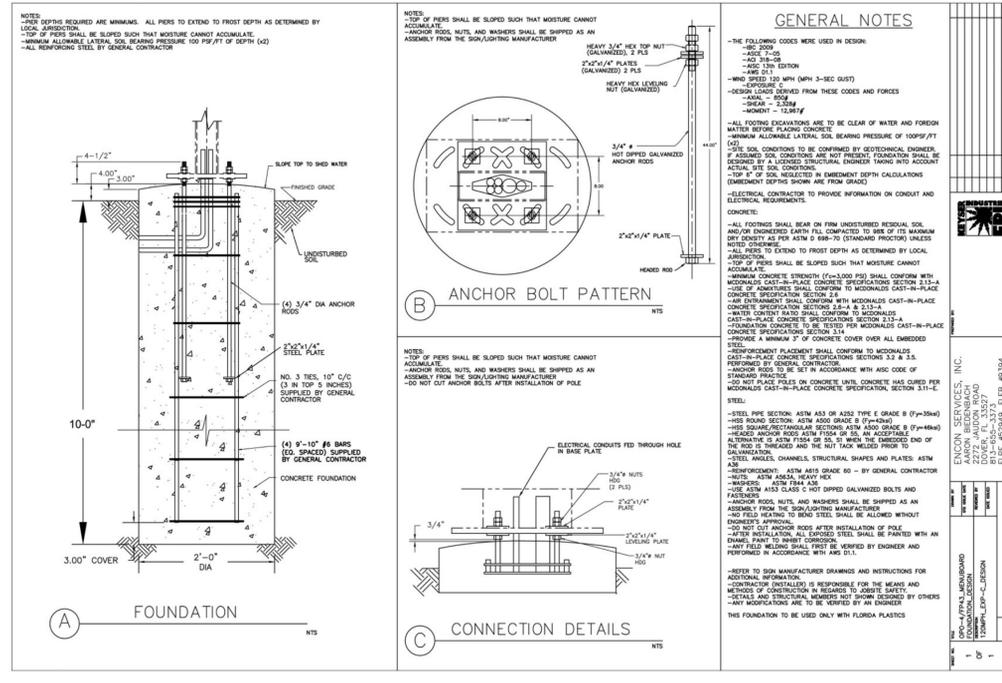
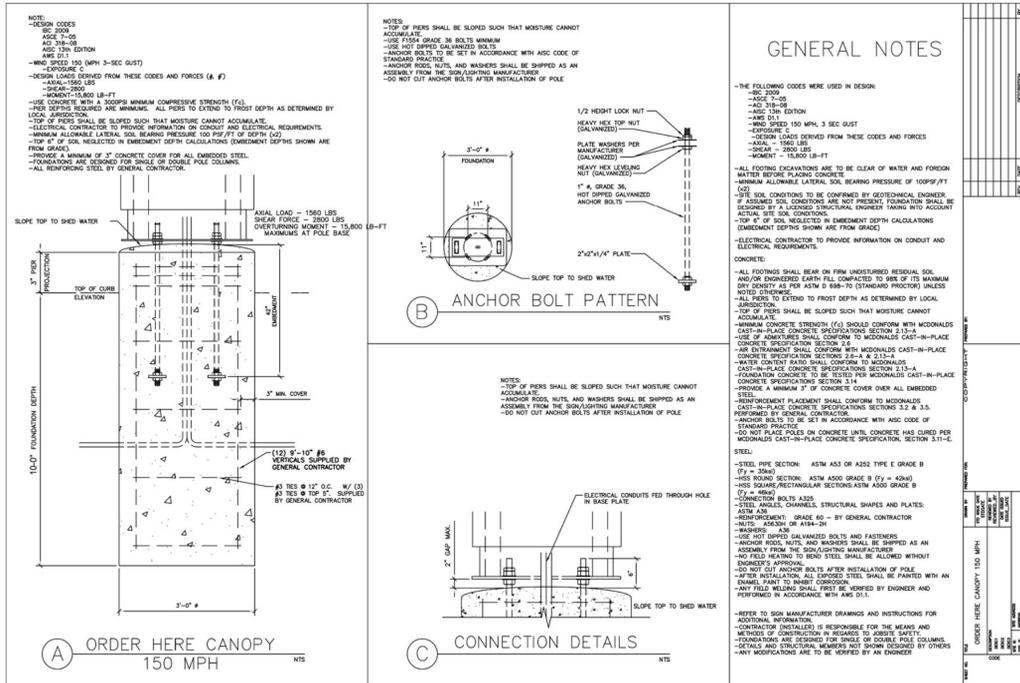
STREET ADDRESS
 2702 S. COLLEGE ROAD

CITY	STATE
WILMINGTON	NORTH CAROLINA
COUNTY	
NEW HANOVER	
PIN	LOCATION CODE NUMBER
R06114-004-001-000	032-0496
TEP PID	
56725	

<p>TOWER ENGINEERING PROFESSIONALS 326 TRYON ROAD RALEIGH, NC 27603 OFFICE: (919) 661-6351 www.tepgroup.net N.C. LICENSE # C-1794</p>			<p>DATE</p> <p>PLAN APPROVAL SIGNATURE (2 REQUIRED)</p> <p>REGIONAL MGR. DIRECTOR</p> <p>REGIONAL CONSTRUCTION MGR.</p> <p>REGIONAL REAL ESTATE MGR.</p> <p>AREA CONSTRUCTION MGR.</p> <p>CONTRACTOR</p>	<p>DATE</p> <p>STATUS</p> <p>FINAL</p> <p>PLAN CHECKED</p> <p>AS-BUILT</p>	<p>DATE</p> <p>BY</p> <p>9-5-2016</p> <p>0</p>	<p>REV</p> <p>DESCRIPTION</p> <p>ISSUE/REV</p>
<p>THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.</p>		<p>OFFICE ADDRESS</p> <p>4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609</p>	<p>REGIONAL MGR. DIRECTOR</p> <p>REGIONAL CONSTRUCTION MGR.</p> <p>REGIONAL REAL ESTATE MGR.</p> <p>AREA CONSTRUCTION MGR.</p> <p>CONTRACTOR</p>	<p>STATUS</p> <p>FINAL</p> <p>PLAN CHECKED</p> <p>AS-BUILT</p>	<p>DATE</p> <p>BY</p> <p>9-5-2016</p> <p>0</p>	<p>REV</p> <p>DESCRIPTION</p> <p>ISSUE/REV</p>
<p>McDonald's</p>		<p>OFFICE ADDRESS</p> <p>4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609</p>	<p>REGIONAL MGR. DIRECTOR</p> <p>REGIONAL CONSTRUCTION MGR.</p> <p>REGIONAL REAL ESTATE MGR.</p> <p>AREA CONSTRUCTION MGR.</p> <p>CONTRACTOR</p>	<p>STATUS</p> <p>FINAL</p> <p>PLAN CHECKED</p> <p>AS-BUILT</p>	<p>DATE</p> <p>BY</p> <p>9-5-2016</p> <p>0</p>	<p>REV</p> <p>DESCRIPTION</p> <p>ISSUE/REV</p>
<p>APPROXIMATE LIMITS OF DISTURBANCE MAY VARY BASED OFF SITE SPECIFICS. ADDITIONAL ASPHALT SHALL TRANSITION TO THE EXISTING LOT WITH NO GREATER SLOPE THAN 5% UNLESS NOTED OTHERWISE. CONTACT TEP IN THE EVENT OF ANY SUBSTANTIAL DISCREPANCIES</p> <p>SLOPES SHOWN INTENDED TO MATCH DRAINAGE ON EXISTING SITE - CONTRACTOR TO VERIFY SLOPES AND DRAINAGE - MODIFY AS REQUIRED</p>		<p>OFFICE ADDRESS</p> <p>4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609</p>	<p>REGIONAL MGR. DIRECTOR</p> <p>REGIONAL CONSTRUCTION MGR.</p> <p>REGIONAL REAL ESTATE MGR.</p> <p>AREA CONSTRUCTION MGR.</p> <p>CONTRACTOR</p>	<p>STATUS</p> <p>FINAL</p> <p>PLAN CHECKED</p> <p>AS-BUILT</p>	<p>DATE</p> <p>BY</p> <p>9-5-2016</p> <p>0</p>	<p>REV</p> <p>DESCRIPTION</p> <p>ISSUE/REV</p>
<p>Net Increase in Impervious Surface Area of 0.6%</p>		<p>OFFICE ADDRESS</p> <p>4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609</p>	<p>REGIONAL MGR. DIRECTOR</p> <p>REGIONAL CONSTRUCTION MGR.</p> <p>REGIONAL REAL ESTATE MGR.</p> <p>AREA CONSTRUCTION MGR.</p> <p>CONTRACTOR</p>	<p>STATUS</p> <p>FINAL</p> <p>PLAN CHECKED</p> <p>AS-BUILT</p>	<p>DATE</p> <p>BY</p> <p>9-5-2016</p> <p>0</p>	<p>REV</p> <p>DESCRIPTION</p> <p>ISSUE/REV</p>
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<p>ANDREW T. HERD REGISTERED PROFESSIONAL ENGINEER NO. 006450 EXPIRES 12/31/2017</p>			
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PLAN APPROVAL SIGNATURE (2 REQUIRED)	DATE	STATUS	DATE
REGIONAL MGR. DIRECTOR		FINAL	
REGIONAL CONSTRUCTION MGR.		PLAN CHECKED	
REGIONAL REAL ESTATE MGR.		AS-BUILT	
CO-SIGN SIGNATURES			
AREA CONSTRUCTION MGR.			
CONTRACTOR			
<p>4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609</p>		<p>OFFICE ADDRESS</p>	



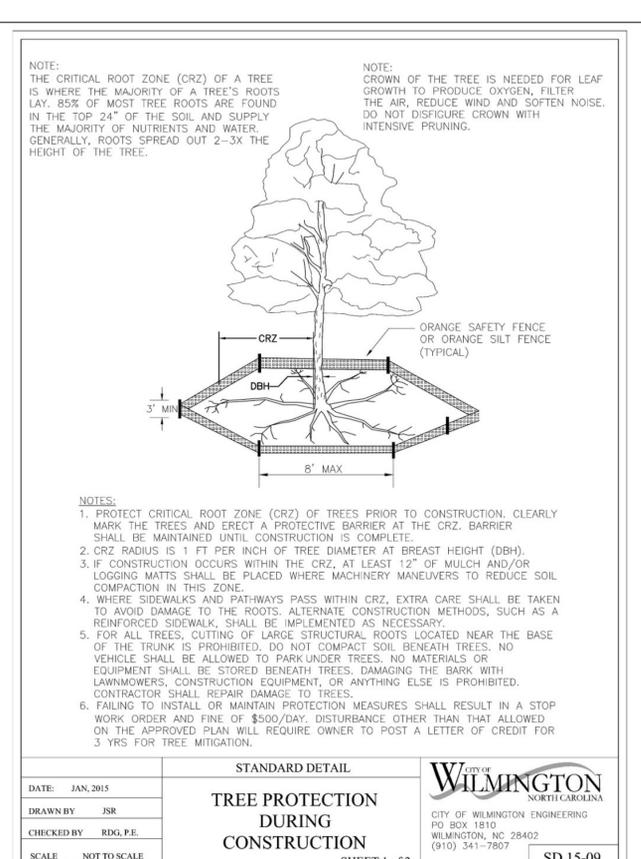
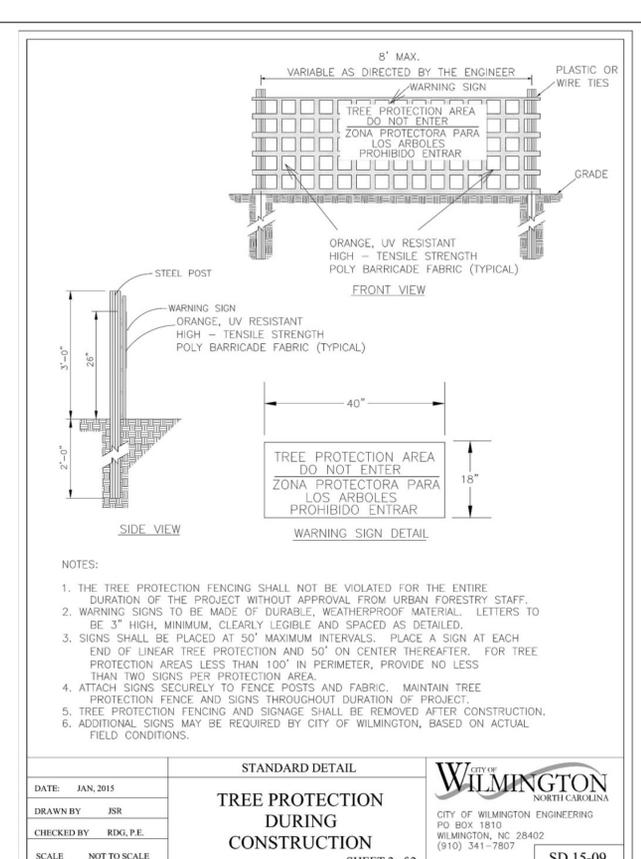
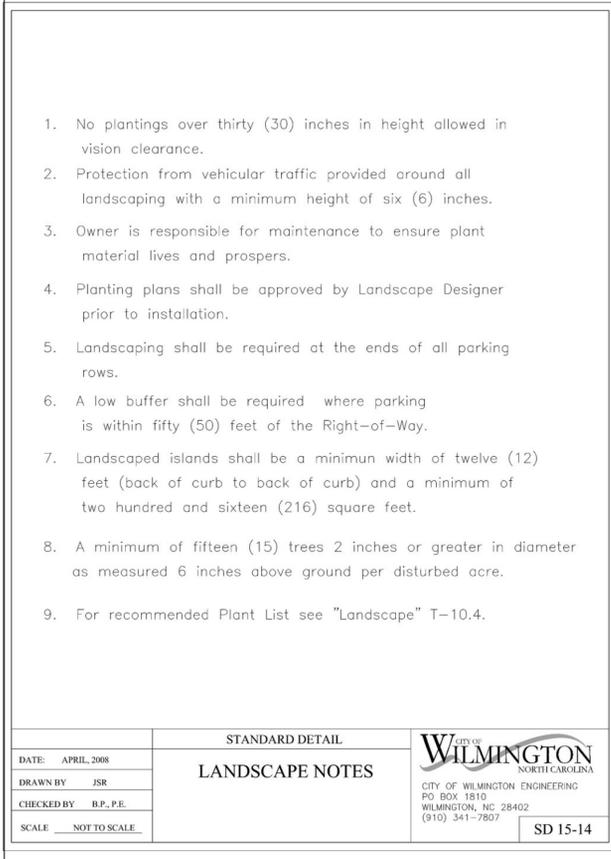
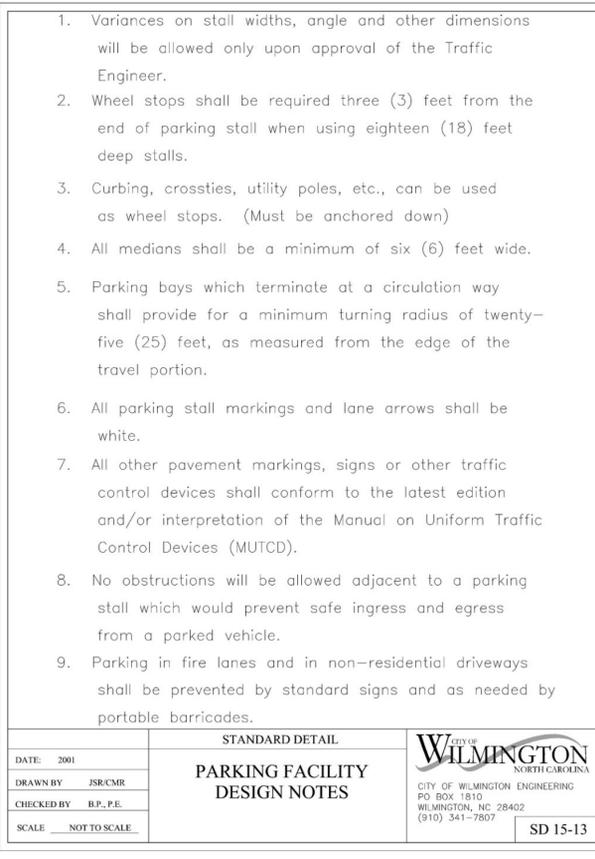
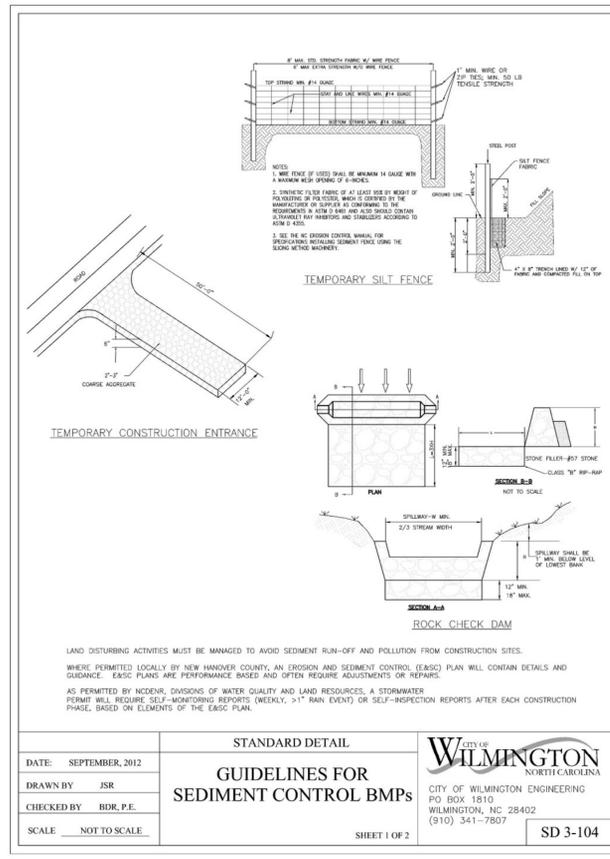
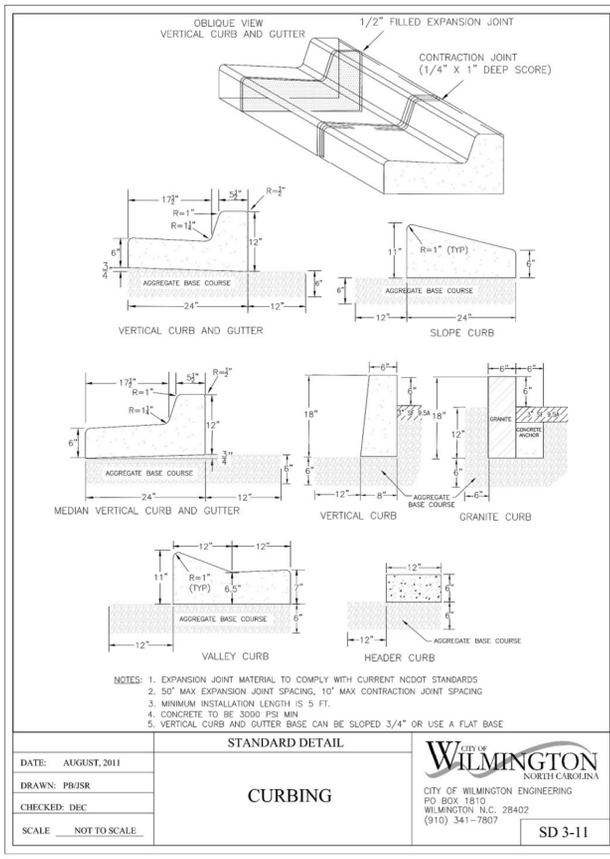
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DATE	PLAN APPROVAL SIGNATURE (2 REQUIRED)	REGIONAL MGR.	REGIONAL DEV. DIRECTOR	REGIONAL CONSTRUCTION MGR.	REGIONAL REAL ESTATE MGR.	CO-SIGN SIGNATURES	AREA CONSTRUCTION MGR.	CONTRACTOR	OFFICE ADDRESS	4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609
STATUS	DATE	BY	FINAL	-	-	PLAN CHECKED	-	-	AS-BUILT	-



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	RALEIGH REGION	4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

PLAN APPROVAL	SIGNATURE (2 REQUIRED)
REGIONAL MGR	
REGIONAL DEV. DIRECTOR	
REGIONAL CONSTRUCTION MGR.	
REGIONAL REAL ESTATE MGR.	
CO-SIGN SIGNATURES	
AREA CONSTRUCTION MGR.	
CONTRACTOR	

STATUS	DATE	BY
FINAL	-	-
PLAN CHECKED	-	-
AS-BUILT	-	-

C-9
 CITY STANDARDS

LANDSCAPING CALCULATIONS (FOR EXPANSIONS OF 10%-25% IN GFA)

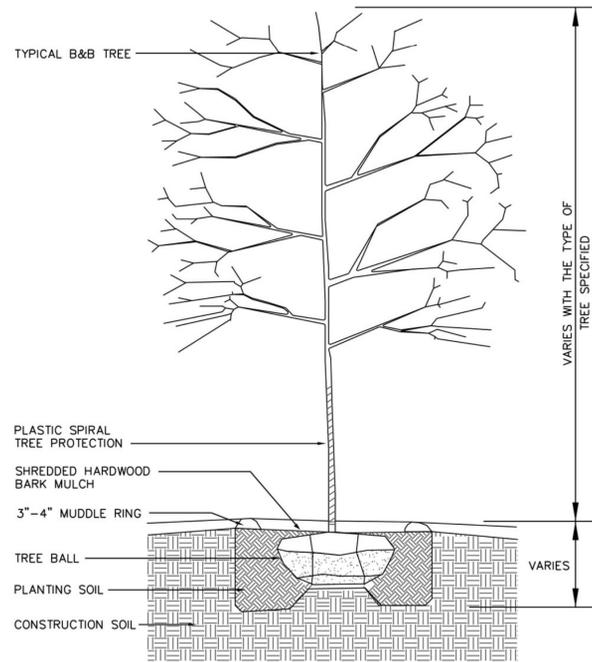
TREE CREDITS	DBH TO CREDIT CONVERSION	PRESERVED TREES	CALCULATED CREDITS
	2-5 IN. DBH = 1 CREDIT 6-11 IN. DBH = 2 CREDITS 12-17 IN. DBH = 3 CREDITS 18-23 IN. DBH = 4 CREDITS	(1) T-3 AT 2" MIN. DBH (1) 12" T-1 & (2) 12" T-2s (1) 18" T-1	1 CREDIT + 9 CREDITS + 4 CREDITS = 14 TOTAL CREDITS ALLOWED
TREES	REQUIREMENT	REQUIRED	PROVIDED
	15 PER DISTURBED ACRE	0.14 DISTURBED ACRES X 15 = 2 TREES REQUIRED	4 TREES PROVIDED 0 ADDITIONAL
STREET YARD	REQUIREMENT	REQUIRED	PROVIDED
	1/2 OF THE REQUIRED FOR NEW CONSTRUCTION NEW CONSTRUCTION: 1 CANOPY TREE (OR 3 UNDERSTORY TREES) AND 6 SHRUBS PER 600 SF OF STREET YARD	200 LF X 25 (MULTIPLIER) X 1/2 = 2500 SF 4 CANOPY TREES REQUIRED 25 SHRUBS REQUIRED	4 TREE CREDITS FROM 18" T-1 EXISTING EVERGREEN SCREENING TO REMAIN
INTERIOR LANDSCAPING	REQUIREMENT	REQUIRED	PROVIDED
	4 PERCENT OF VEHICULAR USE AREA	10,741 SF OF VUA 10,741 X 0.04 = 429.6 SF 430 SF REQUIRED	446 SF PROVIDED
FOUNDATION PLANTING	REQUIREMENT	REQUIRED LANDSCAPING	PROVIDED
	12% OF BUILDING FACE AREA DRIVE THRU SIDE OF BUILDING EXCEPT PER SECTION 18-490(b)(1)	FRONT: 18' X 28.5' X 0.12 = 62 SF NONDT SIDE: 18' X 120.5' X 0.12 = 260 SF REAR: 18' X 36' X 0.12 = 78 SF TOTAL AREA REQUIRED = 400 SF	667 SF PROVIDED

PLANTING SCHEDULE

	DESIGN.		COMMON NAME	BOTANICAL NAME	REMARKS
EXISTING PLANTING		-	(VARIES)	(VARIES)	EXISTING GROUND COVER TO REMAIN
		-	(VARIES)	(VARIES)	EXISTING SHRUBS TO REMAIN
		-	(VARIES)	(VARIES)	EXISTING TREE TO REMAIN (> 4" DBH)
SHRUBS		S1 27	DWARF YAUPON HOLLY	ILEX VOMITORIA 'NAN'	MINIMUM HEIGHT OF 1-1/2" FT AT PLANTING

NOTE:
NONE OF THE B&B TREES ARE TO BE STAKED UNLESS INDICATED.

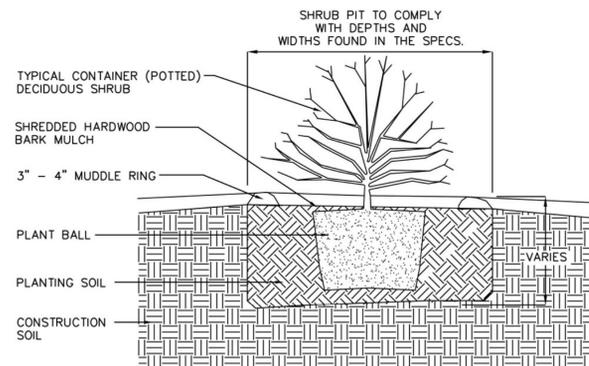
NOTE:
IN SOME CASES THE MULCH IS ONLY A SPECIFIED DIAMETER - SEE PLANS AND SPECIFICATIONS FOR FURTHER COORDINATION OF MULCHING.



TREE PLANTING DETAIL

NOTE:
IN SOME CASES THE MULCH IS ONLY A SPECIFIED DIAMETER. SEE PLANS AND SPECIFICATIONS FOR FURTHER COORDINATION OF MULCHING.

NOTE:
PRUNE SHRUB AS RECOMMENDED BY GROWER AFTER THE PLANT HAS BEEN WATERED INTO THE PLANTING SOIL.



SHRUB PLANTING DETAIL

LANDSCAPE NOTES:

- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 1-800-632-4949 OR 811 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
- ENTIRE SITE SHALL BE SODDED UNLESS SPECIFIED ON PLAN OR REQUESTED BY REGIONAL CONSTRUCTION MANAGER USE LOCALLY ADAPTED SOD.
- THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT 6" FROM FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
- PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE DEAD OR DYING PLANT MATERIAL AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
- ALL PLANTING SHALL BE PLACED WITHIN A MULCHED PLANTING BED. ALL STRAPPING AND THE TOP 2/3 OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
- ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS.
- ALL AREAS NOT MULCHED SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE CITY OF WILMINGTON REQUIREMENTS WITH GRASS SPECIES RECOMMENDED FOR REGION AS PRESCRIBED IN THE SEEDING SCHEDULE PER THE CITY OF WILMINGTON STANDARD DETAIL.
- SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.
- TREE PROTECTION FENCING TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH CITY STANDARDS.
- COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN.
- MULCH ALL AREAS, THAT ARE NOT SEEDDED OR SODDED, WITH SHREDDED HARDWOOD MULCH OR APPROVED EQUAL AS SPECIFIED TO A DEPTH OF 3"-4".
- THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE CITY STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.
- SUBSTITUTIONS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT OR ENGINEER FOR APPROVAL, PRIOR TO INSTALLATION, SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.
- ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
- TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED, AS NECESSARY, USING STAKES AND GUYS. SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE COVERED WIRE.
- THE MAXIMUM GROWTH HEIGHT OF ANY LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE THREE (3) FEET IN HEIGHT OR AS REQUIRED AGENCIES HAVING AUTHORITY OVER THE PROJECT.
- ANY EXISTING LANDSCAPING AGAINST BUILDING DESIGNATED TO REMAIN WHICH IS DAMAGED DURING CONSTRUCTION TO BE REPLACED WITH EQUIVALENT.

N/F
ZP NO 183 LLC
PARCEL ID: R06114-004-001-000
ZONING: RB (REGIONAL BUSINESS)
25.18 ACRES ± (CALC.)

2702 S. COLLEGE ROAD
(200' PUBLIC RWY)

SCALE: 1" = 20'-0"

REGIONAL MGR.	DATE	PLAN APPROVAL SIGNATURE (2 REQUIRED)
REGIONAL DEV. DIRECTOR		
REGIONAL CONSTRUCTION MGR.		
REGIONAL REAL ESTATE MGR.		
AREA CONSTRUCTION MGR.		
CONTRACTOR		

STATUS	DATE	BY
FINAL	-	-
PLAN CHECKED	-	-
AS-BUILT	-	-

PIN R06114-004-001-000	LOCATION CODE NUMBER 032-0496
TEP PID 56725	

McDonald's
326 TRYON ROAD
RALEIGH, NC 27603
OFFICE: (919) 661-6351
www.tepgroup.net
N.C. LICENSE # C-1794

DRICK T. HERGENROTHER
REGISTERED LANDSCAPE ARCHITECT
NORTH CAROLINA

4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

LANDSCAPE PLAN