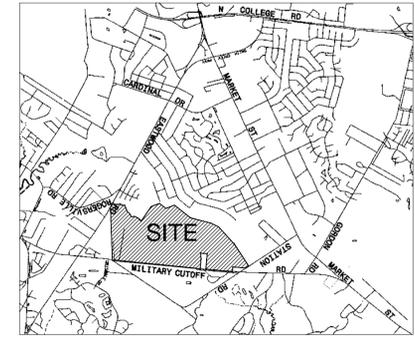


**GENERAL NOTE:**

Contractors shall furnish to the Prime Contractor a reproducible copy of the drawings with all changes and deviations from the plans outlined in red and noted "As-Built" on a weekly basis. The drawings shall be signed and dated by a registered Land Surveyor and an official of the contracting company and delivered to the Prime Contractor to be held in the job trailer at all times.

# CONSTRUCTION DOCUMENTS FOR Mayfaire Town Center Phase III Buildings M, M2, L, Q, AND R Mayfaire Town Center - Wilmington, N.C.



VICINITY MAP NOT TO SCALE

**LandDesign**  
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Orlando, FL 32801  
V: 407.270.7800  
www.LandDesign.com  
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**SHEET INDEX**

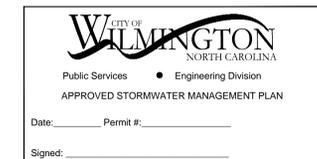
Sheet Number	Sheet Title	1st Submittal	2nd Submittal	3rd Submittal	Revised Plans
C-0.0	COVER SHEET	12/11/2015	1/25/2016	2/22/2016	4/6/2016
C-1.0	OVERALL EXISTING CONDITIONS PLAN	12/11/2015	1/25/2016	2/22/2016	-
C-1.1	OVERALL DEMOLITION PLAN	12/11/2015	1/25/2016	2/22/2016	4/6/2016
C-1.2	DEMOLITION PLAN AREA A	12/11/2015	1/25/2016	2/22/2016	-
C-1.3	DEMOLITION PLAN AREA B	12/11/2015	1/25/2016	2/22/2016	4/6/2016
C-2.0	OVERALL SITE PLAN	12/11/2015	1/25/2016	2/22/2016	4/6/2016
C-2.1	SITE PLAN AREA A	12/11/2015	1/25/2016	2/22/2016	-
C-2.2	SITE PLAN AREA B	12/11/2015	1/25/2016	2/22/2016	4/6/2016
C-2.3	AUTOTURN PLAN AREA A	12/11/2015	1/25/2016	2/22/2016	-
C-2.4	AUTOTURN PLAN AREA B	12/11/2015	1/25/2016	2/22/2016	-
C-2.5	SITE DETAILS	12/11/2015	1/25/2016	2/22/2016	4/6/2016
C-2.6	SITE DETAILS	12/11/2015	1/25/2016	2/22/2016	-
C-2.7	SITE DETAILS	12/11/2015	1/25/2016	2/22/2016	-
C-2.8	SITE DETAILS	12/11/2015	1/25/2016	2/22/2016	4/6/2016
C-3.0	EROSION CONTROL PHASE I	12/11/2015	1/25/2016	2/22/2016	-
C-3.1	EROSION CONTROL PHASE II	12/11/2015	1/25/2016	2/22/2016	-
C-3.2	EROSION CONTROL DETAILS	12/11/2015	1/25/2016	2/22/2016	-
C-4.0	OVERALL GRADING AND STORM DRAINAGE PLAN	12/11/2015	1/25/2016	2/22/2016	4/6/2016
C-4.1	GRADING AND STORM DRAINAGE PLAN AREA A	12/11/2015	1/25/2016	2/22/2016	-
C-4.2	GRADING AND STORM DRAINAGE PLAN AREA B	12/11/2015	1/25/2016	2/22/2016	4/6/2016
C-4.3	OVERALL WATERSHED PLAN	12/11/2015	1/25/2016	2/22/2016	-
C-4.4	STORMWATER DETAILS	12/11/2015	1/25/2016	2/22/2016	-
C-5.0	OVERALL UTILITY PLAN	12/11/2015	1/25/2016	2/22/2016	-
C-5.1	UTILITY PLAN AREA A	12/11/2015	1/25/2016	2/22/2016	-
C-5.2	UTILITY PLAN AREA B	12/11/2015	1/25/2016	2/22/2016	4/6/2016
C-5.3	UTILITY DETAILS	12/11/2015	1/25/2016	2/22/2016	-
C-5.4	UTILITY DETAILS	12/11/2015	1/25/2016	2/22/2016	-
C-5.5	UTILITY DETAILS	12/11/2015	1/25/2016	2/22/2016	-
C-5.6	UTILITY DETAILS	12/11/2015	1/25/2016	2/22/2016	-
C-5.7	UTILITY DETAILS	12/11/2015	1/25/2016	2/22/2016	-
C-5.8	UTILITY DETAILS	12/11/2015	1/25/2016	2/22/2016	-
C-6.0	OVERALL LANDSCAPE PLAN	12/11/2015	1/25/2016	2/22/2016	-
C-6.1	LANDSCAPE PLAN AREA A	12/11/2015	1/25/2016	2/22/2016	-
C-6.2	LANDSCAPE PLAN AREA B	12/11/2015	1/25/2016	2/22/2016	-
C-6.3	LANDSCAPE DETAILS	12/11/2015	1/25/2016	2/22/2016	-
C-7.0	BUILDING L FRONTAGE DETAILS	-	-	2/22/2016	-
C-7.1	BUILDING Q1 FRONTAGE DETAILS	-	-	2/22/2016	-
C-7.2	BUILDING Q2 FRONTAGE DETAILS	-	-	2/22/2016	-
C-7.3	BUILDING R1 FRONTAGE DETAILS	-	-	2/22/2016	-
C-7.4	BUILDING R2 FRONTAGE DETAILS	-	-	2/22/2016	-

**OWNER**  
CBL & Associates Properties, Inc.  
2030 Hamilton Place Blvd., Suite 500  
Chattanooga, TN 37421  
(423) 855-0001  
Contact: Ken Wittler

**LANDSCAPE ARCHITECT**  
LandDesign, Inc.  
222 W. Las Colinas Blvd., Suite 1405N  
Irving, TX 75039  
(214) 785-6009  
Contact: Matt Vinten

**CIVIL ENGINEER**  
LandDesign, Inc.  
100 S. Orange Ave., Suite 700  
Orlando, FL 32801  
(407) 270-7800  
Contact: David Gastel

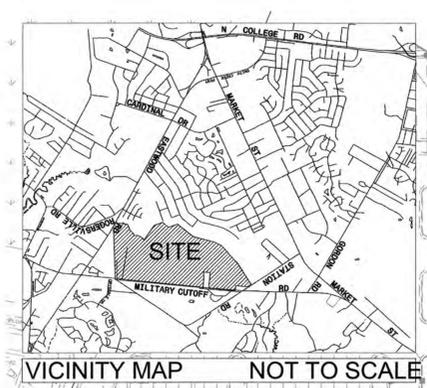
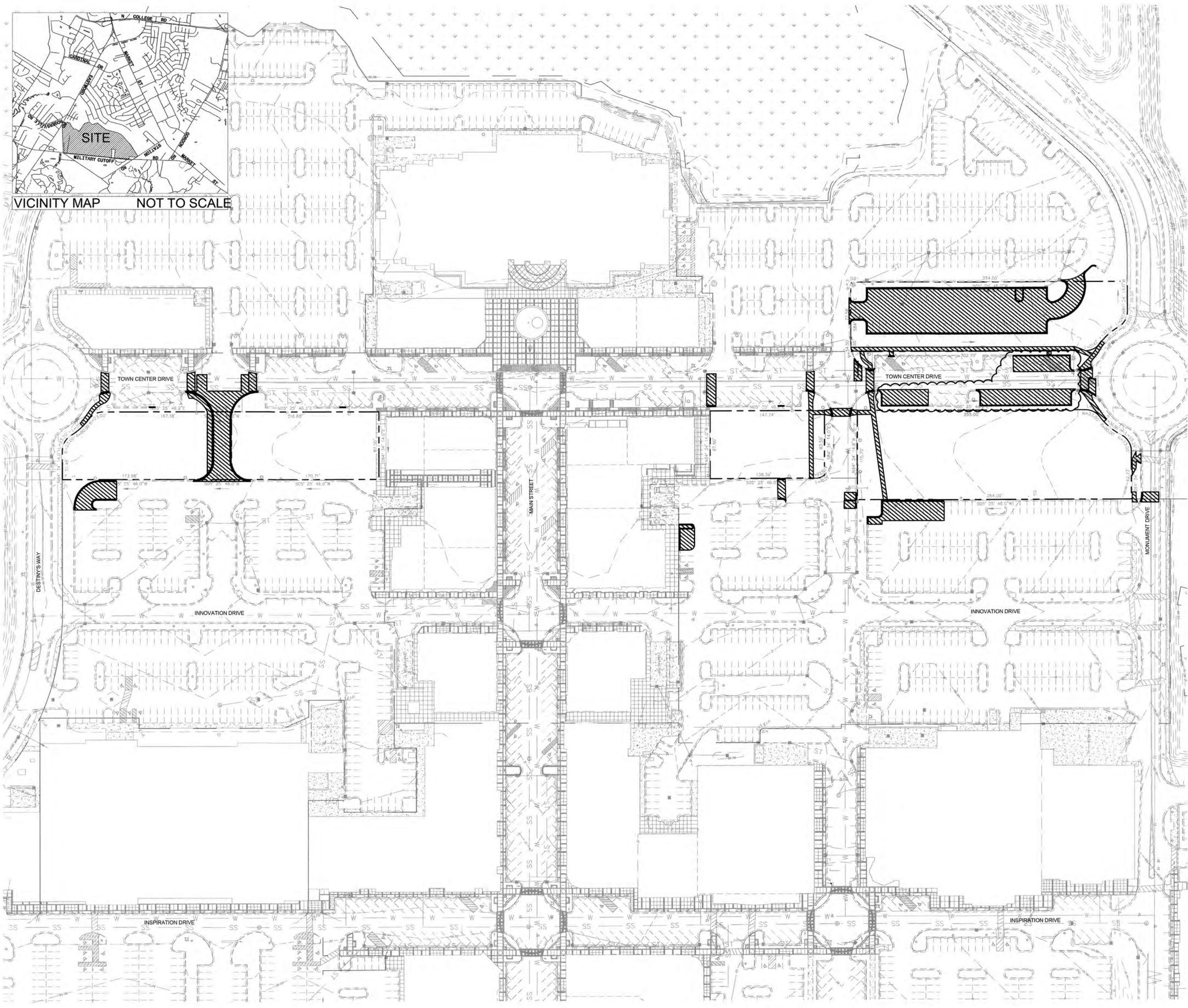
**ARCHITECT**  
Cooper Cary  
191 Peachtree St. NE, Suite 2400  
Atlanta, GA 30303  
(404) 237-2000  
Contact: Maria Greenawalt



**MAYFAIRE TOWN CENTER  
PHASE III  
820 TOWN CENTER DRIVE, WILMINGTON, NORTH CAROLINA, 28405  
COVER SHEET**

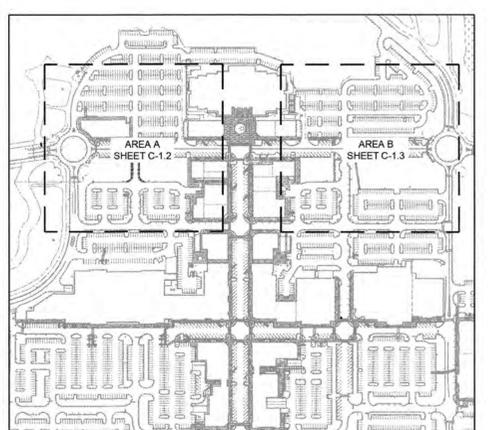
REVISIONS:  
4/6/16 - REVISIONS PER FIELD CONDITIONS

DATE: 4/6/2016  
DESIGNED BY: DWK  
DRAWN BY: DWK  
CHECKED BY: DGG  
SCALE: AS SHOWN  
PROJECT #: 1015249  
SHEET #:  
**C-0.0**



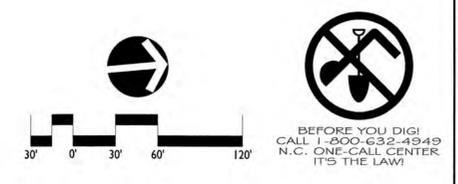
LEGEND:

X	EX. DRAINAGE EASEMENT
ST	EX. FENCE
OHU	EX. STORM PIPE
SS	EX. OVERHEAD ELECTRIC
GAS	EX. SANITARY SEWER
FO	EX. GAS LINE
	EX. FIBER OPTIC LINE
	EX. GIS MINOR CONTOUR
	EX. GIS MAJOR CONTOUR
	EX. SURVEY MINOR CONTOUR
	EX. SURVEY MAJOR CONTOUR
	EX. LOT LINE
	EX. CURB TO BE REMOVED
	EX. SANITARY SEWER MANHOLE
	EX. UTILITY POLE
	EX. STORM BOX
	EX. STORM MANHOLE
	EX. FIRE HYDRANT
	EX. WATER MANHOLE
	EX. WATER VALVE
	EX. GAS VALVE
	EX. PAVEMENT TO BE REMOVED



**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
**APPROVED DRAINAGE PLAN**  
Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
**APPROVED STORMWATER MANAGEMENT PLAN**  
Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_



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NC Engineering Firm License # C-0658

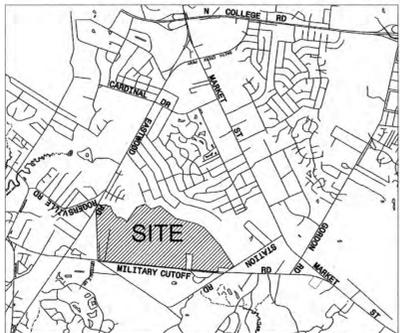
**CORPORATE SEAL**  
LAND DESIGN INC.  
NORTH CAROLINA

**PROFESSIONAL SEAL**  
DAVID G. GASTEL  
REGISTERED PROFESSIONAL ENGINEER  
NORTH CAROLINA  
LICENSE # 17216

**MAYFAIRE TOWN CENTER**  
**PHASE III**  
820 TOWN CENTER DRIVE, WILMINGTON, NORTH CAROLINA, 28405  
**OVERALL DEMOLITION PLAN**

REVISIONS:  
4/8/16 - REVISIONS PER FIELD CONDITIONS

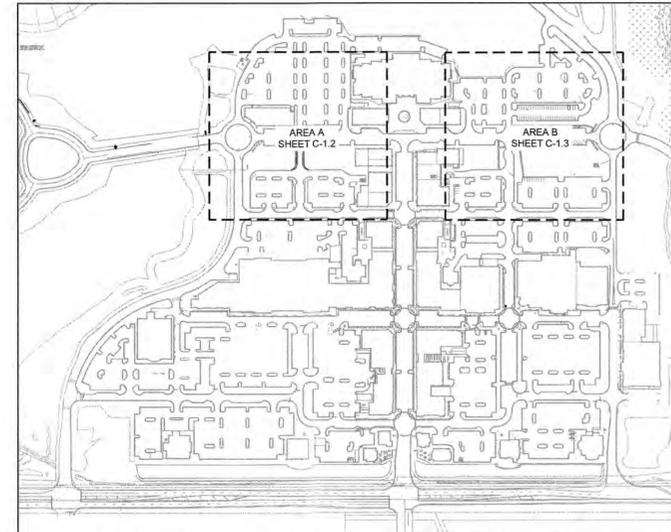
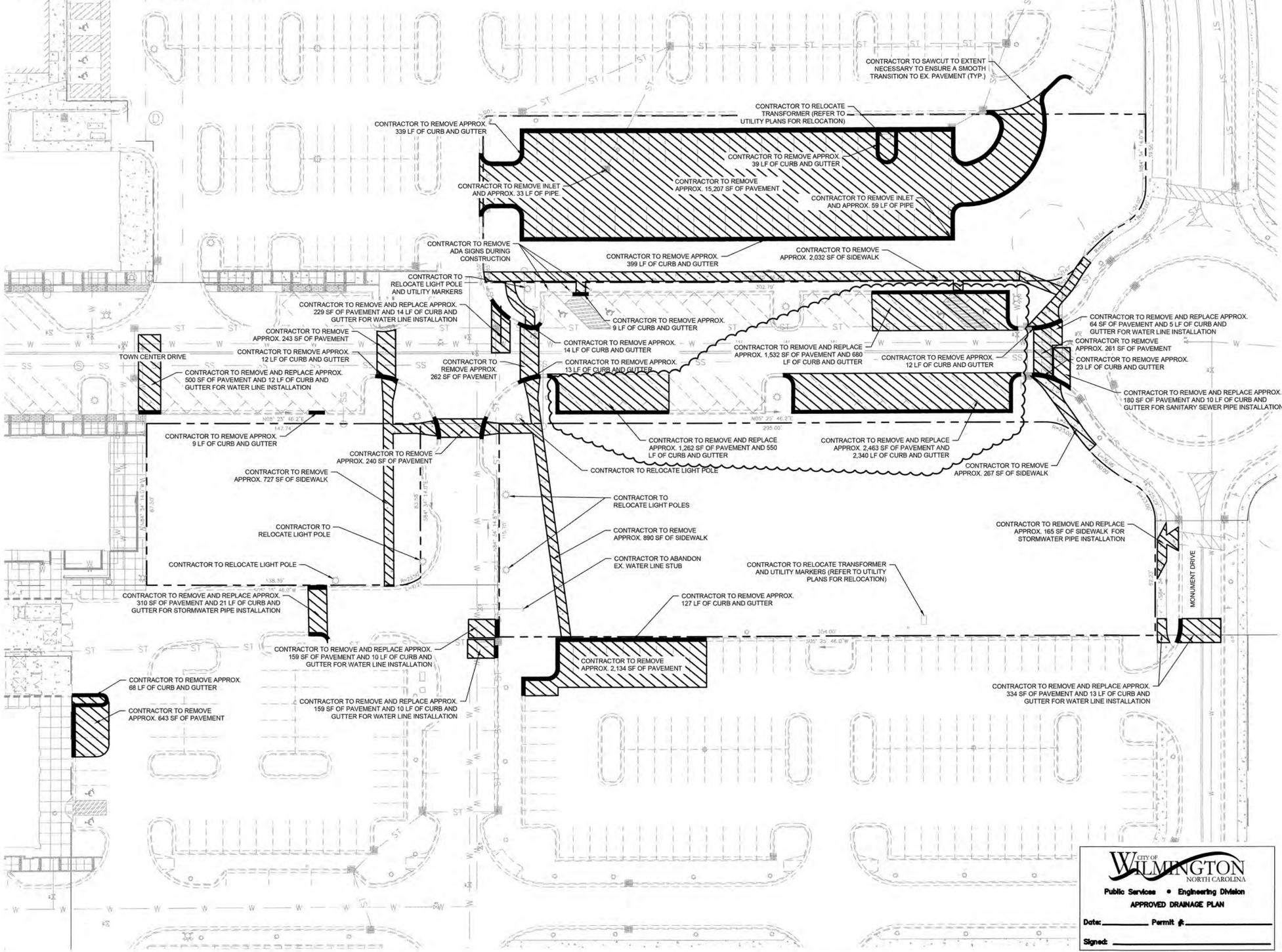
DATE: 4/6/2016  
DESIGNED BY: DWC  
DRAWN BY: DMC  
CHECKED BY: DGG  
SCALE: 1"=60'  
PROJECT #: 1015249  
SHEET #:  
**C-1.1**



VICINITY MAP NOT TO SCALE

**LEGEND:**

— x —	EX. DRAINAGE EASEMENT
— ST —	EX. FENCE
— CHU —	EX. STORM PIPE
— SS —	EX. OVERHEAD ELECTRIC
— W —	EX. SANITARY SEWER
— GAS —	EX. WATER LINE
— FO —	EX. GAS LINE
	EX. FIBER OPTIC LINE
	EX. LOT LINE
	EX. CURB TO BE REMOVED
	EX. SANITARY SEWER MANHOLE
	EX. UTILITY POLE
	EX. STORM BOX
	EX. STORM MANHOLE
	EX. FIRE HYDRANT
	EX. WATER MANHOLE
	EX. WATER VALVE
	EX. GAS VALVE
	EX. PAVEMENT TO BE REMOVED



SITE LOCATION MAP N.T.S.

- SITE NOTES:**
- EXISTING SITE CONDITIONS SHALL BE VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPORT ANY DIFFERENCES FROM THE PLAN THAT WILL AFFECT CONSTRUCTION, IN WRITING, TO THE ENGINEER AND AWAIT FURTHER INSTRUCTIONS.
  - ALL EXISTING CURBS AND PAVEMENT, TO REMAIN, SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. ALL DAMAGED, CHIPPED OR CRACKED PORTIONS OF CURB OR PAVEMENT SHALL BE REPLACED. IN ADDITION, ANY MORTAR, CONCRETE, SOIL AND OTHER DEPOSITS OR STAINS SHALL BE CLEANED TO RETURN THE CURBS AND PAVEMENT TO THEIR ORIGINAL CONDITION.
  - DIMENSIONS ARE TO EDGE OF PAVEMENT OR BACK OF CURB.
- DEMOLITION NOTES:**
- CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
  - RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
  - DEMOLISH AND COMPLETELY REMOVE FROM SITE MATERIAL INDICATED ON PLAN OR NOTES "TO BE REMOVED".
  - PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY THE DEMOLITION OPERATION.
  - CONTRACTOR SHALL MAINTAIN STORMWATER MANAGEMENT SYSTEM DURING CONSTRUCTION TO INSURE NO DAMAGE TO ADJACENT PROPERTIES OCCURS DURING STORM EVENTS.
  - CONTRACTOR TO REMOVE ALL VISIBLE OR REASONABLY IDENTIFIABLE MATERIAL, EQUIPMENT, ETC. FROM THE SITE IF NOT NEEDED FOR NEW CONSTRUCTION.
  - THE LOCATION OF ALL UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR INACCURACY.
  - ALL DEMOLITION AND CONSTRUCTION SHALL COMPLY WITH APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS. THE CONTRACTOR MUST COMPLY WITH ALL OF THE CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES.
  - PRIOR TO THE COMMENCEMENT OF DEMOLITION, THE CONTRACTOR WILL COORDINATE HIS ACTIVITIES WITH ALL UTILITY COMPANIES SERVING THIS AREA. THE CONTRACTOR IS TO COORDINATE FULLY WITH THE UTILITY COMPANIES ON THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
  - MINIMUM DEPTH FOR REMOVAL OF ALL OBJECTS SHALL BE TWO (2) FEET BELOW GRADE. THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTE MATERIAL.
  - ALL PAVING REMOVAL AND DEMOLITION SHALL BE PERFORMED AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER OR OWNER.
  - ALL PROPOSED PAVEMENT CUTS SHALL BE SAW CUT ONLY.
  - CONTRACTOR SHALL PROVIDE A MINIMUM OF 72 HOURS ADVANCE NOTICE TO THE OWNER PRIOR TO STARTING DEMOLITION ACTIVITIES.
  - REFER TO LIGHTING PLANS FOR LIGHT POLE RELOCATIONS.
  - CONTRACTOR TO COORDINATE STREET CLOSURES WITH THE CITY OF WILMINGTON, NHC 911, WPD, WFD, AND CFPWA AND WAVE TRANSIT.
  - CONTRACTOR TO MATCH EXISTING PAVEMENT AND BASE DEPTH IN ANY AREAS THAT REQUIRE REMOVAL AND REPLACING OF EXISTING PAVEMENT.
  - CONTRACTOR TO REPLACE ANY CURB REMOVED FOR UTILITY INSTALLATION.

**LandDesign**  
 100 South Orange Ave., Suite 700  
 Orlando, FL 32801  
 V: 407.270.7800  
 www.LandDesign.com  
 NC Engineering Firm License # C-0658



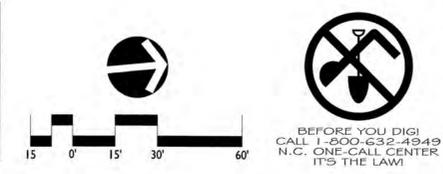
**MAYFAIRE TOWN CENTER**  
**PHASE III**  
 820 TOWN CENTER DRIVE, WILMINGTON, NORTH CAROLINA, 28405  
**DEMOLITION PLAN AREA B**

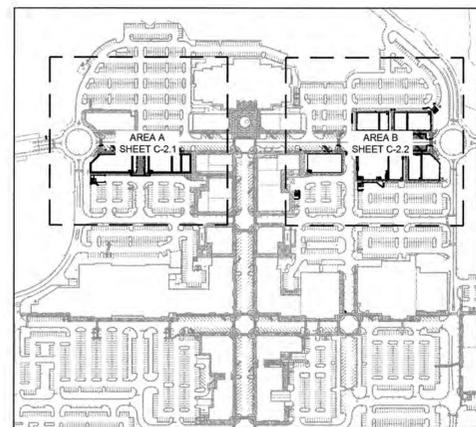
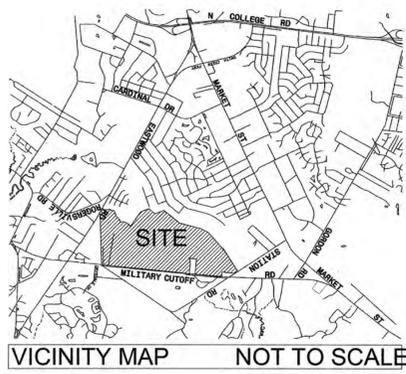
REVISIONS:  
 4/6/16 - REVISIONS PER FIELD CONDITIONS

DATE: 4/6/2016  
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 DRAWN BY: DMC  
 CHECKED BY: DGG  
 SCALE: 1"=30'  
 PROJECT #: 1015249  
 SHEET #: **C-1.3**

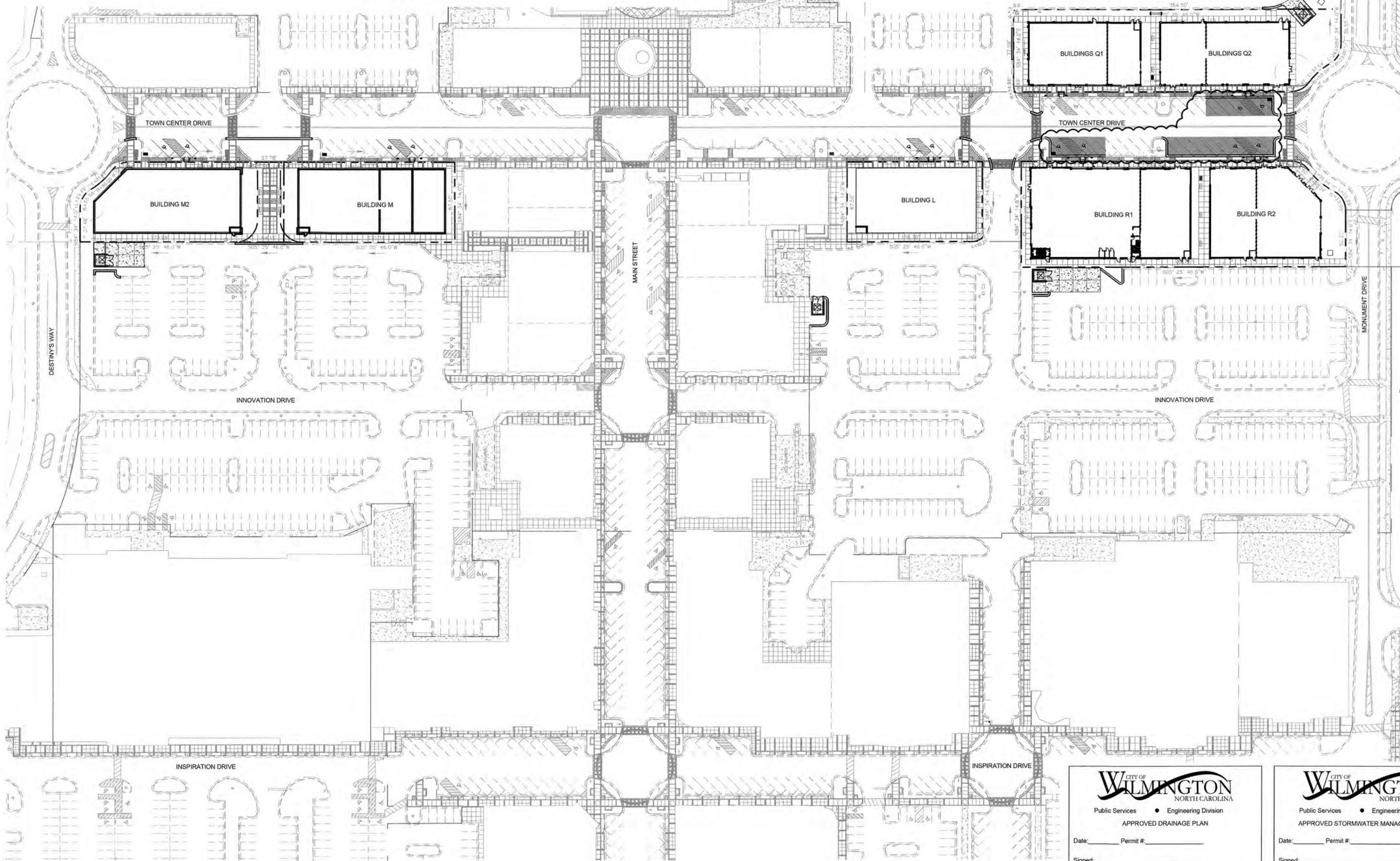
**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
**APPROVED DRAINAGE PLAN**  
 Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
 Signed: \_\_\_\_\_

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
**APPROVED STORMWATER MANAGEMENT PLAN**  
 Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
 Signed: \_\_\_\_\_





SITE LOCATION MAP N.T.S.



**SITE LEGEND**

PROP. CONCRETE	
PROP. BRICK PAVER AREAS	

**SITE DEVELOPMENT SUMMARY:**

PARCEL ID#:	R05000-003-286-000 R05000-003-285-000 R05000-003-284-000 R05000-003-283-000 R05000-003-282-000
PROPERTY OWNER:	CBL & ASSOCIATES PROPERTIES, INC.
ZONED:	MX
CAMA LAND USE CLASSIFICATION:	URBAN TRANSITION RESOURCE PROTECTION
USE:	VACANT COMMERCIAL PROPOSED: COMMERCIAL RETAIL
PROPOSED BUILDINGS:	7 (90,100 ± SF)
TOTAL LOT AREA:	2.67 ACRES
DISTURBED AREA:	3.63 ACRES
PROPOSED UTILITY QUANTITIES:	
4" SANITARY LATERALS	1,572 LF
8" WATERLINE	236 LF
4" WATERLINE	703 LF
2" WATERLINE	690 LF
PARKING:	
ALLOCATED FOR PHASE III	239
PROP. ADA CONVERTED STALLS	10
STALL CONVERTED TO DUMPSTER	3
ADJUSTED TOTAL	231
REQUIRED (4.00 SPACES / 1,000 SF)	360
PROPOSED CONSTRUCTION TYPE IS 2B.	
NO IMPACTS ARE PROPOSED TO EXISTING WETLANDS.	
NOTE: SEE ORIGINAL BUILDING AND PARKING TABULATION BELOW FOR ADDITIONAL PARKING INFORMATION BASED ON ORIGINAL MASTER PLAN.	
NOTE: SITE IS NOT RECOGNIZED AS A LOCAL, STATE OR FEDERALLY HISTORIC ARCHAEOLOGICAL SITE	

**ORIGINAL BUILDING AND PARKING TABULATION**

	LEASEABLE AREA	PARKING REQUIRED	PARKING PROVIDED	PARKING RATIO REQUIRED	PARKING RATIO PROVIDED
<b>PHASE I &amp; I-A (OPT 1):</b>					
HECHT'S	140,880 SF	599	600	4.25 PER 1,000	4.25 PER 1,000
BARNES & NOBLE	25,000 SF	100	100	4.00 PER 1,000	4.00 PER 1,000
LINENS & THINGS	28,000 SF	112	112	4.00 PER 1,000	4.00 PER 1,000
PHASE I RETAIL	139,423 SF	540	1,045	4.00 PER 1,000	7.49 PER 1,000
PHASE I-A RETAIL	90,199 SF	347	79	4.00 PER 1,000	0.87 PER 1,000
OUTPARCELS	23,830 SF	119	250	5.00 PER 1,000	10.49 PER 1,000
(OPT 1) TOTAL	447,332 SF	1,817	2,186		4.89 PER 1,000
<b>PHASE I &amp; I-A (OPT 2):</b>					
HECHT'S	140,880 SF	599	600	4.25 PER 1,000	4.25 PER 1,000
BARNES & NOBLE	25,000 SF	100	100	4.00 PER 1,000	4.00 PER 1,000
LINENS & THINGS	28,000 SF	112	112	4.00 PER 1,000	4.00 PER 1,000
PHASE I RETAIL	139,423 SF	540	998	4.00 PER 1,000	7.16 PER 1,000
PHASE I-A RETAIL	93,927 SF	352	79	4.00 PER 1,000	0.84 PER 1,000
OUTPARCELS	23,830 SF	119	250	5.00 PER 1,000	10.49 PER 1,000
(OPT 2) TOTAL	451,060 SF	1,832	2,139		4.74 PER 1,000
<b>PHASE II:</b>					
THEATER	58,968 SF	611	611	10.36 PER 1,000	10.36 PER 1,000
PHASE II RETAIL	56,562 SF	241	56	4.00 PER 1,000	1.00 PER 1,000
PHASE II TOTAL	115,530 SF	852	667		5.77 PER 1,000
<b>PHASE III &amp; III-A (OPT 1):</b>					
PHASE III & III-A RETAIL	110 SF	580	239	4.00 PER 1,000	1.65 PER 1,000
(OPT 1) TOTAL	145,110 SF	580	239		1.65 PER 1,000
<b>PHASE III &amp; III-A (OPT 2):</b>					
PHASE III & III-A RETAIL	885 SF	644	239	4.00 PER 1,000	1.49 PER 1,000
(OPT 2) TOTAL	160,885 SF	644	239		1.49 PER 1,000
<b>TOWN CENTER TOTALS (OPT 1):</b>					
PHASE I & I-A	447,332 SF	1,817	2,186		4.89 PER 1,000
PHASE II	115,530 SF	852	667		5.77 PER 1,000
PHASE III & III-A	145,110 SF	580	239		1.65 PER 1,000
(OPT 1) TOTAL	707,972 SF	3,092	3,092		4.37 PER 1,000
<b>TOWN CENTER TOTALS (OPT 2):</b>					
PHASE I & I-A (OPT 2)	451,060 SF	1,832	2,139		4.74 PER 1,000
PHASE II	115,530 SF	852	667		5.77 PER 1,000
PHASE III & III-A (OPT 2)	160,885 SF	644	239		1.49 PER 1,000
(OPT 2) TOTAL	727,475 SF	3,045	3,045		4.19 PER 1,000

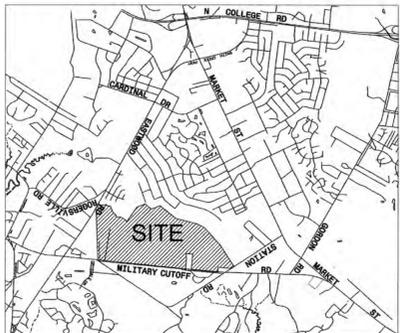
NOTE: PARKING FOR RESIDENTIAL (OFFICE) OVER RETAIL IN PHASE I WILL BE ACCOMPLISHED BY SURFACE PARKING SPACES. 56,000 SF OF AREA AT 1.5 SPACES PER UNIT (1000 SF) = 75 SPACES PROVIDED.

**CITY OF WILMINGTON NORTH CAROLINA**  
Public Services • Engineering Division  
**APPROVED DRAINAGE PLAN**  
Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_

**CITY OF WILMINGTON NORTH CAROLINA**  
Public Services • Engineering Division  
**APPROVED STORMWATER MANAGEMENT PLAN**  
Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_

30' 0' 30' 60' 120'

BEFORE YOU DIG  
CALL 1-800-632-4949  
N.C. ONE-CALL CENTER  
IT'S THE LAW

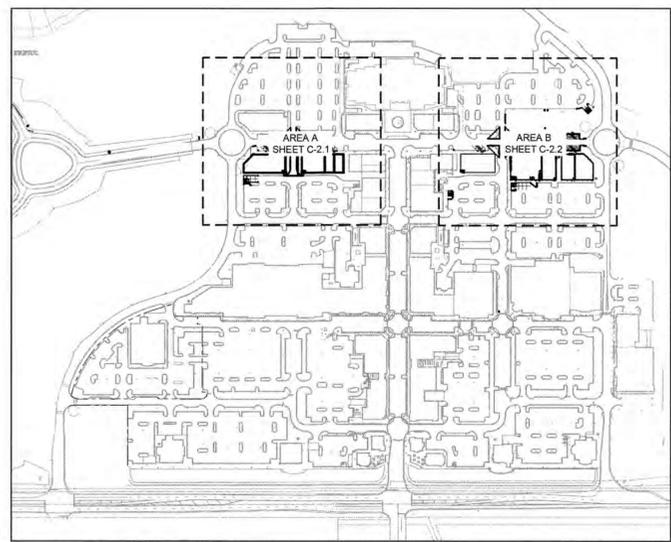


VICINITY MAP NOT TO SCALE

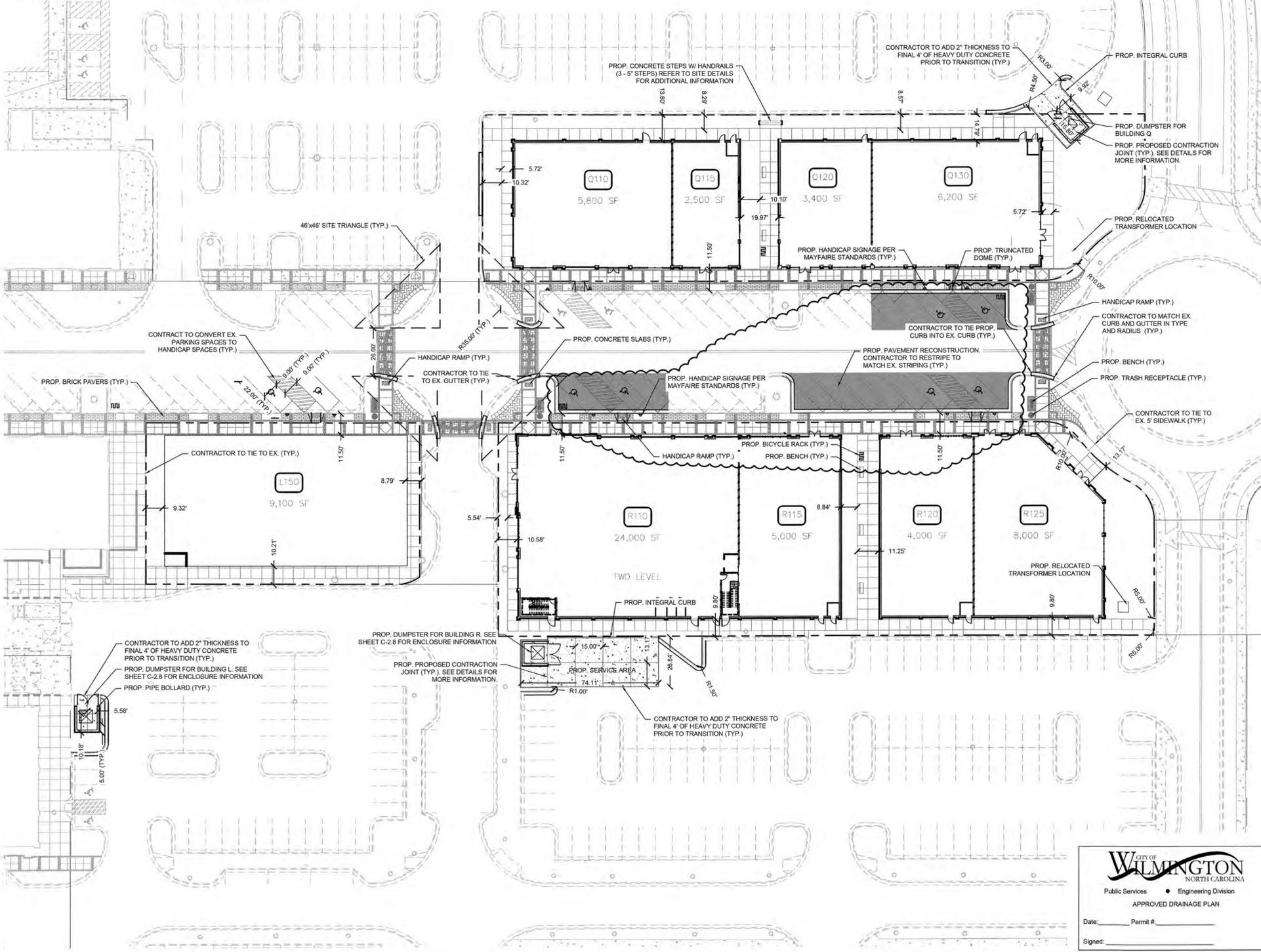
**SITE LEGEND**

PROP. CONCRETE

PROP. BRICK PAVER AREAS



SITE LOCATION MAP N.T.S.



**SITE NOTES:**

- EXISTING SITE CONDITIONS SHALL BE VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPORT ANY DIFFERENCES FROM THE PLAN THAT WILL AFFECT CONSTRUCTION. IN WRITING, TO THE ENGINEER AND AWAIT FURTHER INSTRUCTIONS.
- EXISTING SURVEY INFORMATION & PARKING LOT DESIGN WAS OBTAINED FROM: MAYFAIRE TOWN CENTER DRAWINGS DATED 12/7/06
- BY: LANDDESIGN, INC. 100 S. ORANGE AVE. SUITE 100 ORLANDO, FL 32801 (407) 270-7800
- ALL EXISTING CURBS AND PAVEMENT, TO REMAIN, SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. ALL DAMAGED, CHIPPED OR CRACKED PORTIONS OF CURB OR PAVEMENT SHALL BE REPLACED. IN ADDITION, ANY MORTAR, CONCRETE, SOIL AND OTHER DEPOSITS OR STAINS SHALL BE CLEANED TO RETURN THE CURBS AND PAVEMENT TO THEIR ORIGINAL CONDITION.
- DIMENSIONS ARE TO EDGE OF PAVEMENT OR BACK OF CURB.
- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONSTRUCTION TYPE SHALL BE TYPE 2B.
- ALL PUBLIC STREET SIDEWALKS MUST BE IN ACCORDANCE WITH THE CITY OF WILMINGTON STANDARDS.
- HANDICAPPED RAMP LOCATIONS ARE TO BE DETERMINED BY FINAL DOORWAY LOCATION IN CONJUNCTION WITH HANDICAPPED PARKING.
- ALL SIDEWALKS AND HANDICAPPED RAMPS SHALL MEET A D.A. STANDARDS AND SPECIFICATIONS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING REGARDING THE INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
- ANY BROKEN OR MISSING SIDEWALK PANELS WILL BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- WATER AND SEWER SERVICE SHALL MEET CARE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 919-343-3910 FOR INFORMATION.
- ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFOS/COCHRAN GRSSE.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION. UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0986.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING.

**CITY OF WILMINGTON**  
NORTH CAROLINA

Public Services • Engineering Division

APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit #: \_\_\_\_\_

Signed: \_\_\_\_\_

**CITY OF WILMINGTON**  
NORTH CAROLINA

Public Services • Engineering Division

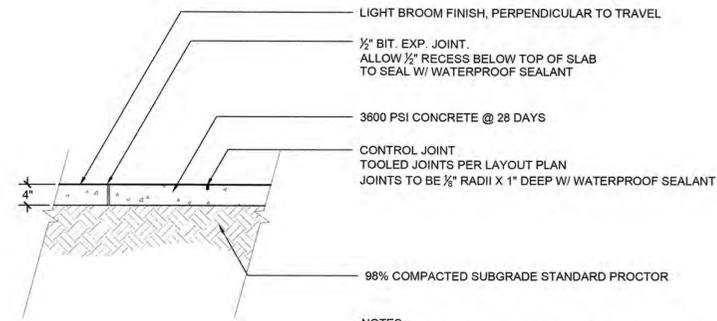
APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit #: \_\_\_\_\_

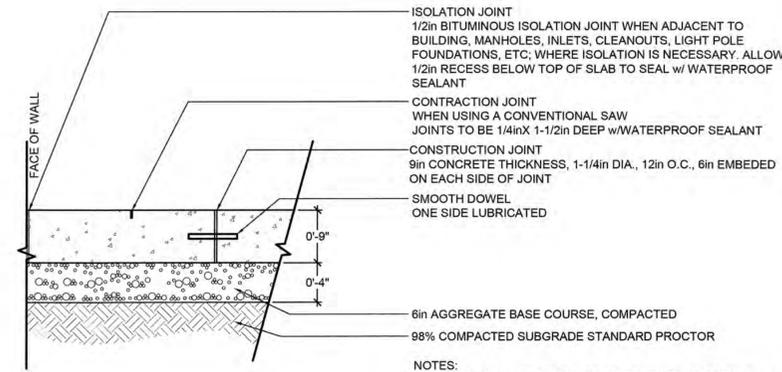
Signed: \_\_\_\_\_

BEFORE YOU DIG  
CALL 1-800-632-4949  
N.C. ONE-CALL CENTER  
IT'S THE LAW!

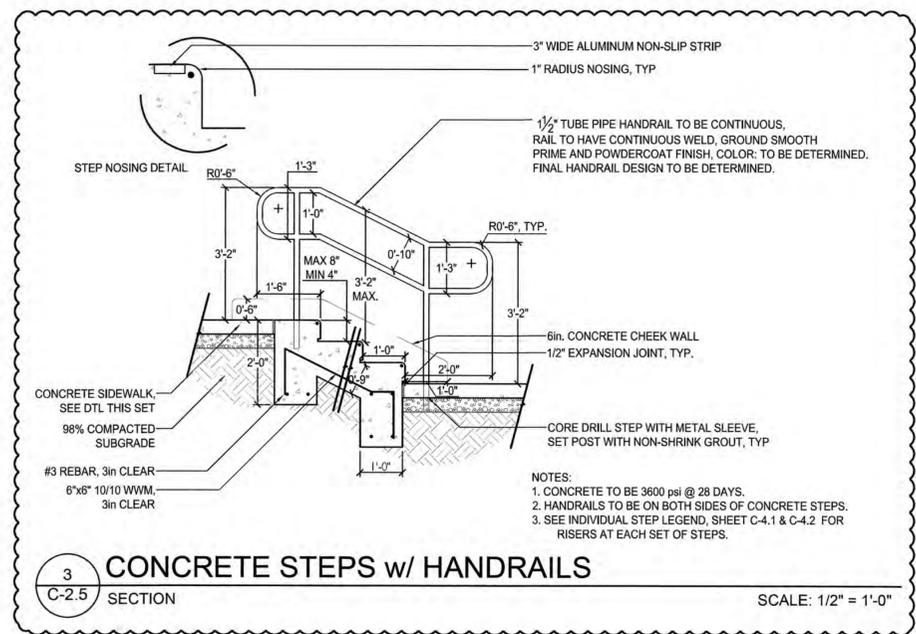




**NOTES:**  
 1. SEE LAYOUT PLAN FOR CONTROL JOINT AND EXPANSION JOINT SPACING. WHEN NOT SHOWN, A HAND TOOLED CONTROL JOINT 1" DEEP WITH 1/2" RADIUS SHALL BE REQUIRED IN THE CONCRETE SIDE WALK AT 5' INTERVALS. PROVIDE EXPANSION JOINT WHERE THE CONCRETE JOINS ANY RIGID STRUCTURE.  
 2. CONCRETE SHALL BE 3600psi @ 28 DAYS.  
 3. WATERPROOF SEALANT TO MATCH CONCRETE COLOR.



**NOTES:**  
 1. CONTRACTOR MUST VERIFY THIS PAVEMENT SECTION WITH CONSULTING GEOTECH PRIOR TO INSTALLATION.  
 2. SUPPLIER MUST PROVIDE DOCUMENTATION THAT THE MIX WILL OBTAIN A FLEXURAL STRENGTH (MODULUS OF RUPTURE) OF AT LEAST 600 PSI AT 28 DAYS.  
 3. WATERPROOFING SEALANT TO MATCH CONCRETE COLOR



**NOTES:**  
 1. CONCRETE TO BE 3600 psi @ 28 DAYS.  
 2. HANDRAILS TO BE ON BOTH SIDES OF CONCRETE STEPS.  
 3. SEE INDIVIDUAL STEP LEGEND, SHEET C-4.1 & C-4.2 FOR RISERS AT EACH SET OF STEPS.

**1 SCORED CONCRETE**  
C-2.5 SECTION

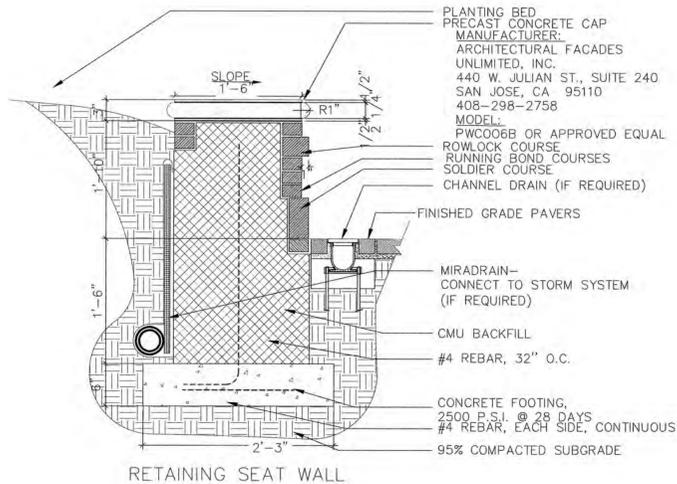
SCALE: 3/4"=1'-0"

**2 HEAVY DUTY CONCRETE**  
C-2.5 SECTION

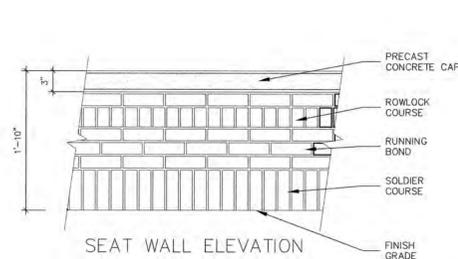
SCALE: 3/4"=1'-0"

**3 CONCRETE STEPS w/ HANDRAILS**  
C-2.5 SECTION

SCALE: 1/2" = 1'-0"

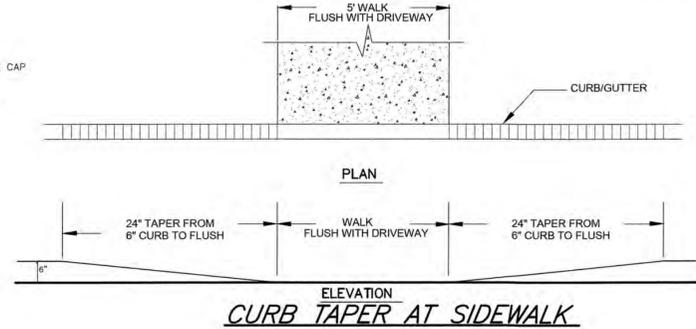


RETAINING SEAT WALL

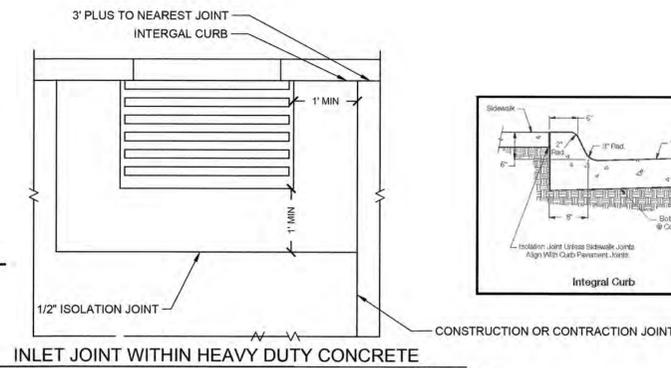


SEAT WALL ELEVATION

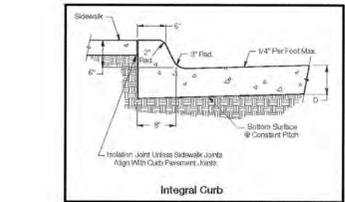
**NOTE:**  
 -COLUMN FOOTING REINFORCEMENT, AND C.M.U. BACKFILL TO BE DESIGNED AND VERIFIED BY STRUCTURAL ENGINEER.  
 -MORTAR AND BRICK COLOR TO MATCH STREETSCAPE PAVERS COLOR RED.  
 -CONTRACTOR TO SUBMIT COLOR SAMPLE OF PANEL FOR APPROVAL PRIOR TO CONST.



ELEVATION  
CURB TAPER AT SIDEWALK

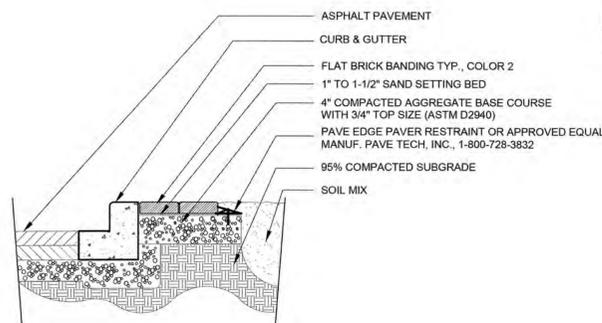


INLET JOINT WITHIN HEAVY DUTY CONCRETE

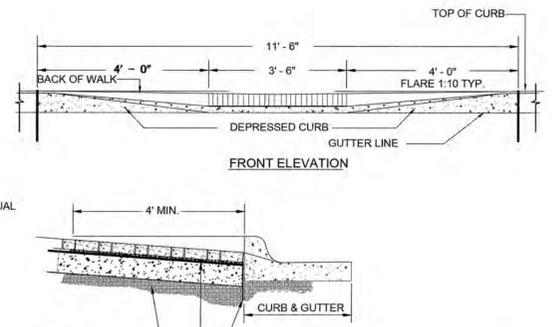


Integral Curb

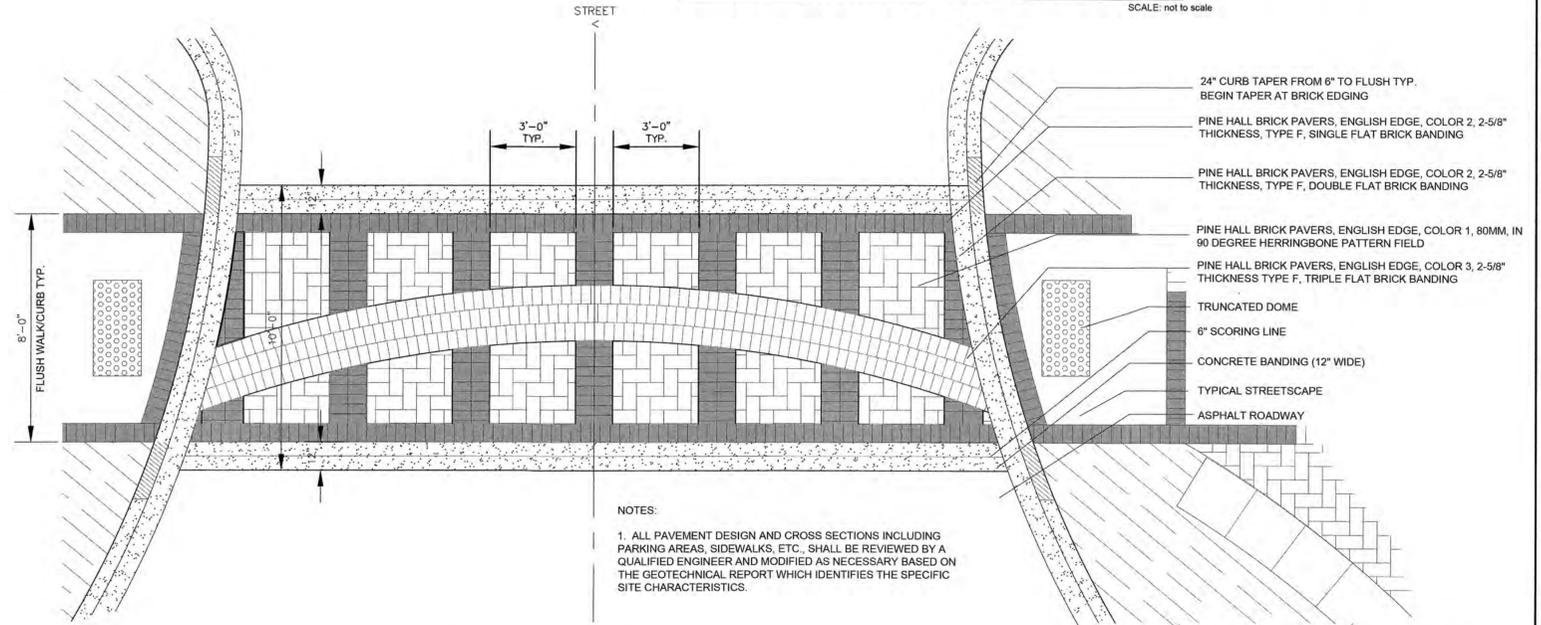
**SEAT WALL**  
N.T.S.



PAVER EDGING  
N.T.S.



BRICK PAVERS HANDICAP RAMP  
N.T.S.



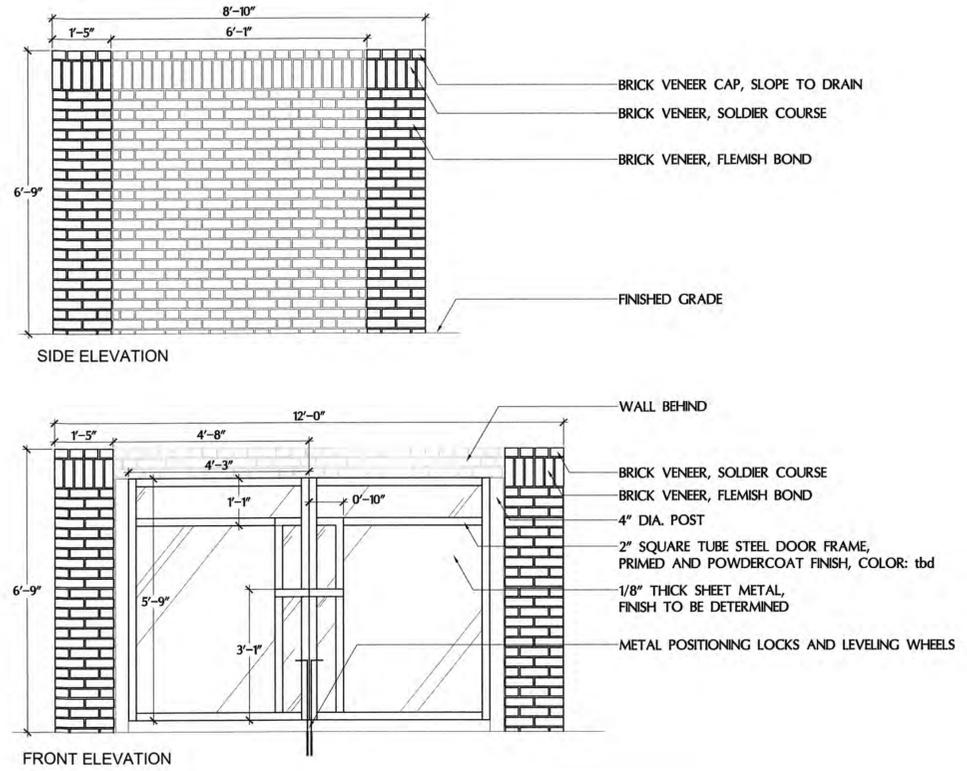
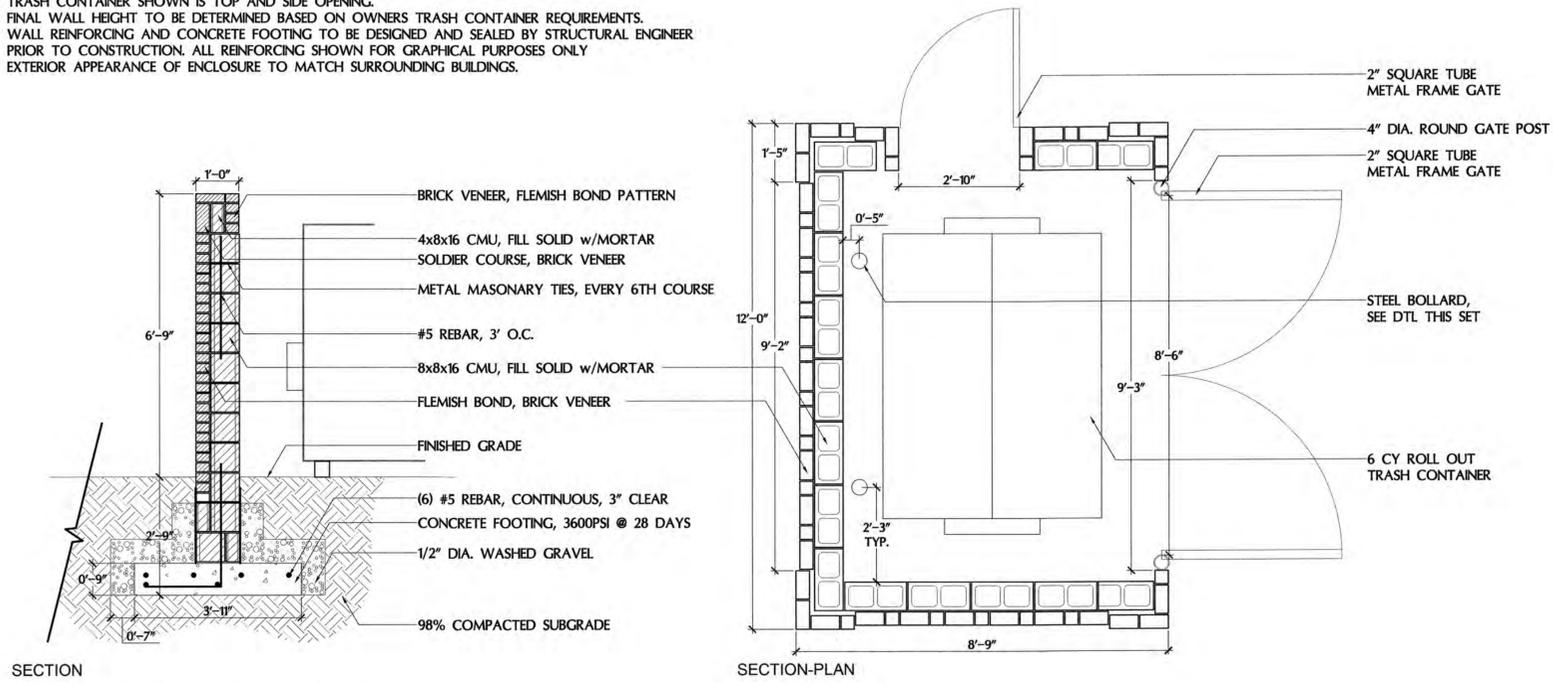
TYPICAL PAVER CROSSWALK  
N.T.S.

**NOTES:**  
 1. ALL PAVEMENT DESIGN AND CROSS SECTIONS INCLUDING PARKING AREAS, SIDEWALKS, ETC., SHALL BE REVIEWED BY A QUALIFIED ENGINEER AND MODIFIED AS NECESSARY BASED ON THE GEOTECHNICAL REPORT WHICH IDENTIFIES THE SPECIFIC SITE CHARACTERISTICS.

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
 Signed: \_\_\_\_\_

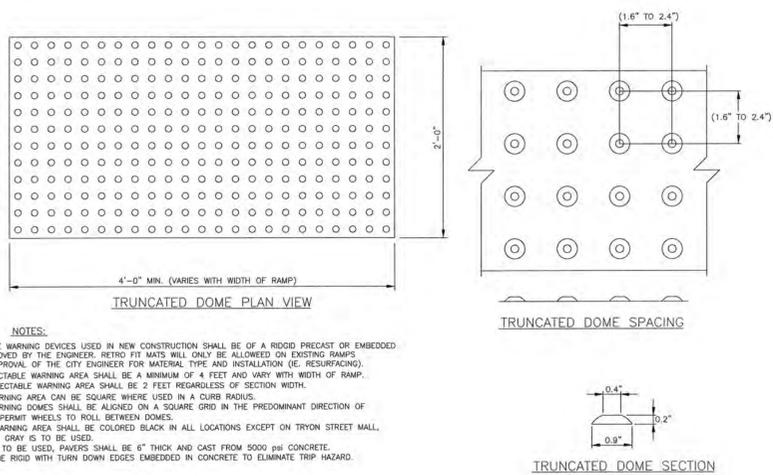
**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN  
 Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
 Signed: \_\_\_\_\_

- NOTES:
1. ALL STEEL TO BE PAINTED.
  2. GATES TO BE EQUIPPED WITH LEVELING WHEELS AND POSITIONING LOCKS
  3. TRASH CONTAINER SHOWN IS TOP AND SIDE OPENING.
  4. FINAL WALL HEIGHT TO BE DETERMINED BASED ON OWNERS TRASH CONTAINER REQUIREMENTS.
  5. WALL REINFORCING AND CONCRETE FOOTING TO BE DESIGNED AND SEALED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION. ALL REINFORCING SHOWN FOR GRAPHICAL PURPOSES ONLY
  6. EXTERIOR APPEARANCE OF ENCLOSURE TO MATCH SURROUNDING BUILDINGS.



**TRASH CONTAINER ENCLOSURE**  
PLAN, ELEVATION, SECTION

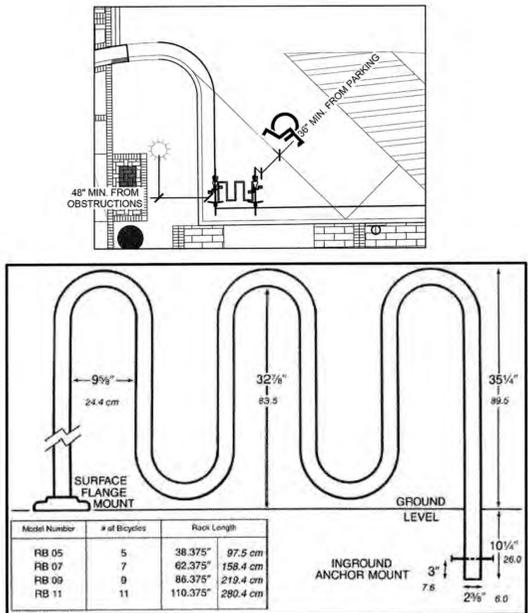
NTS



- NOTES:
1. ALL DETECTABLE WARNING DEVICES USED IN NEW CONSTRUCTION SHALL BE OF A RIGID PRECAST OR EMBEDDED PRODUCT APPROVED BY THE ENGINEER. RETRO FIT MATS WILL ONLY BE ALLOWED ON EXISTING RAMPS WITH PRIOR APPROVAL OF THE CITY ENGINEER FOR MATERIAL TYPE AND INSTALLATION (E. RESURFACING).
  2. WIDTH OF DETECTABLE WARNING AREA SHALL BE A MINIMUM OF 4 FEET AND VARY WITH WIDTH OF RAMP.
  3. LENGTH OF DETECTABLE WARNING AREA SHALL BE 2 FEET REGARDLESS OF SECTION WIDTH.
  4. DETECTABLE WARNING AREA CAN BE SQUARE WHERE USED IN A CURB RADIUS.
  5. DETECTABLE WARNING DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
  6. DETECTABLE WARNING AREA SHALL BE COLORED BLACK IN ALL LOCATIONS EXCEPT ON TRYON STREET MALL, WHERE FRENCH GRAY IS TO BE USED.
  7. IF PAVERS ARE TO BE USED, PAVERS SHALL BE 6" THICK AND CAST FROM 5000 psi CONCRETE.
  8. MATS ARE TO BE RIGID WITH TURN DOWN EDGES EMBEDDED IN CONCRETE TO ELIMINATE TRIP HAZARD.

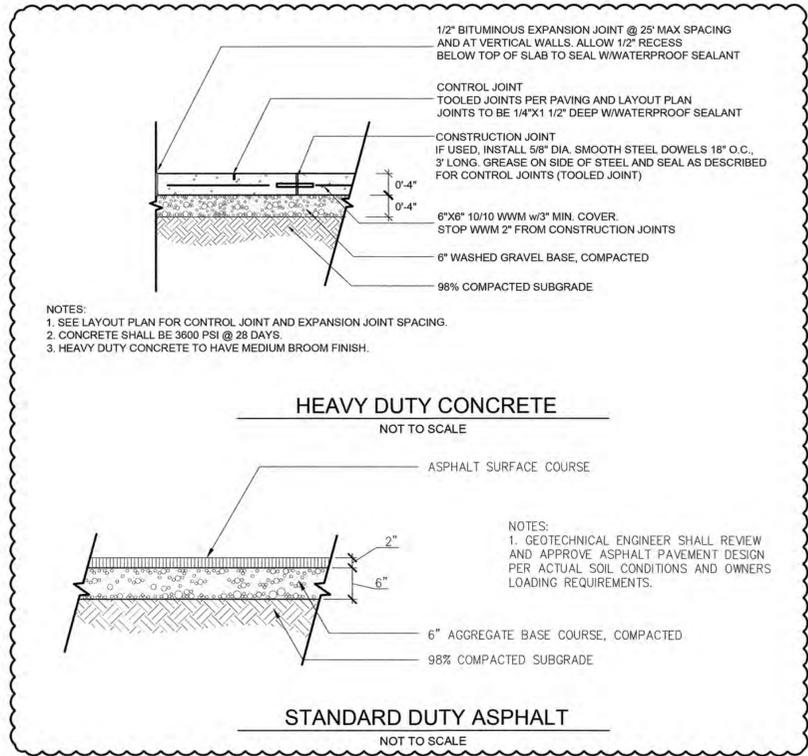
**TRUNCATED DOMES**  
PLAN AND CROSS-SECTION

NOT TO SCALE



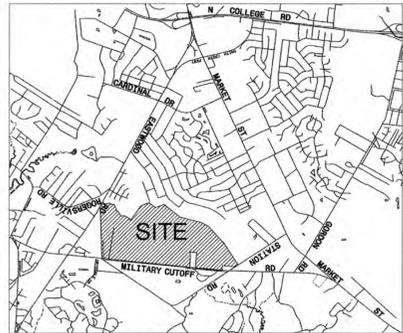
**BICYCLE RACK**  
PLAN AND CROSS-SECTION

NOT TO SCALE

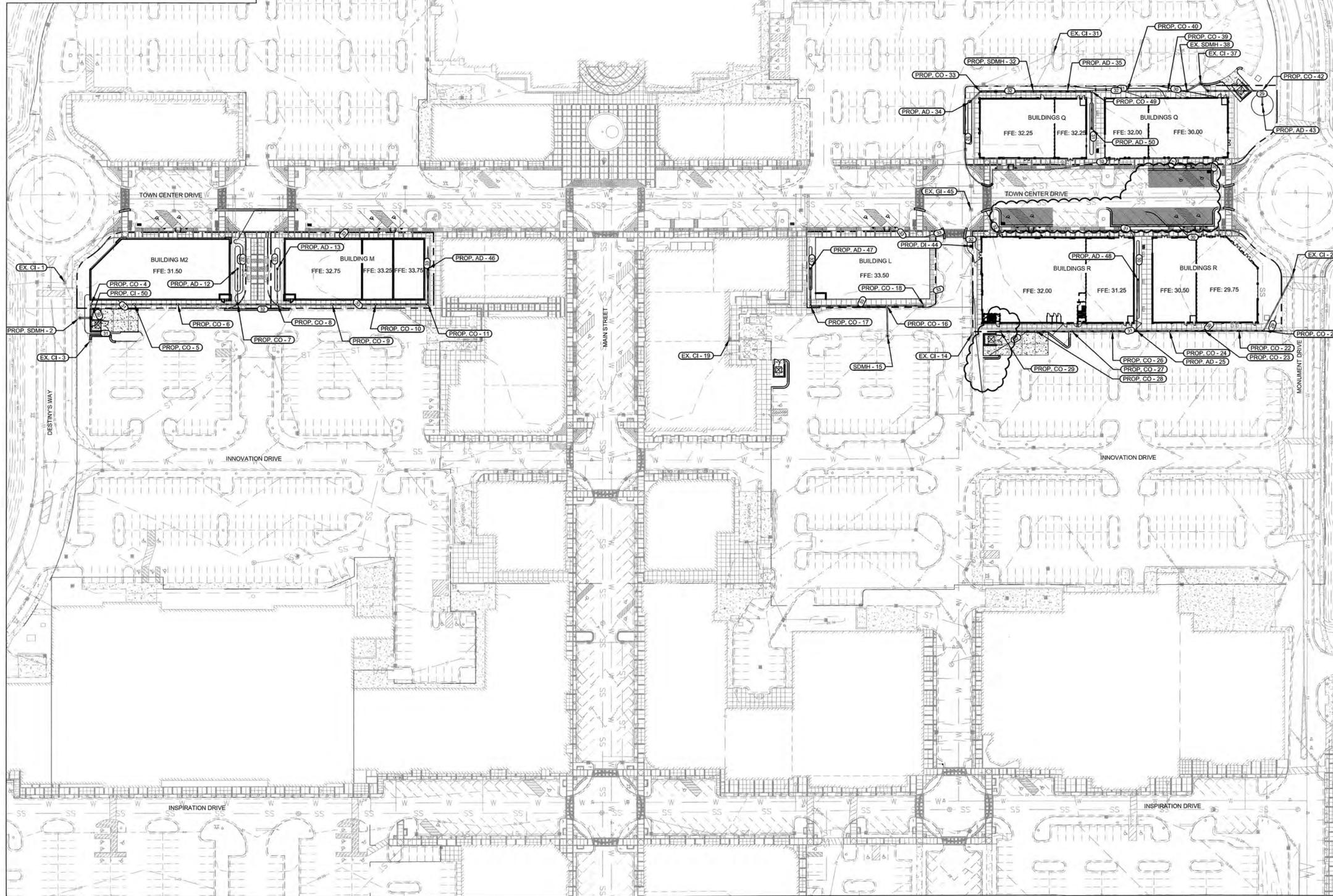


**CITY OF WILMINGTON**  
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Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_

**CITY OF WILMINGTON**  
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Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_

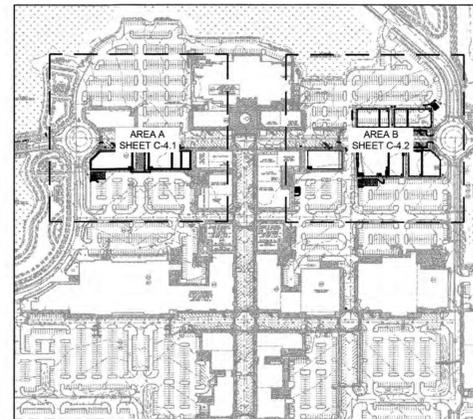


VICINITY MAP NOT TO SCALE



**LEGEND:**

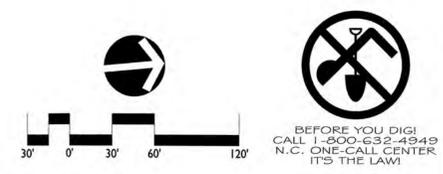
---	EX. DRAINAGE EASEMENT
X	EX. FENCE
ST	EX. STORM PIPE
OHU	EX. OVERHEAD ELECTRIC
SS	EX. SANITARY SEWER
GAS	EX. GAS LINE
FO	EX. FIBER OPTIC LINE
W	EX. WATER LINE
---	EX. GIS MINOR CONTOUR
---	EX. GIS MAJOR CONTOUR
---	EX. SURVEY MINOR CONTOUR
---	EX. SURVEY MAJOR CONTOUR
---	EX. LOT LINE
---	PROP. GRADE MAJOR
---	PROP. GRADE MINOR
---	PROP. 8" WATER MAIN
---	PROP. SANITARY SEWER
---	PROP. STORM DRAINAGE
---	EX. SANITARY SEWER MANHOLE
---	EX. UTILITY POLE
---	EX. STORM BOX
---	EX. STORM MANHOLE
---	EX. FIRE HYDRANT
---	EX. WATER MANHOLE
---	EX. WATER VALVE
---	EX. GAS VALVE
---	PROP. WATER VALVE
---	PROP. WATER TEE
---	PROP. SANITARY SEWER CLEANOUTS
---	PROP. STORMWATER CURB INLET



SITE LOCATION MAP N.T.S.

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
**APPROVED DRAINAGE PLAN**  
 Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
 Signed: \_\_\_\_\_

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
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 Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
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 100 South Orange Ave., Suite 700  
 Orlando, FL 32801  
 P: 407.270.7600  
 W: www.landdesign.com  
 NC Engineering Firm License # C-0658

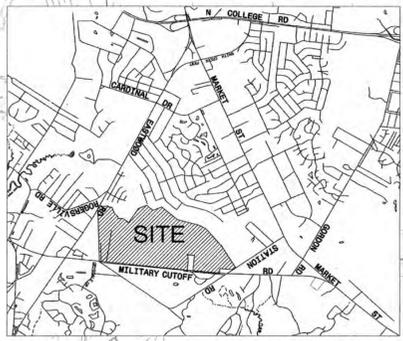


**MAYFAIRE TOWN CENTER**  
**PHASE III**  
 820 TOWN CENTER DRIVE, WILMINGTON, NORTH CAROLINA, 28405  
**OVERALL GRADING AND STORM DRAINAGE PLAN**

REVISIONS:  
 4/6/16 - REVISIONS PER FIELD CONDITIONS

DATE: 4/6/2016  
 DESIGNED BY: DNC  
 CHECKED BY: DVG  
 O.C. BY: DGG  
 SCALE: 1"=60'  
 PROJECT #: 1015249  
 SHEET #:  
**C-4.0**

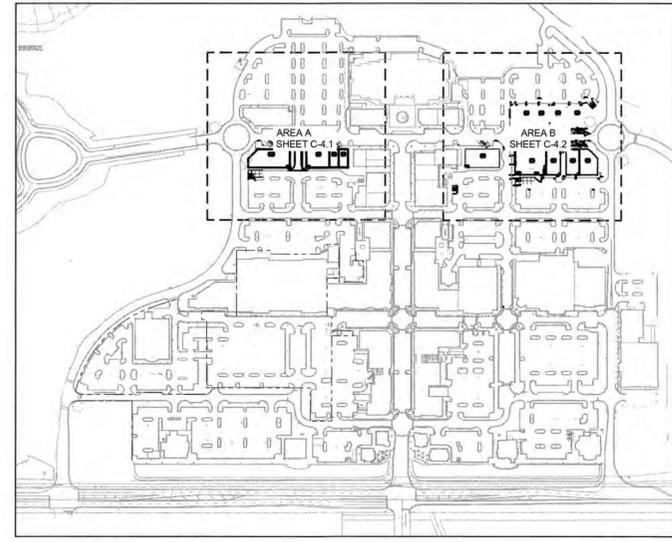
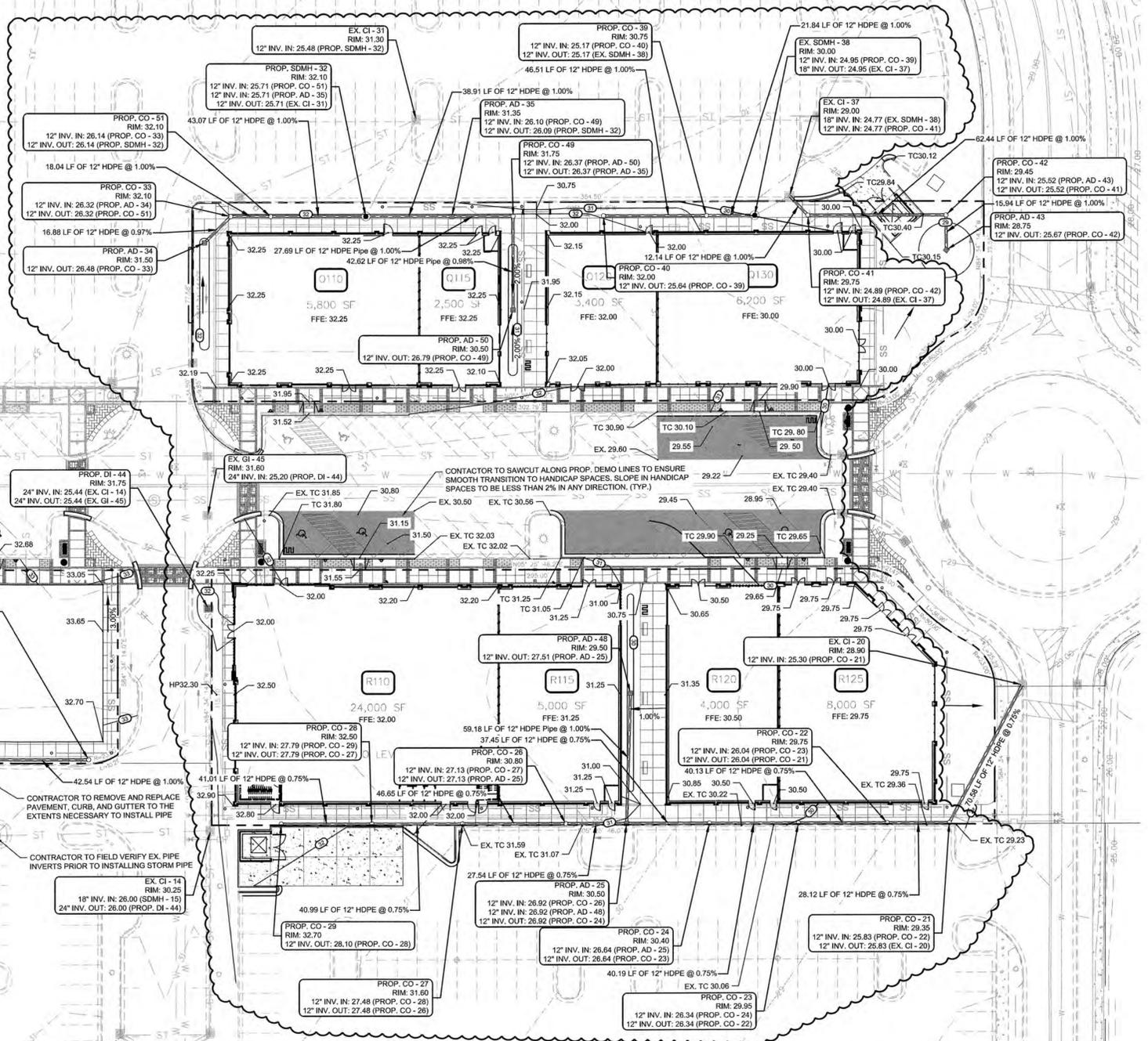
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 N.C. ONE-CALL CENTER  
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VICINITY MAP NOT TO SCALE

LEGEND:

EX. DRAINAGE EASEMENT	EX. FENCE
EX. STORM PIPE	EX. OVERHEAD ELECTRIC
EX. SANITARY SEWER	EX. GAS LINE
EX. GAS LINE	EX. FIBER OPTIC LINE
EX. WATER LINE	EX. GIS MINOR CONTOUR
EX. GIS MAJOR CONTOUR	EX. SURVEY MINOR CONTOUR
EX. SURVEY MAJOR CONTOUR	EX. LOT LINE
PROP. GRADE MAJOR	PROP. GRADE MINOR
PROP. 8" WATER MAIN	PROP. SANITARY SEWER
PROP. STORM DRAINAGE	PROP. STORM DRAINAGE
EX. SANITARY SEWER MANHOLE	EX. UTILITY POLE
EX. STORM BOX	EX. STORM MANHOLE
EX. FIRE HYDRANT	EX. WATER MANHOLE
EX. WATER VALVE	EX. GAS VALVE
PROP. WATER VALVE	PROP. WATER TEE
PROP. WATER TEE	PROP. SANITARY SEWER CLEANOUTS
PROP. STORMWATER CURB INLET	



SITE LOCATION MAP N.T.S.

GRADING & STORM DRAINAGE NOTES:

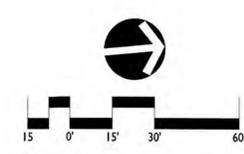
- GRADES AND EXISTING STORM DRAINAGE SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES FROM THE PLAN THAT WILL AFFECT CONSTRUCTION, IN WRITING, TO THE ENGINEER AND AWAIT FURTHER INSTRUCTIONS.
- PROPOSED CONTOURS AND SPOT ELEVATIONS ARE FINISHED SURFACE ELEVATIONS. SPOT ELEVATIONS DENOTE BOTTOM OF CURB WHEN LABEL IS ADJACENT TO CURB. THE GRADING CONTRACTOR SHALL DEDUCT PAVEMENT AND TOPSOIL THICKNESS FOR SUBGRADE ELEVATIONS REFER TO SITE DETAILS FOR ADDITIONAL INFORMATION.
- A SOILS ENGINEER SHALL BE EMPLOYED BY THE CONTRACTOR TO DETERMINE THE SUITABILITY OR UNSUITABILITY OF SOILS DURING EARTHWORK OPERATIONS. CONDUCT TESTS AND MAKE RECOMMENDATIONS.
- SOILS SHALL BE TESTED EVERY 4,000 SF OR LESS PER LIFT FOR EMBANKMENT AND BUILDING PAD CONSTRUCTION. THE CONTRACTOR SHALL FURNISH ALL TEST REPORTS IN A TIMELY MANNER.
- PVC DENOTES POLYVINYL CHLORIDE PIPE. PVC SHALL BE SDR 40 AND COMPLY WITH ASTM D3034 SPECIFICATIONS. GRATES RATED FOR ROADWAY.
- LANDSCAPE INLETS SHALL HAVE 12" TRAFFIC (ADS NYLOPLAST OR APPROVED ALTERNATE).
- CONTRACTOR SHALL REFER TO THE APPROVED SEDIMENT & EROSION CONTROL PLAN FOR ANY ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT TO PROVIDE SMOOTH TRANSITION AT TIE-IN.
- T/C REFERS TO TOP OF CURB
- B/C REFERS TO BOTTOM OF CURB
- BP REFERS TO BREAK POINT
- ALL ROOF DRAIN PIPES TO HAVE A MINIMUM OF 0.50% SLOPE.
- REFER TO SPECIFICATIONS FOR TYPE OF PAVING AND BASE TO BE USED.
- CONTRACTOR SHALL ALLOW FOR ADJUSTMENTS OF CATCH BASIN GRATE AND RIM ELEVATIONS TO MATCH CONSTRUCTION AS NECESSARY.

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_



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**MAYFAIRE TOWN CENTER**  
**PHASE III**  
820 TOWN CENTER DRIVE, WILMINGTON, NORTH CAROLINA, 28405  
**GRADING AND STORM DRAINAGE PLAN AREA B**

REVISIONS:  
4/6/16 - REVISIONS PER FIELD CONDITIONS

DATE: 4/6/2016  
DESIGNED BY: DMC  
CHECKED BY: DMC  
QC BY: DGG  
SCALE: 1"=30'  
PROJECT #: 1015249  
SHEET #:  
**C-4.2**

