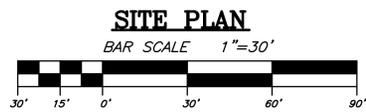


VICINITY MAP
NO SCALE

REVISIONS		
No./Date	Description	By

- SITE INVENTORY NOTES:**
- PREPARER OF THE PLAN: TRIPP ENGINEERING, P.C.
 - APPLICANT NAME: MASONBORO INVESTMENT SERVICES, LLC
 - SITE ADDRESS OF THE DEVELOPMENT: 3315 MASONBORO LOOP
 - PROPERTY OWNER: MASONBORO CORNER MARKET PTNRS
 - DEVELOPER: MASONBORO INVESTMENT SERVICES, LLC
 - PROPERTY BOUNDARY: SEE PLAN
TAX PARCEL INFORMATION: R06700-005-151-000
 - PROPERTY ZONING: MX-MIXED USE
 - ADJACENT PROPERTY OWNER INFORMATION: SEE PLAN
 - VICINITY MAP: SEE PLAN
 - TOPOGRAPHY: SEE PLAN
 - 100-YEAR FLOOD BOUNDARY: N/A
 - EXISTING DITCHES, CREEKS AND STREAMS: SEE PLAN
 - SOIL: CRAVEN
 - CAMA AEC: N/A
 - CAMA LAND CLASSIFICATION: URBAN
 - CONSERVATION RESOURCES: NONE
ASSOCIATED SETBACKS: N/A
 - HISTORIC OR ARCHAEOLOGICAL SITE: N/A
 - CEMETERIES, BURIAL SITES/GROUNDS: N/A
 - FORESTED AREAS, HABITAT AND DOMINANT SPECIES: N/A
 - WETLANDS: NONE
 - PROTECTED SPECIES OR HABITAT: N/A
 - EXISTING OR PROPOSED THOROUGHFARES, BIKE ROUTES, PEDESTRIAN SIDEWALKS OR TRAILS AND TRANSIT FACILITIES: SEE SITE PLAN.

- LEGEND**
- PROPERTY BOUNDARY
 - EXISTING CONTOUR
 - EXIST. SPOT ELEVATION
 - CURBING TO BE REMOVED



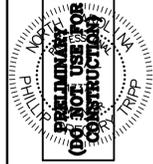
Approved Construction Plan	
Name	Date

STORMWATER MANAGEMENT PLAN APPROVED	
CITY OF WILMINGTON	
ENGINEERING DEPARTMENT	
DATE	PERMIT #
SIGNED _____	

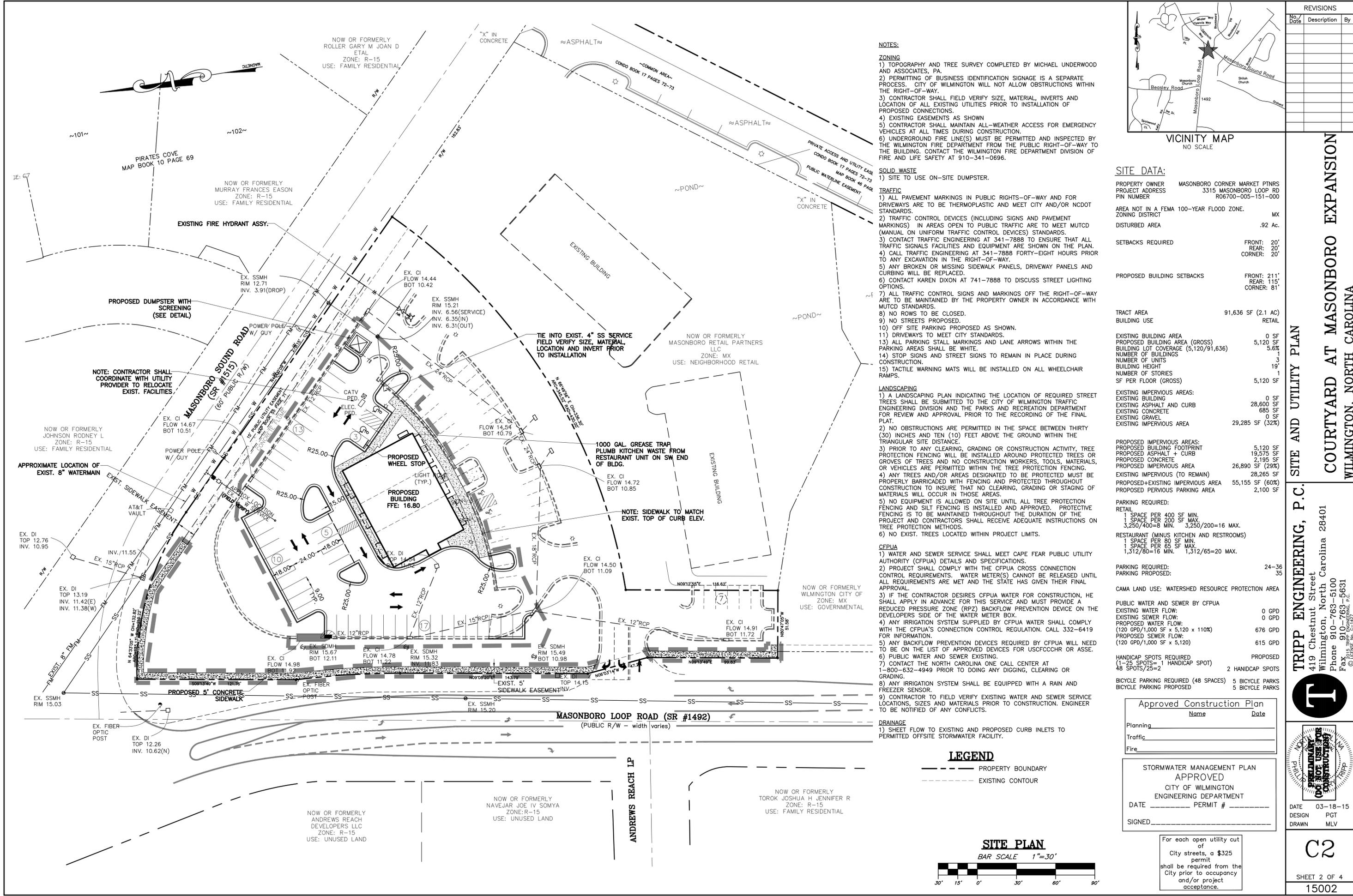
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

EXISTING CONDITIONS, SITE INVENTORY AND DEMOLITION PLAN
COURTYARD AT MASONBORO EXPANSION
WILMINGTON, NORTH CAROLINA

TRIPP ENGINEERING, P.C.
 419 Chestnut Street
 Wilmington, North Carolina 28401
 Phone 910-763-5100
 Fax 910-763-5631
© 2015 TRIPP ENGINEERING, P.C.



DATE 03-18-15
DESIGN PGT
DRAWN MLV



NOTES:

ZONING

- 1) TOPOGRAPHY AND TREE SURVEY COMPLETED BY MICHAEL UNDERWOOD AND ASSOCIATES, PA.
- 2) PERMITTING OF BUSINESS IDENTIFICATION SIGNAGE IS A SEPARATE PROCESS. CITY OF WILMINGTON WILL NOT ALLOW OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY.
- 3) CONTRACTOR SHALL FIELD VERIFY SIZE, MATERIAL, INVERTS AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PROPOSED CONNECTIONS.
- 4) EXISTING EASEMENTS AS SHOWN
- 5) CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- 6) UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.

SOLID WASTE

- 1) SITE TO USE ON-SITE DUMPSTER.

TRAFFIC

- 1) ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- 2) TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- 3) CONTACT TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNALS FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- 4) CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- 5) ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- 6) CONTACT KAREN DIXON AT 741-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- 7) ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- 8) NO ROWS TO BE CLOSED.
- 9) NO STREETS PROPOSED.
- 10) OFF SITE PARKING PROPOSED AS SHOWN.
- 11) DRIVEWAYS TO MEET CITY STANDARDS.
- 13) ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- 14) STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- 15) TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.

LANDSCAPING

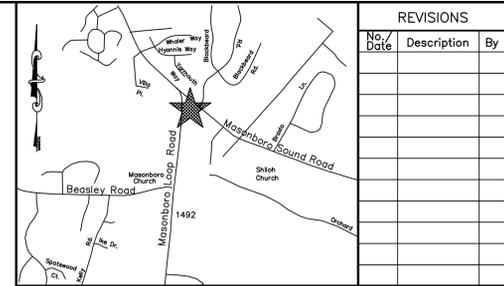
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- 2) NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.
- 3) PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
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- 6) NO EXIST. TREES LOCATED WITHIN PROJECT LIMITS.

CFPUA

- 1) WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- 2) PROJECT SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
- 3) IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
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- 7) CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING OR GRADING.
- 8) ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- 9) CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.

DRAINAGE

- 1) SHEET FLOW TO EXISTING AND PROPOSED CURB INLETS TO PERMITTED OFFSITE STORMWATER FACILITY.



VICINITY MAP
NO SCALE

SITE DATA:

PROPERTY OWNER: MASONBORO CORNER MARKET PTNRS
 PROJECT ADDRESS: 3315 MASONBORO LOOP RD
 PIN NUMBER: R06700-005-151-000

AREA NOT IN A FEMA 100-YEAR FLOOD ZONE. ZONING DISTRICT: MX
 DISTURBED AREA: .92 AC.

SETBACKS REQUIRED: FRONT: 20', REAR: 20', CORNER: 20'

PROPOSED BUILDING SETBACKS: FRONT: 211', REAR: 115', CORNER: 81'

TRACT AREA: 91,636 SF (2.1 AC)
 BUILDING USE: RETAIL

EXISTING BUILDING AREA: 0 SF
 PROPOSED BUILDING AREA (GROSS): 5,120 SF
 BUILDING LOT COVERAGE (5,120/91,636): 5.6%
 NUMBER OF BUILDINGS: 1
 NUMBER OF UNITS: 3
 BUILDING HEIGHT: 19'
 NUMBER OF STORIES: 1
 SF PER FLOOR (GROSS): 5,120 SF

EXISTING IMPERVIOUS AREAS:
 EXISTING BUILDING: 0 SF
 EXISTING ASPHALT AND CURB: 28,600 SF
 EXISTING CONCRETE: 685 SF
 EXISTING GRAVEL: 0 SF
 EXISTING IMPERVIOUS AREA: 29,285 SF (32%)

PROPOSED IMPERVIOUS AREAS:
 PROPOSED BUILDING FOOTPRINT: 5,120 SF
 PROPOSED ASPHALT + CURB: 19,575 SF
 PROPOSED CONCRETE: 2,195 SF
 PROPOSED IMPERVIOUS AREA: 26,890 SF (29%)
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 PROPOSED PERVIOUS PARKING AREA: 2,100 SF

PARKING REQUIRED:
 RETAIL:
 1 SPACE PER 400 SF MIN.
 1 SPACE PER 200 SF MAX.
 3,250/400=8 MIN. 3,250/200=16 MAX.
 RESTAURANT (MINUS KITCHEN AND RESTROOMS):
 1 SPACE PER 80 SF MIN.
 1 SPACE PER 65 SF MAX.
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PARKING REQUIRED: 24-36
 PARKING PROPOSED: 35

CAMA LAND USE: WATERSHED RESOURCE PROTECTION AREA

PUBLIC WATER AND SEWER BY CFPUA
 EXISTING WATER FLOW: 0 GPD
 EXISTING SEWER FLOW: 0 GPD
 PROPOSED WATER FLOW: 676 GPD
 PROPOSED SEWER FLOW: 615 GPD

HANDICAP SPOTS REQUIRED: PROPOSED
 (1-25 SPOTS=1 HANDICAP SPOT)
 48 SPOTS/25=2 2 HANDICAP SPOTS

BICYCLE PARKING REQUIRED (48 SPACES): 5 BICYCLE PARKS
 BICYCLE PARKING PROPOSED: 5 BICYCLE PARKS

LEGEND

--- PROPERTY BOUNDARY
 --- EXISTING CONTOUR

SITE PLAN
 BAR SCALE 1"=30'

Approved Construction Plan

Name _____ Date _____

Planning _____
 Traffic _____
 Fire _____

STORMWATER MANAGEMENT PLAN
 APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____

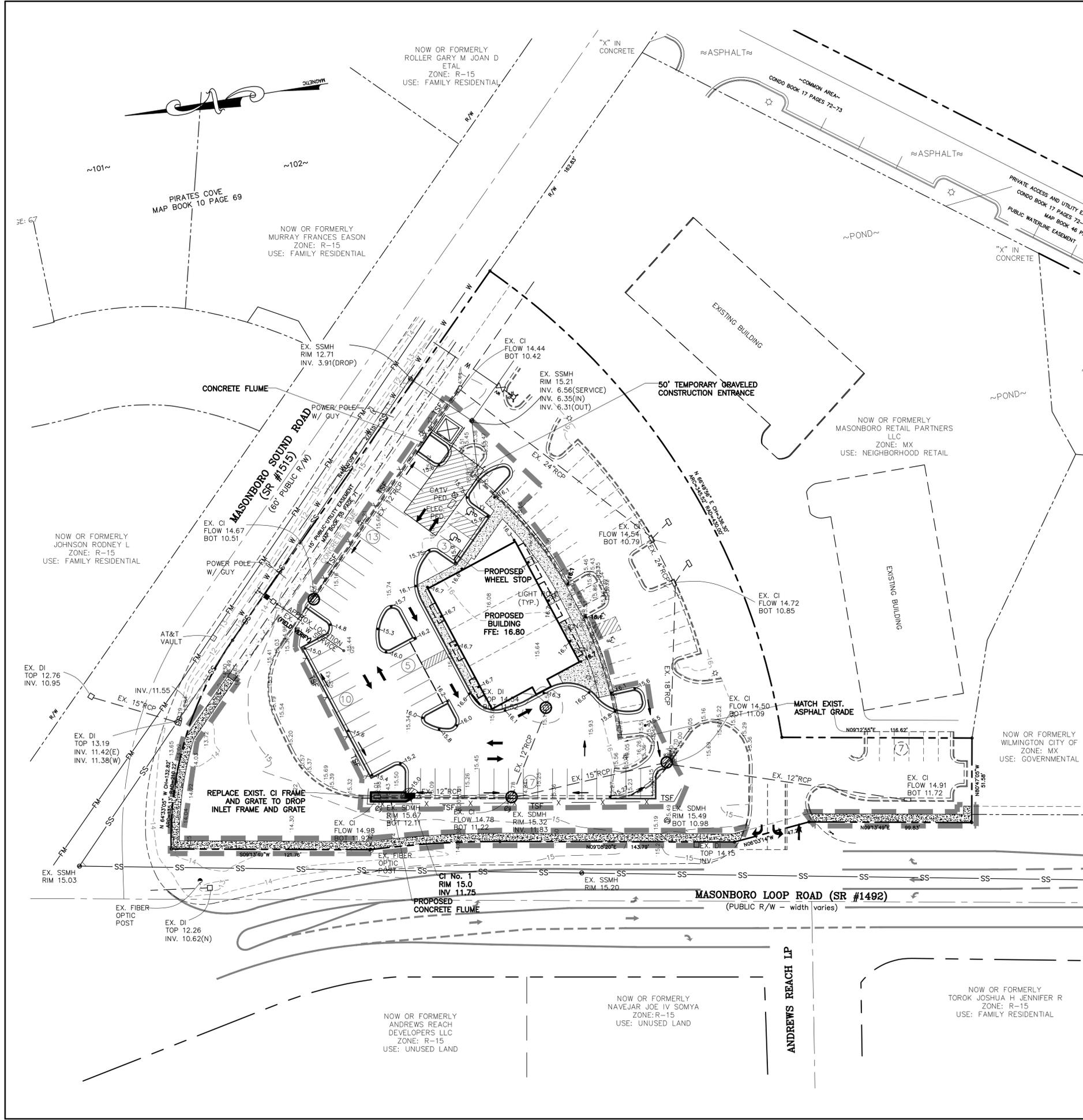
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REVISIONS

No./Date	Description	By

TRIPP ENGINEERING, P.C.
 419 Chestnut Street
 Wilmington, North Carolina 28401
 Phone 910-763-5100
 Fax 910-763-5631
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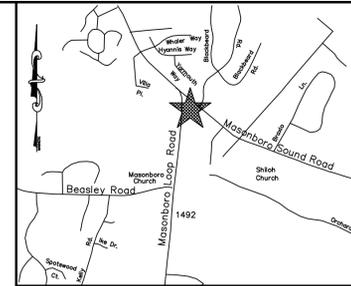
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LEGEND

- EXISTING CONTOUR
- EXIST. SPOT ELEVATION
- LIMITS OF DISTURBANCE
- x- TSF
- x- TEMPORARY SILT FENCE
- PROPOSED SPOT ELEVATION
- INLET PROTECTION

SITE PLAN

BAR SCALE 1"=30'



VICINITY MAP
NO SCALE

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PROJECT ADDRESS 3315 MASONBORO LOOP RD
PIN NUMBER R06700-005-151-000

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ZONING DISTRICT MX

DISTURBED AREA .92 AC

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CORNER: 20'

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CORNER: 81'

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BUILDING USE RETAIL

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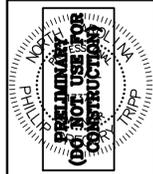
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TRIPP ENGINEERING, P.C.
 GRADING, DRAINAGE, EROSION CONTROL AND STORMWATER MANAGEMENT
COURTYARD AT MASONBORO EXPANSION
 WILMINGTON, NORTH CAROLINA

TRIPP ENGINEERING, P.C.
 419 Chestnut Street
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DATE 03-18-15
DESIGN PGT
DRAWN MLV

