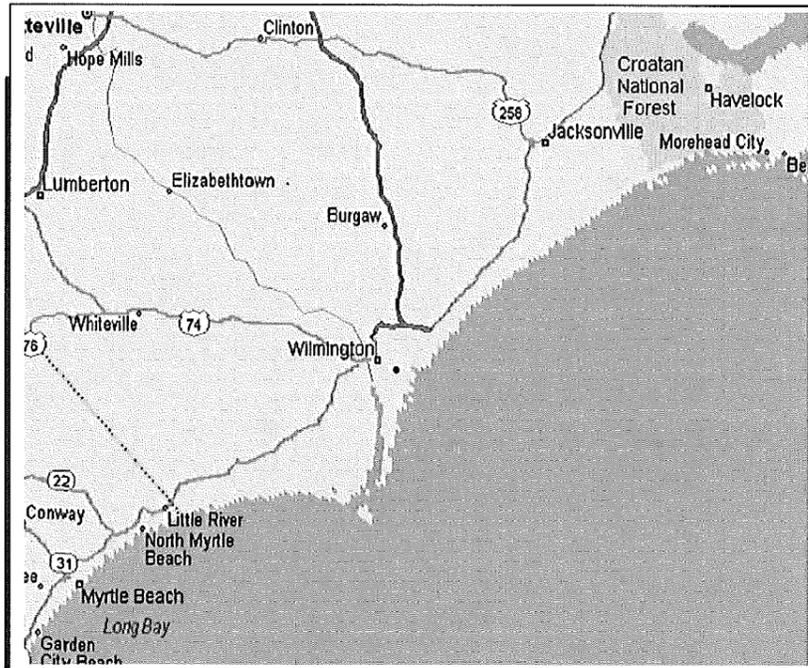
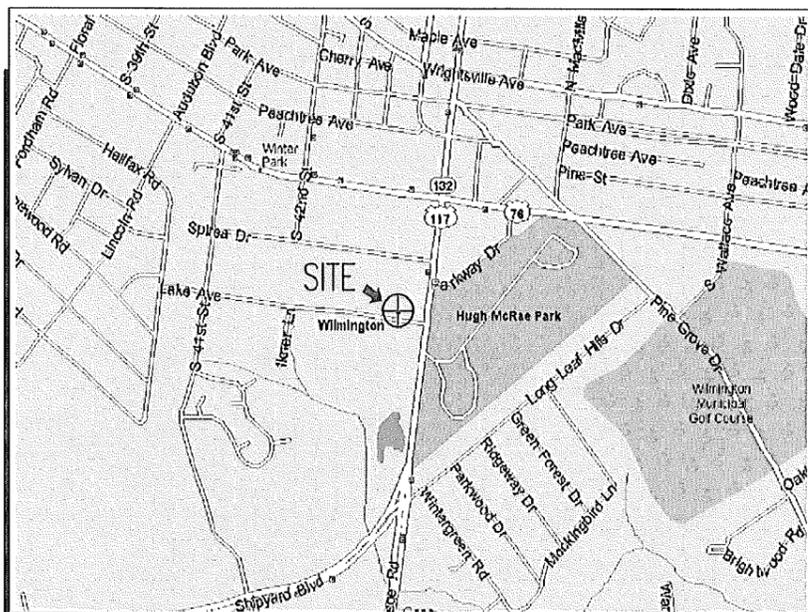




ATC SITE NUMBER: **275164** ATC SITE NAME: **MAC RAE PARK NC**



VICINITY MAP SCALE: 1" = 20 MILES NORTH



LOCAL MAP SCALE: 1" = 2000' NORTH

DIRECTIONS TO SITE:
 DEPART 496 LONG POINT RD, MT PLEASANT, SC 29464 ON LONG POINT RD (EAST) 3.5 MI. TURN LEFT (NORTH-EAST) ONTO US-17 [US-701] 50.3 MI. KEEP RIGHT ONTO LOCAL ROAD(S) 32 YDS. BEAR LEFT (NORTH) ONTO LOCAL ROAD(S) 54 YDS. BEAR RIGHT (EAST) ONTO US-17 [CHURCH ST] 34.8 MI. TAKE RAMP ONTO US-501 [EDWARD E BURROUGHS HWY] 2.5 MI. KEEP RIGHT ONTO RAMP 0.5 MI. TAKE RAMP ONTO SR-31 [CAROLINA BAYS PKWY] 19.5 MI. TAKE RAMP (RIGHT) ONTO SR-9 1.8 MI. TURN OFF ONTO RAMP 0.3 MI. TURN LEFT (EAST) ONTO SR-90 0.8 MI. MERGE ONTO US-17 47.5 MI. (ENTERING NORTH CAROLINA) TAKE RAMP (RIGHT) ONTO US-17 [US-74] 2.9 MI. ROAD NAME CHANGES TO US-17 BUS [US-76] 1.5 MI. KEEP STRAIGHT ONTO US-76 [DAWSON ST] 1.2 MI. BEAR RIGHT (SOUTH-EAST) ONTO US-76 [OLEANDER DR] 2.4 MI. TURN RIGHT (SOUTH) ONTO US-117 [SR-132] 0.3 MI. TURN RIGHT (WEST) ONTO LAKE AVE 120 YDS. TURN RIGHT (NORTH) ONTO LOCAL ROAD(S) 32 YDS. ARRIVE AT SITE.



at&t

AT&T SITE NUMBER: **478-104** **AMERICAN TOWER** CORPORATION

PROPOSED STEALTH UNIPOLE & WIRELESS TELECOMMUNICATIONS FACILITY



Know what's below. Call before you dig.

DIG ALERT: CALL 811 FOR UNDERGROUND UTILITIES PRIOR TO DIGGING OR (800) 632-4949

EMERGENCY: CALL 911

APPROVAL			
OWNER'S AGENT APPROVAL	SIGNATURE	PHONE NUMBER	DATE
ATC CONSTRUCTION COORDINATOR	SIGNATURE	PHONE NUMBER	DATE
ATC APPROVAL	SIGNATURE	PHONE NUMBER	DATE

SET NO.	DESCRIPTION	BY	DATE	SET NO.	DESCRIPTION	BY	DATE
1	CITY CHANGES	AGT	04-24-14	5			
2				6			
3				7			
4				8			

ARCHITECTURAL AND ENGINEERING FIRM: BC ARCHITECTS ENGINEERS, PLC 5661 COLUMBA PIKE, SUITE 200 FALLS CHURCH, VA 22041-2868 TEL: (703) 671-6000 CONTACT: CHRIS MORIN FAX: (703) 671-6300 SURVEYOR: RONALD D. PLATNER 1 WISE FERRY COURT LEXINGTON, SC 29702 TEL: (803) 315-1238 CONTACT: RONALD D. PLATNER FAX: - SOIL ENGINEER: NOT APPLICABLE STRUCTURAL ENGINEER: BC ARCHITECTS ENGINEERS, PLC 5661 COLUMBA PIKE, SUITE 101 FALLS CHURCH, VA 22041-2868 TEL: (703) 671-6000 CONTACT: CHRIS MORIN FAX: (703) 671-6300 UTILITIES: POWER COMPANY: COMPANY NAME: PROGRESS ENERGY CONTACT: CUSTOMER SERVICE TEL: (800) 452-2777 FAX: - TELEPHONE COMPANY: COMPANY NAME: AT&T CONTACT: CUSTOMER SERVICE TEL: (800) 222-0300 FAX: -	SITE NAME: MAC RAE PARK NC SITE NUMBER: 275164 SITE ADDRESS: 1642 SOUTH COLLEGE ROAD WILMINGTON, NC 28409 PROPERTY OWNER: AT&T CLEC BUILDING 1642 S COLLEGE RD WILMINGTON, NC 28409 CONTACT: - TEL: - APPLICANT BUILDING INFO: AMERICAN TOWER CORP. 496 LONG POINT ROAD MOUNT PLEASANT, SC 29464 TEL: (843) 971-8385 CONTACT: JASON GROSECLOSE FAX: (843) 971-8889 TEL: (843) 224-3778 PROJECT DESCRIPTION: AN UNMANNED RADIO TELECOMMUNICATIONS FACILITY CONSISTING OF A 150 FT. STEALTH UNIPOLE IN A 10'x10' LEASE AREA ADA COMPLIANCE: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION PROJECT DATA: TAX PARCEL NO: R06107-012-001-000 JURISDICTION: CITY OF WILMINGTON LEASE AREA: 10'x10' (100 S.F.) ZONING: 0 & 1 GEOGRAPHIC COORDINATES: LATITUDE: 34° 12' 25.054" N LONGITUDE: 77° 53' 19.467" W 1A GROUND ELEVATION: 46.9' AMSL CODE COMPLIANCE: 2012 NCBC 2009 IBC W/ NC AMENDMENTS	SHEET NUMBER: DESCRIPTION: T-1 TITLE SHEET, VICINITY MAP AND GENERAL INFORMATION C1 SURVEY C2 SURVEY A-0 SITE PLAN A-1 ENLARGED SITE PLAN A-2 TOWER ELEVATION A-3 FENCE, GATE AND COMPOUND CROSS SECTION A-4 SHELTER LAYOUT & ELEVATIONS A-5 SHELTER DETAILS A-6 ICEBRIDGE DETAILS A-7 ANTENNA DETAILS G-1 EROSION & SEDIMENT CONTROL PLAN G-2 SILT FENCE DETAILS & NOTES L-1 EXISTING TREE PLAN L-2 LANDSCAPING DETAILS & NOTES E-1 UTILITY & GROUNDING PLAN E-2 ENLARGED GROUNDING PLAN E-3 AT&T ELECTRICAL DETAILS E-4 AT&T PANELBOARD SCHEDULE E-5 AT&T ELECTRICAL DETAILS E-6 AT&T ELECTRICAL DETAILS E-7 AT&T ELECTRICAL DETAILS E-8 AT&T ELECTRICAL DETAILS E-9 ELECTRICAL DETAILS E-10 ELECTRICAL DETAILS E-11 ELECTRICAL NOTES GEN-1 50KW GENERATOR DETAILS GEN-2 50KW GENERATOR DETAILS GEN-3 50KW GENERATOR DETAILS GEN-4 50KW GENERATOR DETAILS SP-1 SPECIFICATIONS SP-2 SPECIFICATIONS
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CONSULTING TEAM

PROJECT SUMMARY

SHEET INDEX



Public Services Engineering Division
 APPROVED PLAN - NO PERMIT REQUIRED

Signed: _____



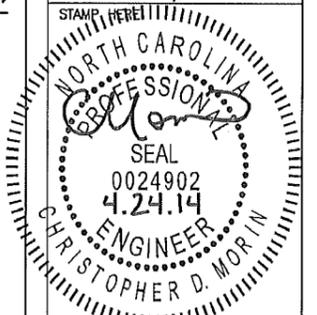
THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER CORPORATION AND THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED EXCEPT BY WRITTEN PERMISSION FROM AMERICAN TOWER CORPORATION. TITLE TO THESE PLANS AND/OR SPECIFICATIONS SHALL REMAIN WITH AMERICAN TOWER CORPORATION WITHOUT PREJUDICE AND VISUAL CONTACT WITH THEM SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



5661 COLUMBA PIKE, SUITE 200
 FALLS CHURCH, VA 22041-2868
 TEL: (703) 671-6000
 FAX: (703) 671-6300

SHEET REVISION			
NO.	DESCRIPTION	BY	DATE
1	NEW SHEETS	AGT	04-24-14
2			
3			
4			
5			
6			

ATC SITE NUMBER: **275164**
 ATC SITE NAME: **MAC RAE PARK NC**
 SITE ADDRESS: 1642 SOUTH COLLEGE ROAD
 WILMINGTON, NC 28409

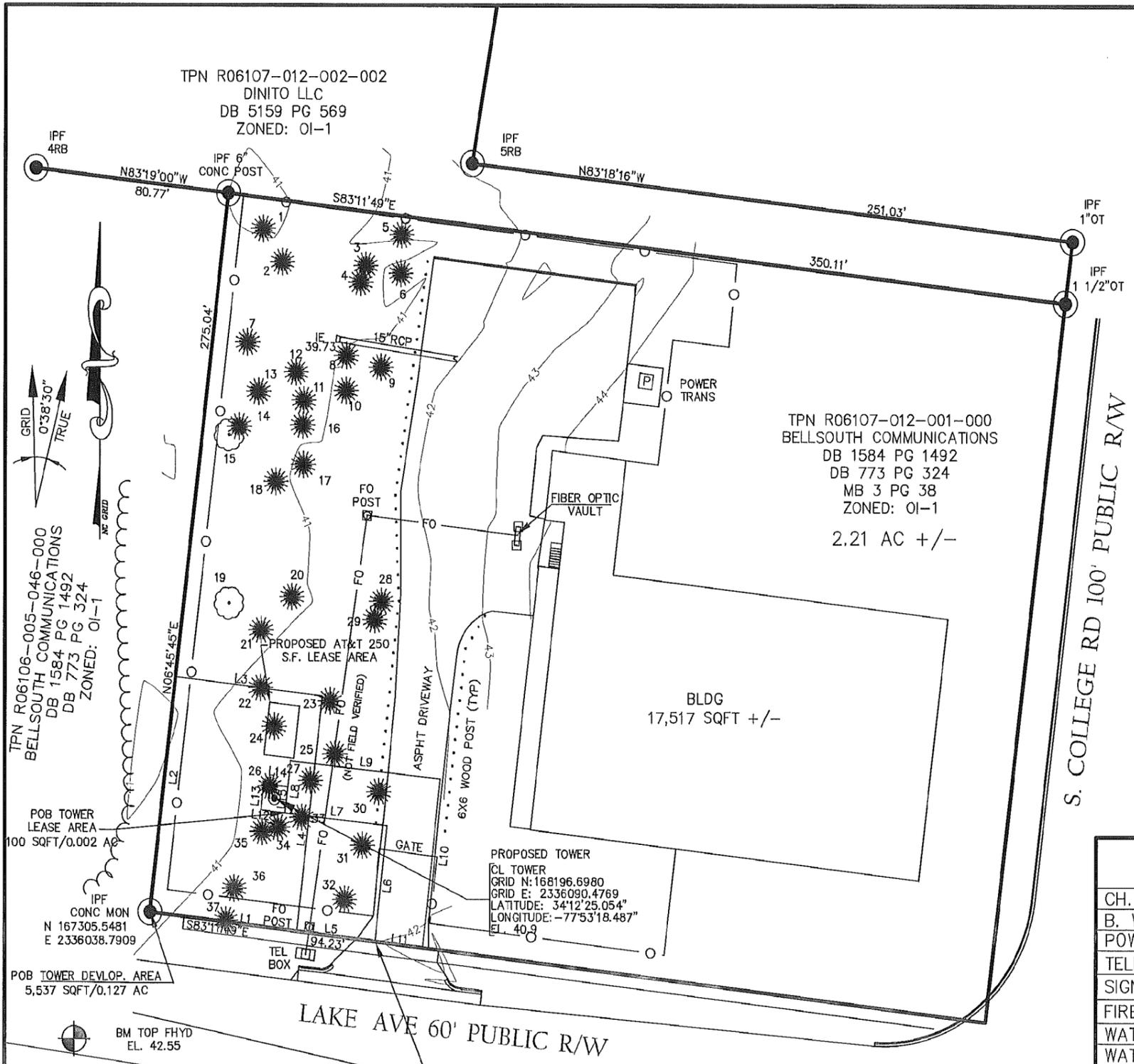


DRAWN BY:	AGT
CHECKED BY:	DRS
DATE DRAWN:	03-24-14
SUBMISSION:	FINAL CD'S

SHEET TITLE:
TITLE SHEET, VICINITY MAP AND GENERAL INFORMATION

SHEET NUMBER:	REV. #
T-1	1

ISSUED FOR CONSTRUCTION

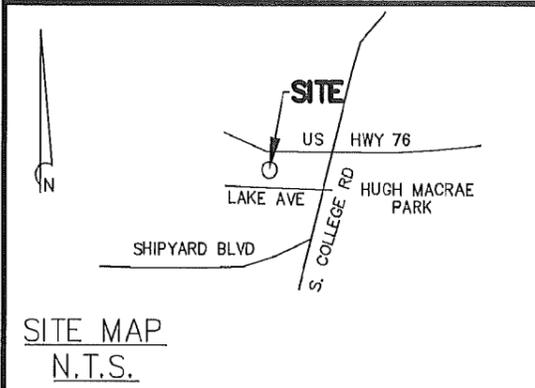


SYMBOL	DESCRIPTION
	PALMETTO
	PINE
	LIVE OAK
	TWIN OAK
	MULTI-TRUNK OAK

1.	20" PINE	19.	34" OAK
2.	18" PINE	20.	22" PINE
3.	15" PINE	21.	20" PINE
4.	14" PINE	22.	22" PINE
5.	14" PINE	23.	20" PINE
6.	12" PINE	24.	24" PINE
7.	14" PINE	25.	20" PINE
8.	12" PINE	26.	18" PINE
9.	16" PINE	27.	15" PINE
10.	20" PINE	28.	16" PINE
11.	20" PINE	29.	20" PINE
12.	12" PINE	30.	18" PINE
13.	20" PINE	31.	19" PINE
14.	15" PINE	32.	24" PINE
15.	14" LIVE OAK	33.	16" PINE
16.	10" PINE	34.	23" PINE
17.	18" PINE	35.	18" PINE
18.	12" PINE	36.	20" PINE
		37.	21" PINE

SET BACKS:
FRONT: 25'
REAR: 20'
SIDE: 10'

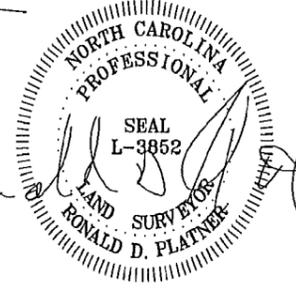
REFERENCE:
1. REF PLAT MB 3 PG 38



LEGEND			
CH. LNK. FENCE	-o-	GROUND ROD	+
B. WIRE FENCE	-x-	PROP. CORNER	⊙
POWER LINE	-P-	POWER POLE	⊕
TELE. LINE	-T-	PP W/ G. WIRE	⊕
SIGN	-P-	LIGHT POLE	⊕
FIRE HYDRANT	⊕	BM OR GPS PT	⊕
WATER VALVE	⊕	ELEC. RACK	⊕
WATER METER	⊕	ICE BRIDGE	⊕
TELE. BOX	⊕	CONC. PAD	⊕
S.S. MH	⊕	EQUIP. PAD	⊕
STORM MH	⊕	POWER BOX	⊕

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE CALCULATED BOUNDARY LINES OF THE LEASE SITE AND EASEMENT SHOWN HEREIN ARE EQUIVALENT TO THE CLASS "B" ACCURACY REQUIREMENTS AS SPECIFIED IN THE "MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN NORTH CAROLINA."

RONALD D. PLATNER, P.L.S. NO. L-3852



REVISIONS

NO.	DATE	DESCRIPTION	BY
1	11/13/13	MOVE LEASE AREA/ADD TREES	BB
2	12/16/13	REVISE PER COMMENTS	BB
3	2/14/14	ADDED TITLE	RDP

NOTES:
1) THIS EXHIBIT REPRESENTS THE LEASE SITE AND ACCESS, UTILITY AND MAINTENANCE EASEMENTS ONLY AND IS NOT INTENDED FOR ANY OTHER USE.
2) ALL BEARINGS ARE NORTH CAROLINA STATE GRID, ALL COORDINATES ARE NAD 83 AND ALL ELEVATIONS ARE NAVD 88.
3) TAX MAP PARCEL NO. R06107-012-001-000
4) RATIO OF PRECISION = 1/10,000.
5) AREA BY COORDINATE METHOD.
6) THE LOCATIONS OF ANY UNDERGROUND UTILITIES IF SHOWN ARE BASED ON PAINTED MARKINGS OBSERVED IN THE FIELD AND/OR ARE APPROXIMATE.
7) THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE REPORT WHICH MAY REVEAL ADDITIONAL CONVEYANCES, EASEMENTS OR RIGHTS-OF-WAY NOT SHOWN HEREIN.

NOTE:
THIS SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY BY RONALD D. PLATNER PROPERTY LINES WERE TAKEN FROM EXISTING FIELD EVIDENCE. EXISTING DEEDS AND PLATS OF PUBLIC RECORD FROM SURVEYS AND DOCUMENTS PROVIDED TO THE SURVEYOR BY THE OWNER OR CLIENT.

I HEREBY CERTIFY THAT I HAVE CONSULTED THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NO. 3720313600J DATED 4/03/06; AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THE SUBJECT PROPERTY IS LOCATED IN "ZONE X" WHICH IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE A, B, OR V.

LEASE SITE AND ACCESS, UTILITY, & MAINTENANCE EASEMENT EXHIBIT
PREPARED FOR
AMERICAN TOWER

SITE INFORMATION:
MACRAE PARK NC
TOWER SITE
SITE ID#: 275164
1642 S. COLLEGE RD
WILMINGTON, NEW HANOVER COUNTY, NC

RONALD D. PLATNER, PLS
1 WISE FERRY COURT
LEXINGTON, S. C. 29702
TELE. (803) 315-1238

SCALE: 0' 25' 50' 100'
1" = 50'

DRAWING NAME RIVER RD.DWG	DATE SEPT. 17, 2013	SHEET NO. C1
PROJECT NO. RIVER RD	FIELD BOOK NO. (SEE FILE)	

LINE	BEARING	LENGTH
L1	N83°11'49"W	61.50
L2	N06°45'45"E	90.00
L3	N83°11'49"W	61.50
L4	S06°45'45"W	90.00
L5	S83°11'49"E	32.73
L6	N06°20'06"E	44.32
L7	N83°39'54"W	42.65
L8	N06°45'45"E	20.00
L9	S83°39'54"E	62.50
L10	S06°20'06"W	64.49
L11	N83°11'49"W	20.00

LINE	BEARING	LENGTH
L12	N83°15'37"W	10.00
L13	N06°45'45"E	10.00
L14	S83°15'37"E	10.00
L15	S06°45'45"W	10.00

PDB 20' ACC. UTILITY AND MAINT. EASEMENT 2,140 SQFT/0.049 AC

TPN R06107-012-002-002
DINITO LLC
DB 5159 PG 569
ZONED: OI-1

TPN R06107-012-001-000
BELLSOUTH COMMUNICATIONS
DB 1584 PG 1492
DB 773 PG 324
MB 3 PG 38
ZONED: OI-1
2.21 AC +/-

BLDG
17,517 SQFT +/-

PROPOSED TOWER
CL TOWER
GRID N: 168196.6980
GRID E: 2336090.4769
LATITUDE: 34°12'25.054"
LONGITUDE: -77°53'18.487"
EL. 40.3

TPN R06106-005-046-000
BELLSOUTH COMMUNICATIONS
DB 1584 PG 1492
DB 773 PG 324
ZONED: OI-1

POB TOWER LEASE AREA
100 SQFT/0.002 AC

IPF CONC MON
N 167305.5481
E 2336038.7909

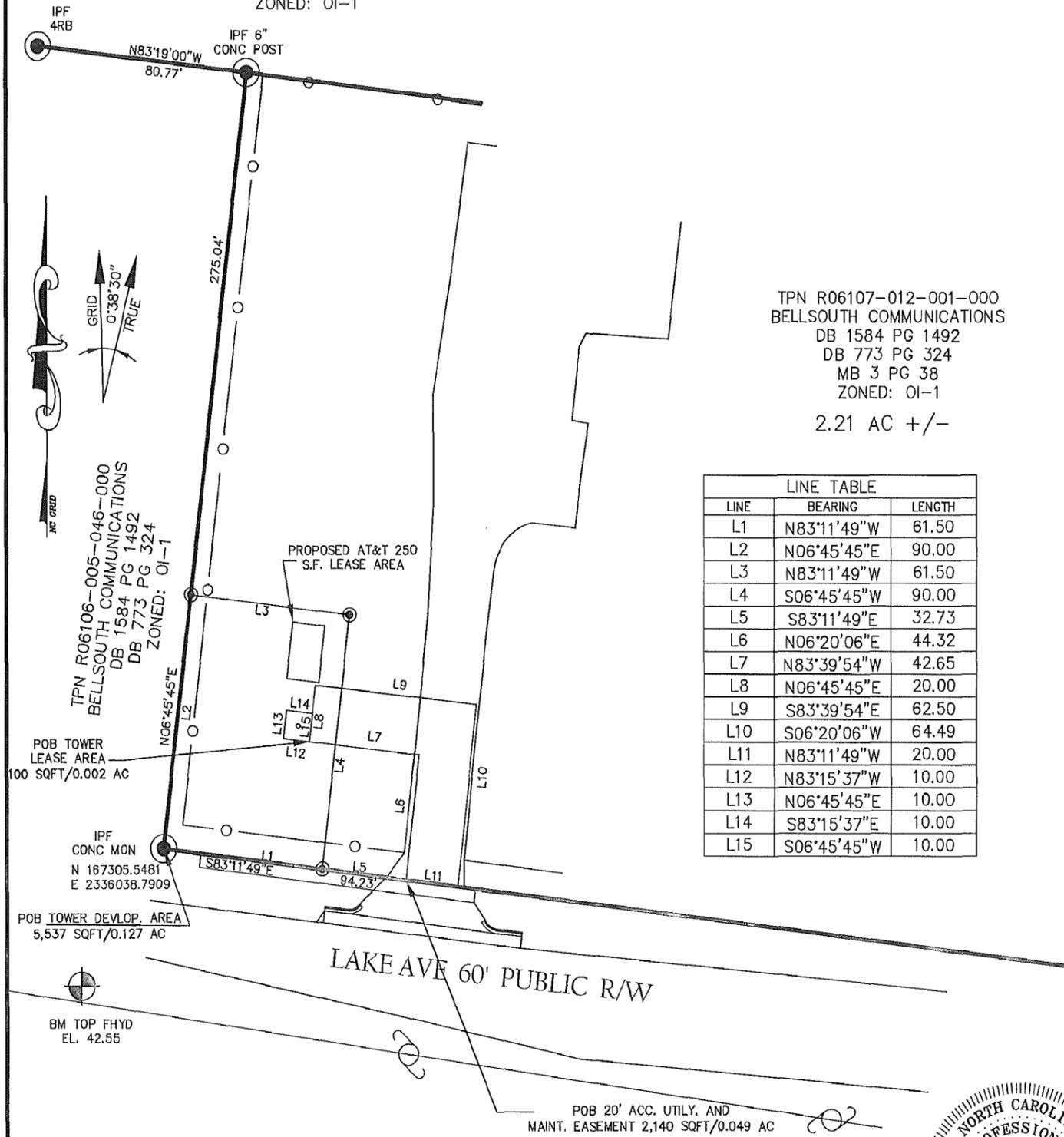
POB TOWER DEVELOP. AREA
5,537 SQFT/0.127 AC

BM TOP FHYD
EL. 42.55

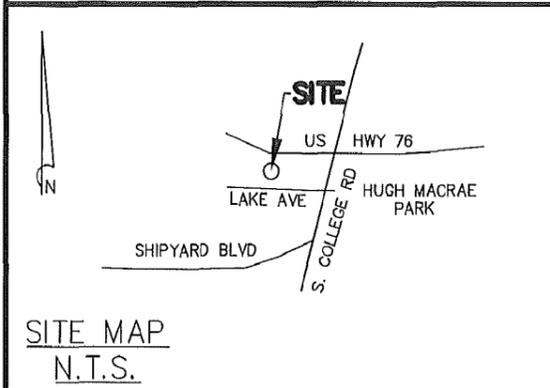
TPN R06107-012-002-002
 DINITO LLC
 DB 5159 PG 569
 ZONED: OI-1

TPN R06107-012-001-000
 BELLSOUTH COMMUNICATIONS
 DB 1584 PG 1492
 DB 773 PG 324
 MB 3 PG 38
 ZONED: OI-1
 2.21 AC +/-

LINE TABLE		
LINE	BEARING	LENGTH
L1	N83°11'49"W	61.50
L2	N06°45'45"E	90.00
L3	N83°11'49"W	61.50
L4	S06°45'45"W	90.00
L5	S83°11'49"E	32.73
L6	N06°20'06"E	44.32
L7	N83°39'54"W	42.65
L8	N06°45'45"E	20.00
L9	S83°39'54"E	62.50
L10	S06°20'06"W	64.49
L11	N83°11'49"W	20.00
L12	N83°15'37"W	10.00
L13	N06°45'45"E	10.00
L14	S83°15'37"E	10.00
L15	S06°45'45"W	10.00



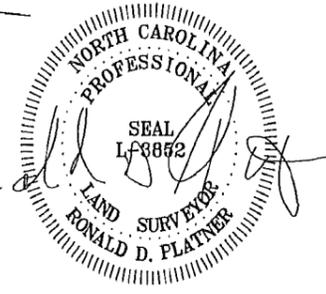
REFERENCE:
 1. REF PLAT MB 3 PG 38



LEGEND			
CH. LNK. FENCE	-o-	GROUND ROD	+
B. WIRE FENCE	-x-	PROP. CORNER	⊙
POWER LINE	-P-	POWER POLE	⊕
TELE. LINE	-T-	PP W/ G. WIRE	⊕→
SIGN	-e-	LIGHT POLE	⊙
FIRE HYDRANT	⊕	BM OR GPS PT	⊕
WATER VALVE	⊕	ELEC. RACK	⊕
WATER METER	⊕	ICE BRIDGE	⊕
TELE. BOX	⊕	CONC. PAD	⊕
S.S. MH	⊕	EQUIP. PAD	⊕
STORM MH	⊕	POWER BOX	⊕

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE CALCULATED BOUNDARY LINES OF THE LEASE SITE AND EASEMENT SHOWN HEREIN ARE EQUIVALENT TO THE CLASS "B" ACCURACY REQUIREMENTS AS SPECIFIED IN THE "MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN NORTH CAROLINA."

RONALD D. PLATNER, P.L.S. NO. L-3852



REVISIONS			
1	11/13/13	MOVE LEASE AREA/ADD TREES	BB
2	12/16/13	REVISE PER COMMENTS	BB
3	2/14/14	ADDED TITLE	RDP
NO.	DATE	DESCRIPTION	BY

NOTES:
 1) THIS EXHIBIT REPRESENTS THE LEASE SITE AND ACCESS, UTILITY AND MAINTENANCE EASEMENTS ONLY AND IS NOT INTENDED FOR ANY OTHER USE.
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 3) TAX MAP PARCEL NO. R06107-012-001-000
 4) RATIO OF PRECISION = 1/10,000.
 5) AREA BY COORDINATE METHOD.
 6) THE LOCATIONS OF ANY UNDERGROUND UTILITIES IF SHOWN ARE BASED ON PAINTED MARKINGS OBSERVED IN THE FIELD AND/OR ARE APPROXIMATE.
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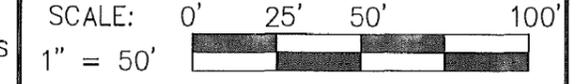
NOTE:
 THIS SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY BY RONALD D. PLATNER PROPERTY LINES WERE TAKEN FROM EXISTING FIELD EVIDENCE. EXISTING DEEDS AND PLATS OF PUBLIC RECORD FROM SURVEYS AND DOCUMENTS PROVIDED TO THE SURVEYOR BY THE OWNER OR CLIENT.

I HEREBY CERTIFY THAT I HAVE CONSULTED THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NO. 3720313600J DATED 4/03/06; AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THE SUBJECT PROPERTY IS LOCATED IN "ZONE X" WHICH IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE A, B, OR V.

LEASE SITE AND ACCESS, UTILITY, & MAINTENANCE EASEMENT EXHIBIT
 PREPARED FOR
AMERICAN TOWER

SITE INFORMATION:
 MACRAE PARK NC
 TOWER SITE
 SITE ID#: 275164
 1642 S. COLLEGE RD
 WILMINGTON, NEW HANOVER COUNTY, NC

RONALD D. PLATNER, PLS
 1 WISE FERRY COURT
 LEXINGTON, S. C. 29702
 TELE. (803) 315-1238



DRAWING NAME RIVER RD.DWG	DATE SEPT. 17, 2013	SHEET NO. C2
PROJECT NO. RIVER RD	FIELD BOOK NO. (SEE FILE)	

20' ACCESS, UTILITY, AND MAINTENANCE EASEMENT

BEGINNING AT A CONCRETE MONUMENT AT THE SOUTHWESTERN MOST CORNER OF TAX PARCEL NUMBER R06107-012-001-000 AND THE RIGHT OF WAY OF LAKE AVENUE WITH STATE PLANE COORDINATES N167305.5481 E2336038.7909, THENCE S83°11'49"E FOR A DISTANCE OF 94.23 ALONG THE RIGHT OF WAY OF LAKE AVENUE TO A POINT, SAID POINT BEING THE POINT OF BEGINNING FOR THE ACCESS, UTILITY, AND MAINTENANCE EASEMENT, THENCE N06°20'06"E FOR A DISTANCE OF 44.32 TO A POINT, THENCE N83°39'54"W FOR A DISTANCE OF 42.65 TO A POINT, THENCE N06°45'45"E FOR A DISTANCE OF 20.00 TO A POINT, THENCE S83°39'54"E FOR A DISTANCE OF 62.50 TO A POINT, THENCE S06°20'06"W FOR A DISTANCE OF 64.49 TO A POINT, THENCE N83°11'49"W FOR A DISTANCE OF 20.00 TO A POINT, SAID POINT BEING THE POINT OF BEGINNING FOR THE ACCESS, UTILITY, AND MAINTENANCE EASEMENT CONTAINING 2,140 SQFT/0.049 AC.

TOWER DEVELOPMENT AREA

BEGINNING AT A CONCRETE MONUMENT AT THE SOUTHWESTERN MOST CORNER OF TAX PARCEL NUMBER R06107-012-001-000 AND THE RIGHT OF WAY OF LAKE AVENUE WITH STATE PLANE COORDINATES N167305.5481 E2336038.7909, SAID POINT BEING THE POINT OF BEGINNING FOR THE TOWER DEVELOPMENT AREA, THENCE N06°45'45"E FOR A DISTANCE OF 90.00 TO A POINT, THENCE S83°11'49"E FOR A DISTANCE OF 61.50 TO A POINT, THENCE S06°45'45"W FOR A DISTANCE OF 90.00 TO A POINT, THENCE N83°11'49"W FOR A DISTANCE OF 61.50 TO A POINT, SAID POINT BEING THE POINT OF BEGINNING FOR THE TOWER DEVELOPMENT AREA CONTAINING 5,537 SQFT/0.127 AC.

TOWER LEASE AREA

BEGINNING AT A CONCRETE MONUMENT AT THE SOUTHWESTERN MOST CORNER OF TAX PARCEL NUMBER R06107-012-001-000 AND THE RIGHT OF WAY OF LAKE AVENUE WITH STATE PLANE COORDINATES N167305.5481 E2336038.7909, THENCE S83°11'49"E FOR A DISTANCE OF 94.23 ALONG THE RIGHT OF WAY OF LAKE AVENUE TO A POINT, THENCE N06°20'06"E FOR A DISTANCE OF 44.32 TO A POINT, THENCE N83°39'54"W FOR A DISTANCE OF 42.65 TO A POINT, SAID POINT BEING THE POINT OF BEGINNING FOR THE TOWER LEASE AREA, THENCE N83°15'37"W FOR A DISTANCE OF 10.00 TO A POINT, THENCE N06°45'45"E FOR A DISTANCE OF 10.00 TO A POINT, THENCE S83°15'37"E FOR A DISTANCE OF 10.00 TO A POINT, THENCE S06°45'45"W FOR A DISTANCE OF 10.00 TO A POINT, SAID POINT BEING THE POINT OF BEGINNING FOR THE TOWER LEASE AREA CONTAINING 100 SQFT/0.002 AC.

SCHEDULE A

Commitment 01-14004827-01T

1. Commitment Effective Date: 01/15/2014 at 7:00 AM

EXHIBIT "A"

SITUATED IN THE COUNTY OF NEW HANOVER AND STATE OF NORTH CAROLINA AND DESCRIBED AS FOLLOWS:

PARENT PARCEL:

BEGINNING AT A POINT IN THE WESTERN RIGHT OF WAY LINE OF N.C. HIGHWAY #132 WHERE SAID WESTERN RIGHT OF WAY LINE IS INTERSECTED BY AN EXTENSION OF THE NORTHERLY LINE OF LAKE AVENUE AS SAID LAKE AVENUE IS SHOWN ON A MAP OF WINTER PARK GARDENS RECORDED IN MAP BOOK 3, PAGE 38, OF THE NEW HANOVER COUNTY REGISTRY; RUNNING THENCE IN A WESTERLY DIRECTION AND WITH AND ALONG SAID EXTENDED LINE OF LAKE AVENUE 350 FEET TO A POINT; THENCE IN A NORTHERLY DIRECTION AND PARALLEL WITH THE WESTERLY RIGHT OF WAY OF N.C. HIGHWAY 132, 275 FEET TO A POINT; THENCE EASTWARDLY AND PARALLEL WITH EXTENDED NORTHERLY LINE OF LAKE AVENUE 350 FEET TO A POINT IN THE WESTERN RIGHT OF WAY LINE OF N.C. HIGHWAY 132; THENCE SOUTHWARDLY WITH AND ALONG SAID WESTERN RIGHT AWAY LINE OF N.C. HIGHWAY 132, 275 FEET TO THE POINT OF BEGINNING.

TAX I.D. NUMBER: R06107-012-001-000

END OF SCHEDULE A

SCHEDULE B - SECTION II

EXCEPTIONS

ANY POLICY WE ISSUE WILL HAVE THE FOLLOWING EXCEPTIONS UNLESS THEY ARE TAKEN CARE OF TO OUR SATISFACTION.

(1) FACTS WHICH WOULD BE DISCLOSED BY A COMPREHENSIVE SURVEY OF THE PREMISES HEREIN DESCRIBED, AS SHOWN ON SURVEY

(2) RIGHTS OR CLAIMS OF PARTIES IN POSSESSION OR RIGHTS OF TENANTS IN POSSESSION AS TENANTS ONLY UNDER UNRECORDED LEASES, AS SHOWN ON SURVEY

(3) MECHANICS', CONTRACTORS' OR MATERIAL MEN'S LIENS AND LIEN CLAIMS, IF ANY, WHERE NO NOTICE THEREOF APPEARS OF RECORD. NOT A SURVEY ISSUE

(4) ANY CHANGES IN TITLE OCCURRING SUBSEQUENT TO THE EFFECTIVE DATE OF THIS COMMITMENT AND PRIOR TO THE DATE OF ISSUANCE OF THE TITLE POLICY. NOT A SURVEY ISSUE

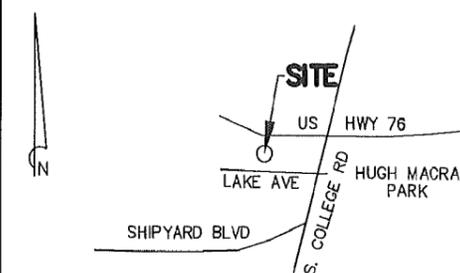
(5) TAXES AND SPECIAL ASSESSMENTS FOR CURRENT TAX YEAR DUE AND ALL SUBSEQUENT YEARS. NOT A SURVEY ISSUE

(6) SUBJECT TO COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS, AND RIGHTS OF WAY AND BUILDING SETBACKS AS SHOWN ON THE PLAT RECORDED IN BOOK 3, PAGE 38 OF NEW HANOVER COUNTY RECORDS, AS SHOWN ON SURVEY

END OF SCHEDULE B-II

REFERENCE:

1. REF PLAT MB 3 PG 38



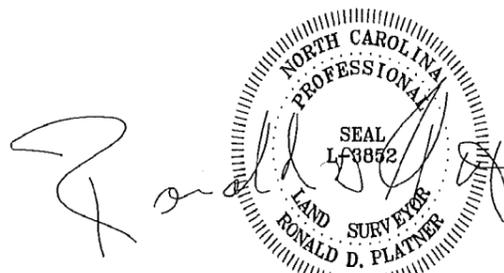
SITE MAP
N.T.S.

LEGEND

CH. LNK. FENCE	--o--	GROUND ROD	+
B. WIRE FENCE	--x--	PROP. CORNER	⊙
POWER LINE	--p--	POWER POLE	⊕
TELE. LINE	--t--	PP W/ G. WIRE	⊕
SIGN	—	LIGHT POLE	⊙
FIRE HYDRANT	⊕	BM OR GPS PT	⊕
WATER VALVE	⊕	ELEC. RACK	⊕
WATER METER	⊕	ICE BRIDGE	⊕
TELE. BOX	⊕	CONC. PAD	⊕
S.S. MH	⊕	EQUIP. PAD	⊕
STORM MH	⊕	POWER BOX	⊕

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE CALCULATED BOUNDARY LINES OF THE LEASE SITE AND EASEMENT SHOWN HEREIN ARE EQUIVALENT TO THE CLASS "B" ACCURACY REQUIREMENTS AS SPECIFIED IN THE "MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN NORTH CAROLINA."

RONALD D. PLATNER, P.L.S. NO. L-3852



REVISIONS

1	11/13/13	MOVE LEASE AREA/ADD TREES	BB
2	12/16/13	REVISE PER COMMENTS	BB
3	2/14/14	ADDED TITLE	RDP
NO.	DATE	DESCRIPTION	BY

NOTES:

- THIS EXHIBIT REPRESENTS THE LEASE SITE AND ACCESS, UTILITY AND MAINTENANCE EASEMENTS ONLY AND IS NOT INTENDED FOR ANY OTHER USE.
- ALL BEARINGS ARE NORTH CAROLINA STATE GRID, ALL COORDINATES ARE NAD 83 AND ALL ELEVATIONS ARE NAVD 88.
- TAX MAP PARCEL NO. R06107-012-001-000
- RATIO OF PRECISION = 1/10,000.
- AREA BY COORDINATE METHOD.
- THE LOCATIONS OF ANY UNDERGROUND UTILITIES IF SHOWN ARE BASED ON PAINTED MARKINGS OBSERVED IN THE FIELD AND/OR ARE APPROXIMATE.
- THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE REPORT WHICH MAY REVEAL ADDITIONAL CONVEYANCES, EASEMENTS OR RIGHTS-OF-WAY NOT SHOWN HEREIN.

NOTE:

THIS SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY BY RONALD D. PLATNER PROPERTY LINES WERE TAKEN FROM EXISTING FIELD EVIDENCE. EXISTING DEEDS AND PLATS OF PUBLIC RECORD FROM SURVEYS AND DOCUMENTS PROVIDED TO THE SURVEYOR BY THE OWNER OR CLIENT.

I HEREBY CERTIFY THAT I HAVE CONSULTED THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NO. 3720313600J DATED 4/03/06; AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THE SUBJECT PROPERTY IS LOCATED IN "ZONE X" WHICH IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE A, B, OR V.

LEASE SITE AND ACCESS, UTILITY, & MAINTENANCE EASEMENT EXHIBIT

PREPARED FOR

AMERICAN TOWER

SITE INFORMATION:

MACRAE PARK NC
TOWER SITE
SITE ID#: 275164
1642 S. COLLEGE RD
WILMINGTON, NEW HANOVER COUNTY, NC

RONALD D. PLATNER, PLS

1 WISE FERRY COURT
LEXINGTON, S. C. 29702
TELE. (803) 315-1238

SCALE: 0' 25' 50' 100'
1" = 50'

DRAWING NAME RIVER RD.DWG	DATE SEPT. 17, 2013	SHEET NO. C3
PROJECT NO. RIVER RD	FIELD BOOK NO. (SEE FILE)	

LEGEND

- X-X- CHAIN LINK FENCE
- PROPERTY LINE
- LEASE AREA
- OHT/OHP OVERHEAD TELEPHONE/OVERHEAD POWER
- UNDERGROUND UTILITY LINES
- LIMITS OF DISTURBANCE
- SILT FENCE



Public Services Engineering Division
APPROVED PLAN - NO PERMIT REQUIRED

Signed: _____

TPN RD6107-012-002-002
 DINITO LLC
 DB 5159 PG 569
 ZONED: R-15
 USE: UNDEVELOPED

DEVELOPMENT NOTES:

1. CAMA LAND USE CLASSIFICATION: URBAN
2. THE PROPOSED SITE IS NOT LOCATED IN A CAMA "SMALL AREA PLANS" GEOGRAPHIC AREA.
3. TOWER DEVELOPMENT AREA HAS 9 PINE TREES TO BE REMOVED RANGING IN DBH OF 15" TO 24"
4. OFF-STREET PARKING IS NOT REQUIRED FOR PROPOSED SITE. EXISTING PARKING HAS NOT BEEN REDUCED.
5. CONSTRUCTION AND GRADING FOR PROPOSED SITE WILL NOT DISTURB ANY WETLAND RESOURCES OR CONSERVATION SETBACKS.
6. THERE ARE NO IDENTIFIED WETLANDS OR CONSERVATION RESOURCE ON-PARCEL OR ADJACENT TO PROPOSED SITE.
7. FOR TREE REMOVAL PLAN, SEE SHEET L-1.

NOTES:

1. IF POWER & FIBER CONDUIT ARE PLACED IN THE SAME TRENCH, PER NEC CODE, A MINIMUM OF 12" SEPARATION IS REQUIRED BETWEEN THE POWER & FIBER CONDUIT.
2. SWEEPING 90'S TO BE INSTALLED AT ALL TURNS & BENDS (NO HARD 90'S).
3. INSTALL PULL BOX EVERY 500' OR EACH 3RD. 90 DEG. TURN.
4. CONDUIT TO BE PLACED IN THE UTILITY EASEMENT AND/OR ATC LEASE AREA.
5. TOWER WILL HAVE A WHITE FINISH.
6. TOWER LIGHTING IS NOT PROPOSED.

TPN R06106-005-046-000
 BELL SOUTH COMMUNICATIONS
 DB 1584 PG 1492
 DB 773 PG 324
 ZONED: R-15
 USE: UNDEVELOPED

TPN R06107-012-001-000
 BELL SOUTH COMMUNICATIONS
 DB 1584 PG 1492
 DB 773 PG 324
 MB 3 PG 38
 ZONED: O & I
 USE: UTILITY

1. EXISTING IMPERVIOUS PAVEMENT AREA = 12,617 S.F.
 EXISTING BUILDING = 17,517 SF
2. TOTAL EXISTING IMPERVIOUS = 30,134 S.F.
3. EXISTING PERCENT IMPERVIOUS AREA = 31%
4. PROPOSED ATC IMPERVIOUS AREA = 238 S.F.
5. INCREASE IN IMPERVIOUS = 0.7%

7. BUILDING SETBACK REQUIREMENTS:

REQUIRED SETBACKS	ACTUAL SETBACKS
FRONT = 25'	FRONT = 49'-0"
REAR = 20'	REAR = 184'-11"
SIDE = 10"	SIDE = 40'-8"

PROPOSED AT&T 11'-5"x12' EQUIPMENT SHELTER IN A 192 S.F. LEASE AREA

PROPOSED 150' UNIPOLE

PROPOSED 10'x10' ATC TOWER LEASE AREA

ATC TO INSTALL (2) 4" SCH. 40 PVC U.G. CONDUITS POWER TO EXISTING UTILITIES

PROPOSED FIBER DEMARK/CHARLES CLOSURE

ATC TO INSTALL (1) 4" SCH. 40 PVC U.G. CONDUIT FROM FIBER DEMARK TO EXISTING FIBER/TELCO HAND HOLE

EXISTING TEL. BOX

BM TOP FHYD
 EL. 42.55'

EXISTING TREE (TYP.)

EXISTING FIBER OPTIC MARKER

EXISTING UG FIBER CABLE

EXISTING PROPERTY LINE

EXISTING CHAIN LINK FENCE

PROPOSED 5'x10' AT&T GENERATOR PAD IN A 58 S.F. LEASE AREA

PROPOSED 61.5'x90' TOWER DEVELOPMENT AREA TO BE KEPT IN NATURAL STATE W/ PINE STRAW COVER

LAKE AVE 60' PUBLIC R/W

S. COLLEGE RD 100' PUBLIC R/W

SCALE IN FEET



TRUE NORTH



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architects
 engineers

5681 COLUMBA PKE, SUITE 200
 FALLS CHURCH, VA 22041-2888
 TEL: (703) 671-6000
 FAX: (703) 671-6300

SHEET REVISION

NO.	DESCRIPTION	BY	DATE
1	CITY CHGS.	AGT	04-24-14
2			
3			
4			
5			
6			

ATC SITE NUMBER:

275164

ATC SITE NAME:

MAC RAE PARK NC

SITE ADDRESS:

1642 SOUTH COLLEGE ROAD
 WILMINGTON, NC 28409



DRAWN BY:	AGT
CHECKED BY:	DRS
DATE DRAWN:	03-24-14
SUBMISSION:	FINAL CD'S
SHEET TITLE:	

SITE PLAN

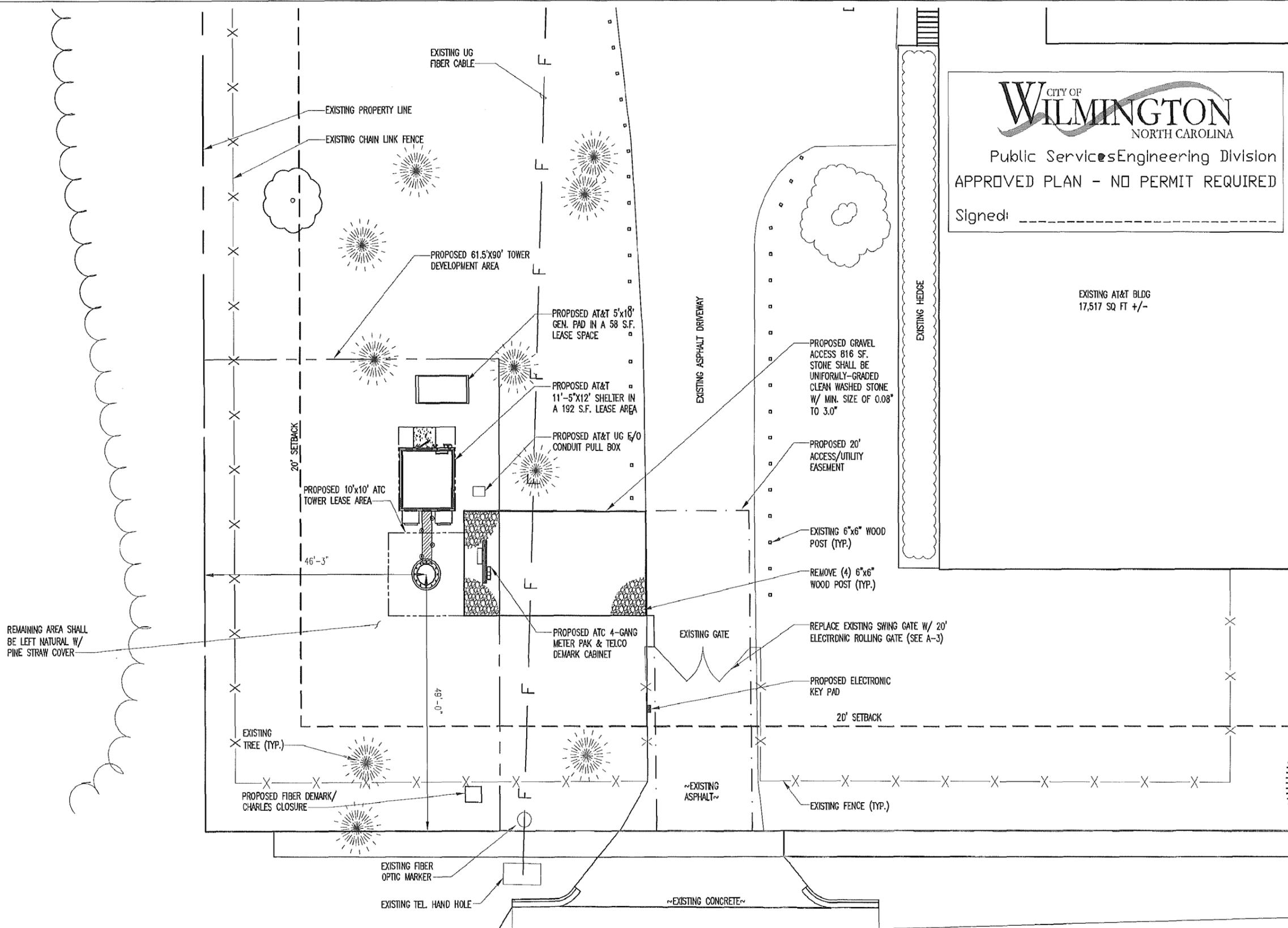
SHEET NUMBER:	REV. #
A-0	1

04-24-14 ARNOLD 16:48:00 Y:/Drawings - 2013/ATC/Mac Rae Park NC - 275164/_CD's Rev 1 2014-04-24/AO.dwg

1"=17' - 1"=40'
 24"=36' - 1"=20'

SITE PLAN

04-24-14 ARNOLD 16:42:13 Y:/Drawings - 2013/ATC/Mac Rae Park NC - 275164/_CD's Rev 1 2014-04-24/A1.dwg




CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services Engineering Division
 APPROVED PLAN - NO PERMIT REQUIRED
 Signed: _____

EXISTING AT&T BLDG
17,517 SQ FT +/-


AMERICAN TOWER CORPORATION
 496 LONG POINT ROAD
 MOUNT PLEASANT, SC 29464
 TEL: (843) 971-8385
 FAX: (843) 971-8889

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 engineers
 5661 COLUMBIA PIKE, SUITE 200
 FALLS CHURCH, VA 22041-2868
 TEL: (703) 671-6000
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SHEET REVISION

NO.	DESCRIPTION	BY	DATE
1	CLIENT CHGS.	AGT	01-10-14
2			
3			
4			
5			
6			

ATC SITE NUMBER:
275164
 ATC SITE NAME:
MAC RAE PARK NC
 SITE ADDRESS:
 1642 SOUTH COLLEGE ROAD
 WILMINGTON, NC 28409

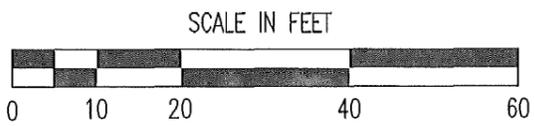


DRAWN BY:	AGT
CHECKED BY:	DRS
DATE DRAWN:	03-24-14
SUBMISSION:	FINAL CD'S

SHEET TITLE:

ENLARGED SITE PLAN

SHEET NUMBER:	REV. #
A-1	1



1"=17' - 1"=20'
 24"=36' - 1"=10'

ENLARGED SITE PLAN

NOTES:

G.C. SHALL TEST AND DOCUMENT THAT THE TOWER LIGHTING SYSTEMS ARE FUNCTIONING PROPERLY DURING & UPON COMPLETION OF EQUIPMENT INSTALLATION.

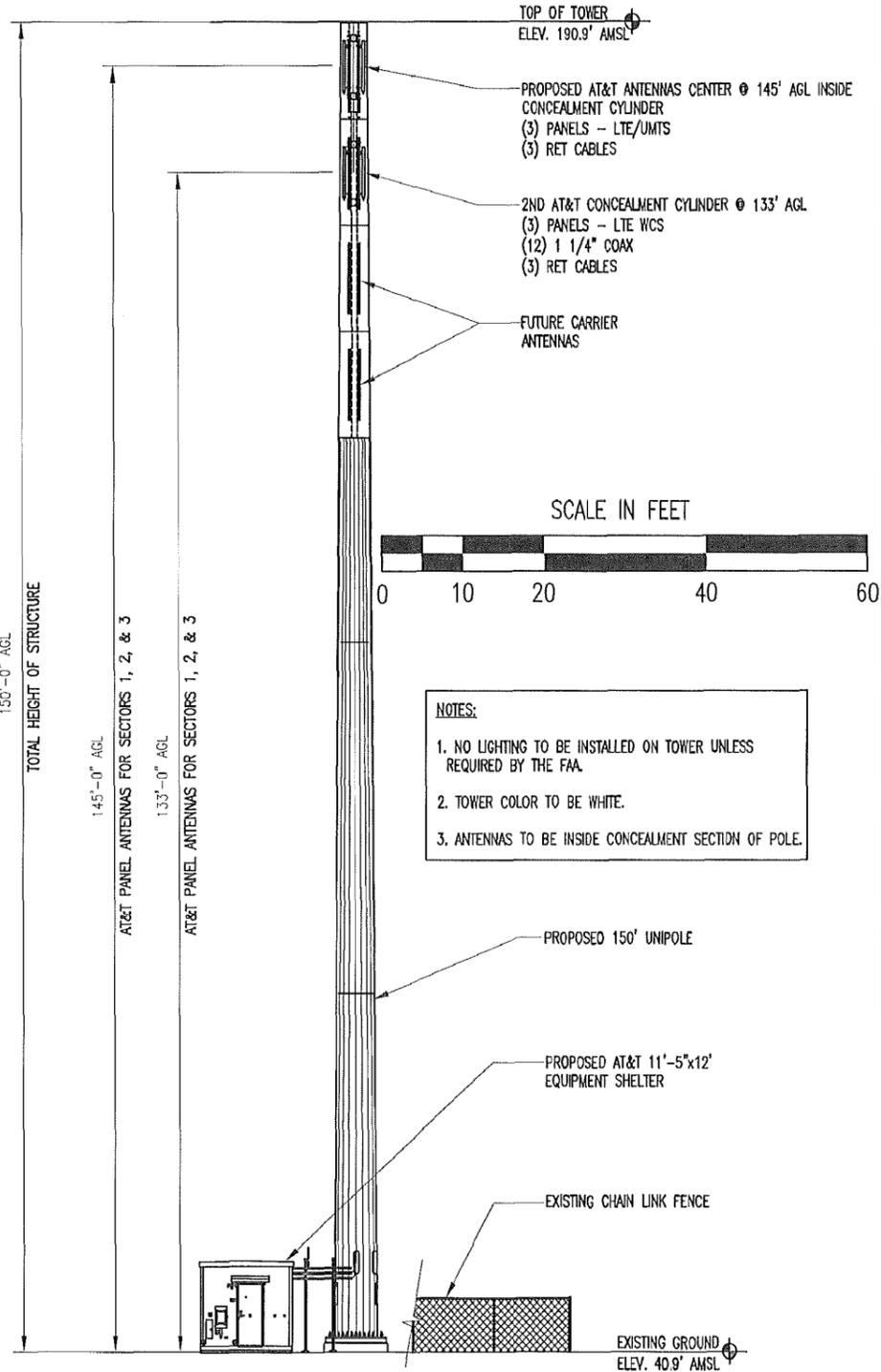
G.C. WILL PERFORM TWO HEIGHT VERIFICATIONS ON AT&T PROVIDED FORMS AS FOLLOWS:

TAPE DROP #1 SHALL BE SUBMITTED TO THE APPROPRIATE AT&T TOWER CONSTRUCTION MANAGER WITHIN (24) HOURS UPON COMPLETION OF THE TOWER ERECTION AND WILL DOCUMENT THE DIMENSION FROM THE GROUND TO HIGHEST POINT ON THE TOWER (I.E.: LIGHTNING ROD).

TAPE DROP #2 SHALL BE PERFORMED AND SUBMITTED TO THE APPROPRIATE AT&T CONSTRUCTION MANAGER WITHIN (72) HOURS UPON COMPLETION OF THE ANTENNA AND LINE INSTALLATION. THIS FORM WILL ACCOMPANY THE SWEEP TEST REPORTS AND WILL DOCUMENT THE DIMENSION FROM THE GROUND TO THE TOP OF AT&T'S ANTENNAS.

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INVENTORY THE TOWER MATERIALS UPON DELIVERY TO THE SITE. A BILL OF MATERIAL, (PACKING LIST(S)) WILL BE INCLUDED WITH THE SHIPMENT. IF THIS LIST OR LISTS ARE NOT INCLUDED, PLEASE NOTIFY THE AT&T PROJECT MANAGER IMMEDIATELY. FAILURE TO REPORT MATERIAL SHORTAGES OR DAMAGED GOODS WITHIN 48 HOURS OF RECEIPT WILL INDICATE THE G.C. HAS ACCEPTED ALL MATERIAL IN GOOD CONDITION AND ALL IS ACCOUNTED FOR.

ANY MATERIAL SHORTAGES OR DAMAGES REPORTED AFTER 48 HOURS WILL AT THAT POINT BE THE RESPONSIBILITY OF THE G.C. TO HAVE CORRECTED BY THE TOWER VENDOR AT HIS/HER EXPENSE.



NOTES:

1. NO LIGHTING TO BE INSTALLED ON TOWER UNLESS REQUIRED BY THE FAA.
2. TOWER COLOR TO BE WHITE.
3. ANTENNAS TO BE INSIDE CONCEALMENT SECTION OF POLE.

INFORMATION

Federal Communications Commission
Tower Registration Number

1 2 3 4 5 6 7

Posted in accordance with Federal Communications Commission rules on antenna tower registration 47CFR 17.4 (g)

FCC REGISTRATION SIGN
WHITE/GREEN BACKGROUND, WHITE/BLACK LETTERING
MOUNTING LOCATION: GATE & BASE OF TOWER
QUANTITY: 2

WILMINGTON
CITY OF NORTH CAROLINA

Public Services Engineering Division

APPROVED PLAN - NO PERMIT REQUIRED

Signed: _____

NOTICE

AUTHORIZED PERSONNEL ONLY

OWNER CONTACT SIGN
WHITE BACKGROUND, BLACK/RED LETTERING
MOUNTING LOCATION: GATE
QUANTITY: 1

DANGER

HIGH VOLTAGE WITHIN KEEP OUT

AT&T DOOR SIGN
1. INSTALL SIGN ON SHELTER DOOR.
2. SIGN CAN BE OBTAINED FROM ST. CLAIR SIGNS, INC. 3184 WADE HAMPTON BLVD. TAYLORS, SC 29687 (864) 244-0044

AMERICAN TOWER CORPORATION

SITE NAME: _____
SITE NUMBER: _____
FCC REGISTRATION NUMBER: _____

FOR LEASING INFORMATION: 877-282-7483
877-ATC-SITE

IN CASE OF EMERGENCY: 877-518-6937
877-51-TOWER

NO TRESPASSING

www.americantower.com
POSTING OF THIS SIGN REQUIRED BY LAW

Property of

at&t

Authorized Personnel Only

In case of emergency, or prior to performing maintenance on this site, call (800) 298-3551 and reference cell site number 478-104

AMERICAN TOWER CORPORATION

498 LONG POINT ROAD
MOUNT PLEASANT, SC 29464
TEL: (843) 971-8385
FAX: (843) 971-8889

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engineers

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TEL: (703) 671-6000
FAX: (703) 671-6300

SHEET REVISION

NO.	DESCRIPTION	BY	DATE
1			
2			
3			
4			
5			

ATC SITE NUMBER:
275164

ATC SITE NAME:
MAC RAE PARK NC

SITE ADDRESS:
1642 SOUTH COLLEGE ROAD
WILMINGTON, NC 28409

PROFESSIONAL SEAL

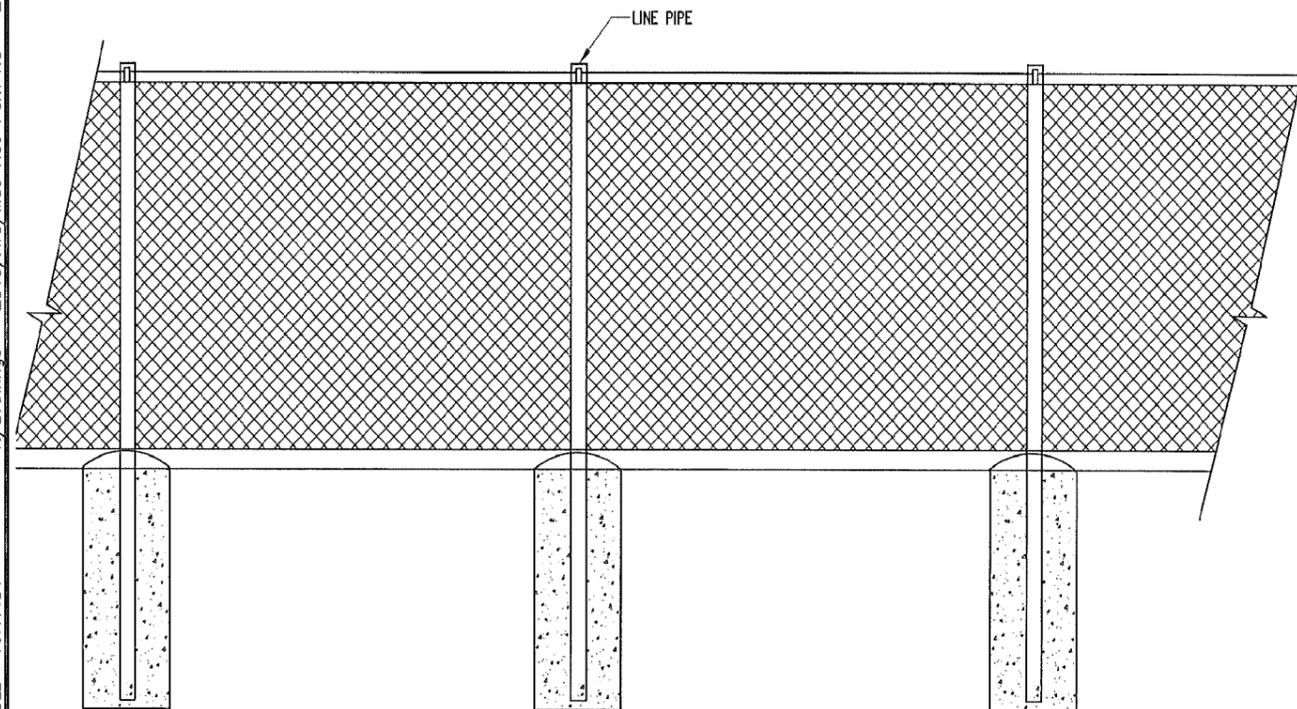
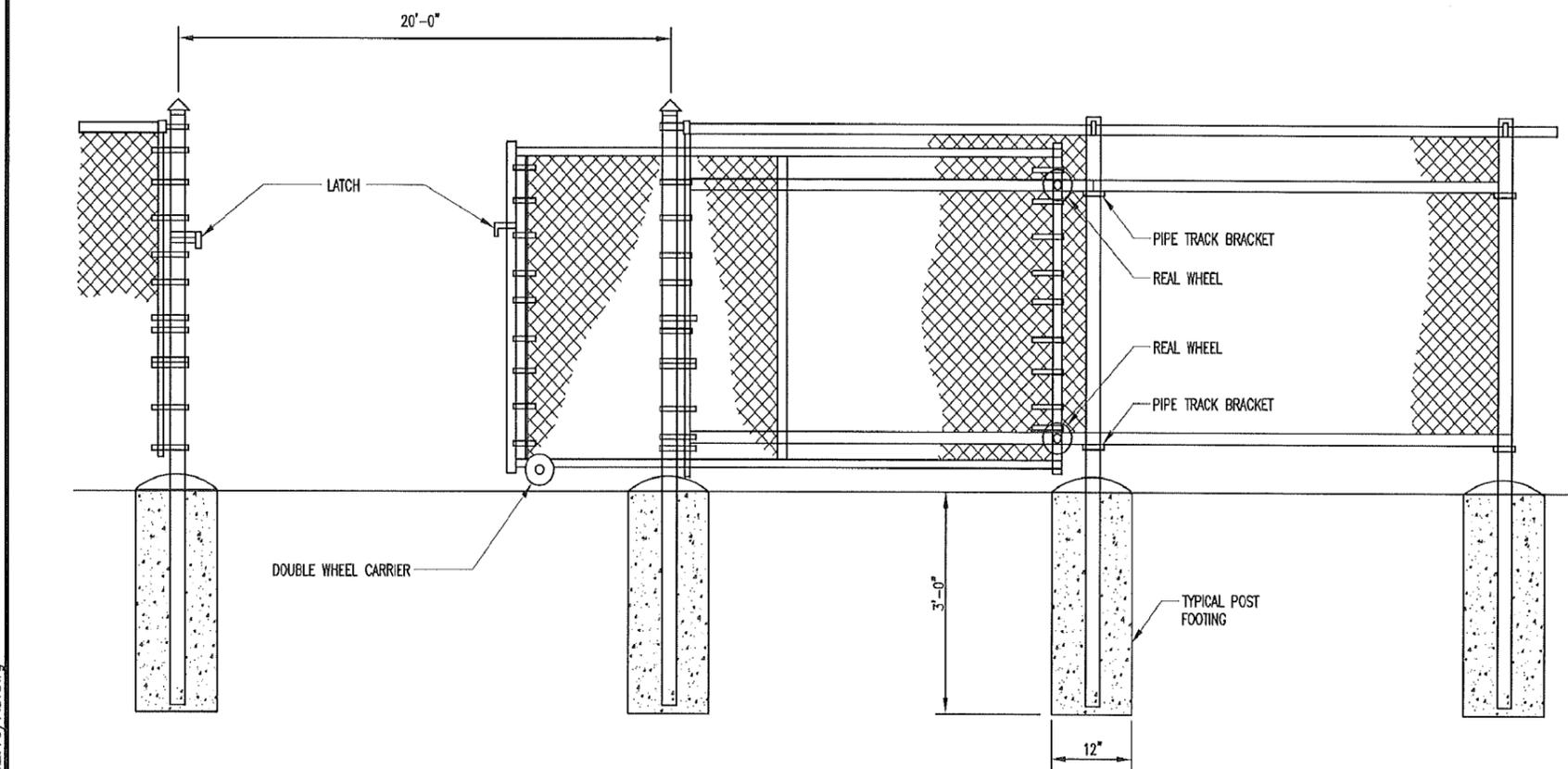
0024902
4.24.14
CHRISTOPHER D. MORIN
ENGINEER

DRAWN BY:	AGT
CHECKED BY:	DRS
DATE DRAWN:	03-24-14
SUBMISSION:	FINAL CD'S

TOWER ELEVATION & SIGNAGE SPECIFICATIONS

SHEET NUMBER: A-2 REV. #

Y:\Drawings - 2013\ATC\Mac Rae Park NC - 275164\CD's_2014.02.10\A3.dwg
3-24-14 ARNOLD 10:17:04



HOOVER FENCE
5531 MCCLINTOCKSBURG RD
NEWTOWN FALLS, OH. 44444
1 (800) 355-2335

(OR APPROVED EQUAL)

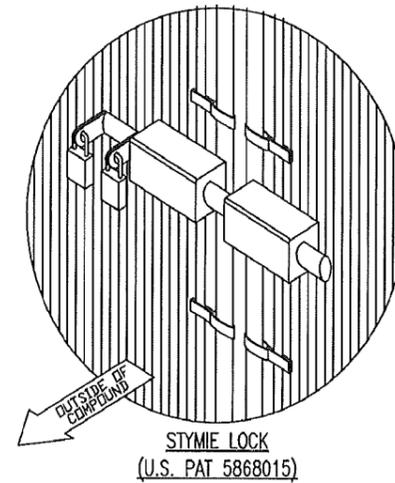
REFERENCE NOTES:

- ① CORNER, END OR PULL POST: 3" NOMINAL SCHEDULE 40 PIPE.
- ② LINE POST: 2 1/2" SCHEDULE 40 PIPE, PER ASTM-F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM OF 8'-0" O.C.
- ③ TOP RAIL & BRACE RAIL: 1 1/2" PIPE, PER ASTM-F1083.
- ④ FABRIC: 9 GA CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392.
- ⑤ GATE POST: CONCRETE FOUNDATION (3000 PSI).
- ⑥ TENSION WIRE: 9 GA. GALVANIZED STEEL.
- ⑦ FINISH GRADE SHALL BE UNIFORM AND LEVEL.
- ⑧ GATE POST: 4" SCHEDULE 40 PIPE, FOR GATE WIDTHS UP THRU 7 FEET OR 14 FEET FOR DOUBLE SWING GATE, PER ASTM-F1083.
- ⑨ 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- ⑩ FENCE CORNER POST BRACE: 1 5/8" DIA. EACH CORNER EACH WAY.

CITY OF
WILMINGTON
NORTH CAROLINA

Public Services Engineering Division
APPROVED PLAN - NO PERMIT REQUIRED

Signed: _____



STORE EXTRA PARTS OF MULTI-LOCK DEVICE IN TELCO CABINET.

NO PLUNGER OR MUSHROOM REQUIRED.

AMERICAN TOWER CORPORATION
496 LONG POINT ROAD
MOUNT PLEASANT, SC 29464
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FAX: (843) 971-8889

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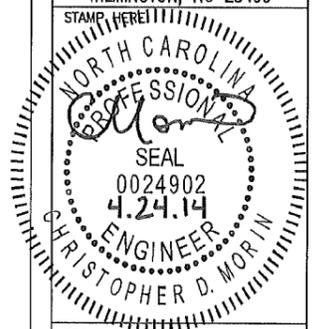
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FAX: (703) 671-6300

SHEET REVISION			
NO.	DESCRIPTION	BY	DATE
1			
2			
3			
4			
5			
6			

ATC SITE NUMBER:
275164
ATC SITE NAME:
MAC RAE PARK NC
SITE ADDRESS:
1642 SOUTH COLLEGE ROAD
WILMINGTON, NC 28409



DRAWN BY:	AGT
CHECKED BY:	DRS
DATE DRAWN:	03-24-14
SUBMISSION:	FINAL CD'S

SHEET TITLE:
FENCE, GATE AND COMPOUND CROSS SECTION DETAIL

SHEET NUMBER: REV. #

A-3

N.T.S.

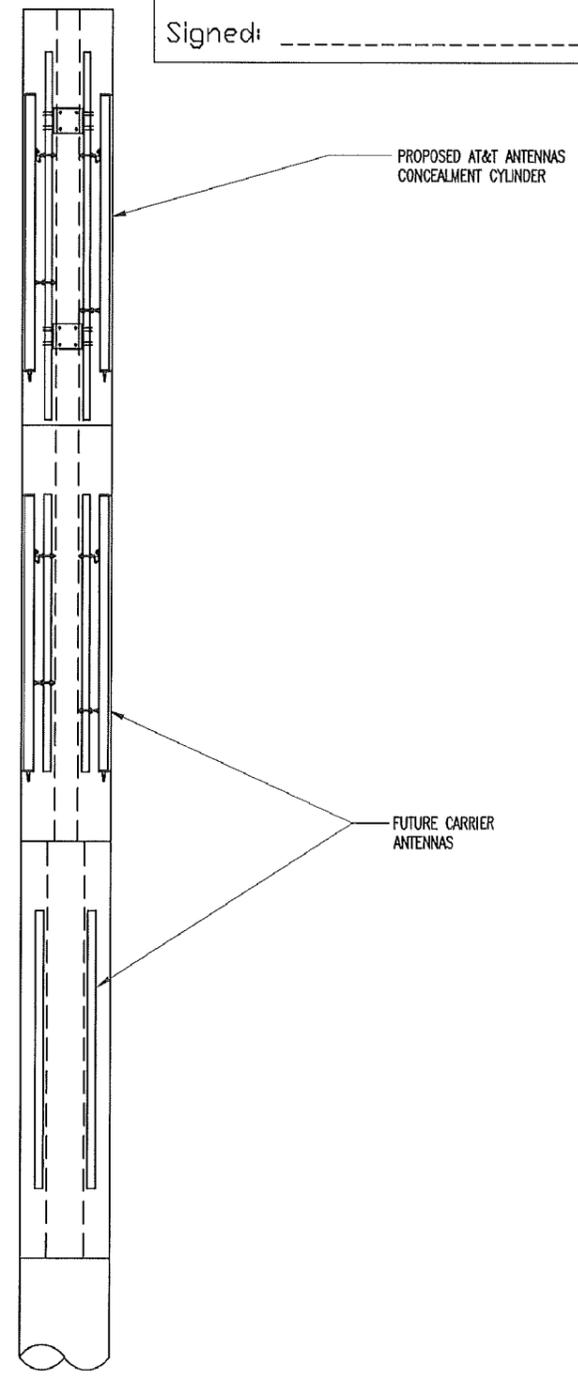
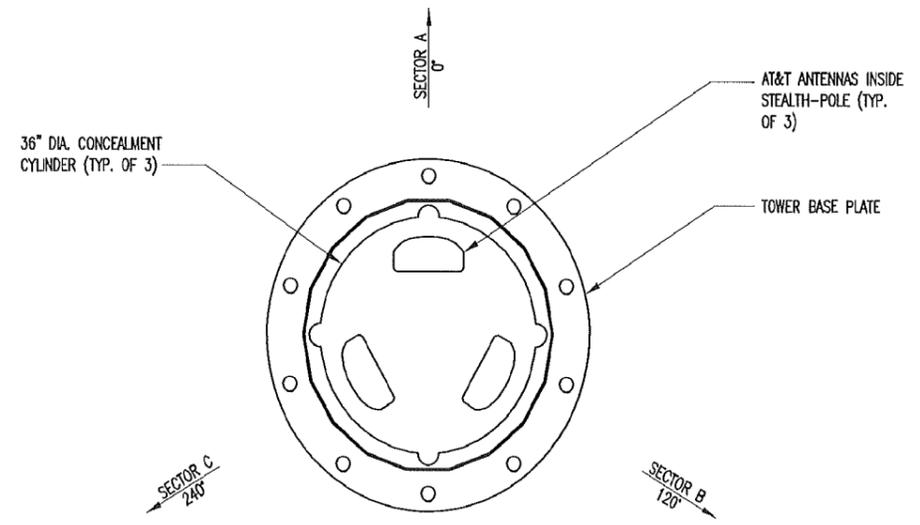
FENCE, GATE AND COMPOUND CROSS SECTION DETAIL

02-11-14 VICTOR GARCIA 10:37:19 Y:/Drawings - 2013/ATC/Mac Rae Park NC - 275164/_CD's_2014.02.10/A7.dwg



Public Services Engineering Division
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Signed: _____



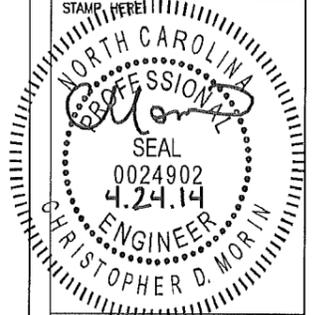
AMERICAN TOWER CORPORATION
 498 LONG POINT ROAD
 MOUNT PLEASANT, SC 29464
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 FAX: (843) 971-8889

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SHEET REVISION			
NO.	DESCRIPTION	BY	DATE
1			
2			
3			
4			
5			
6			

ATC SITE NUMBER:
275164
 ATC SITE NAME:
MAC RAE PARK NC
 SITE ADDRESS:
 1642 SOUTH COLLEGE ROAD
 WILMINGTON, NC 28409



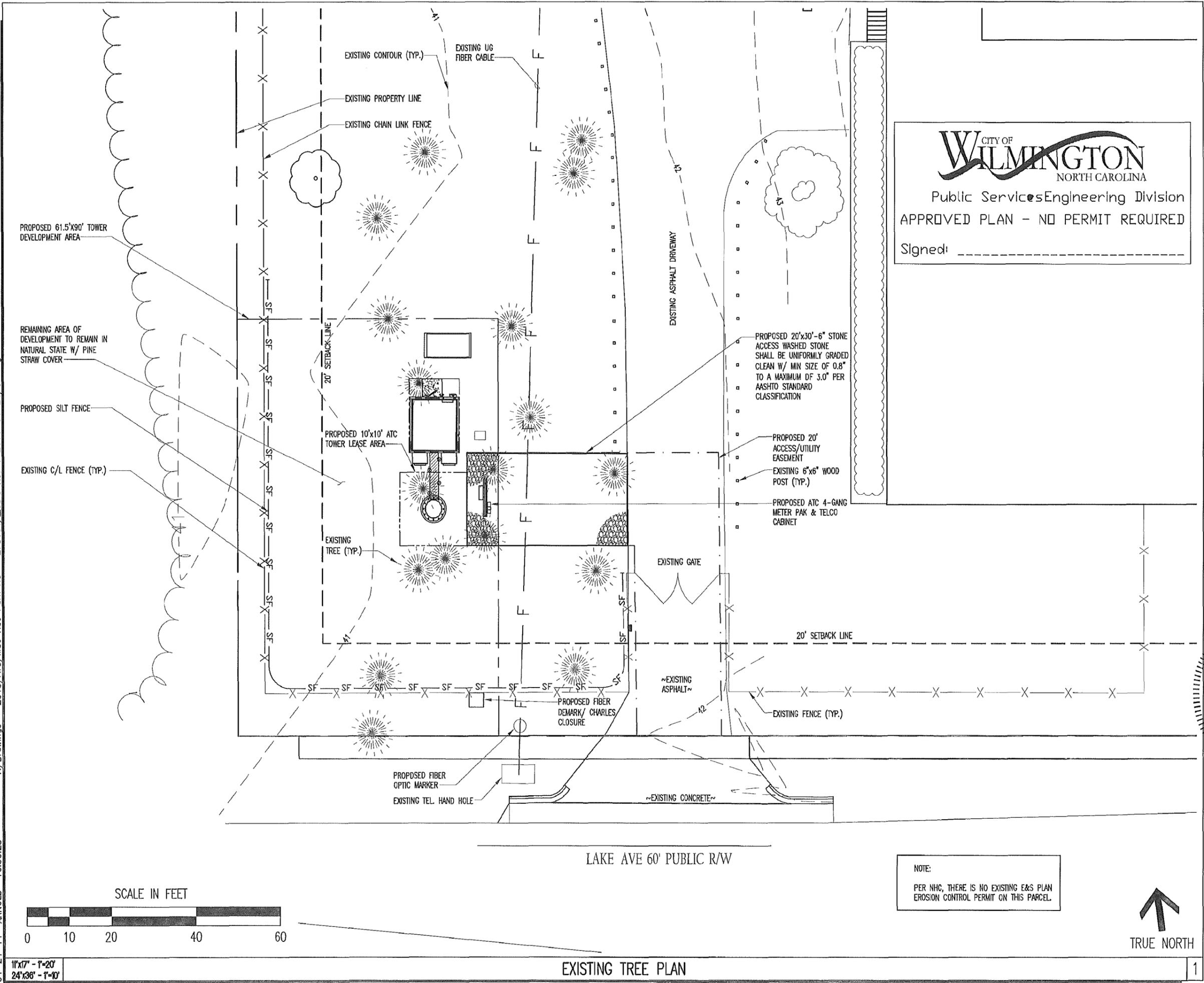
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CHECKED BY:	DRS
DATE DRAWN:	03-24-14
SUBMISSION:	FINAL CD'S

SHEET TITLE:
AT&T ANTENNA DETAILS

SHEET NUMBER:	REV. #
A-7	

N.T.S.	PLAN VIEW OF AT&T ANTENNAS	1	N.T.S.	ELEVATION OF AT&T ANTENNAS	2
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 04-24-14 ARNOLD 16:30:25



CITY OF WILMINGTON
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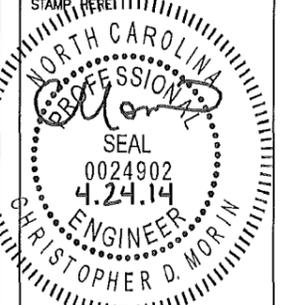
AMERICAN TOWER CORPORATION
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 MOUNT PLEASANT, SC 29464
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SHEET REVISION			
NO.	DESCRIPTION	BY	DATE
1	NEW SHEET	AGT	04-24-14
2			
3			
4			
5			
6			

ATC SITE NUMBER:
275164
 ATC SITE NAME:
MAC RAE PARK NC
 SITE ADDRESS:
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 WILMINGTON, NC 28409



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CHECKED BY:	DRS
DATE DRAWN:	03-24-14
SUBMISSION:	FINAL CD'S

SHEET TITLE:
TREE REMOVAL PLAN
 SHEET NUMBER: **G-1** REV. # **1**

NOTE:
 PER NHC, THERE IS NO EXISTING E&S PLAN EROSION CONTROL PERMIT ON THIS PARCEL.



EXISTING TREE PLAN

NOTES:
 ① STONE ACCESS SHALL MEET PERVIOUS SPECIFICATION: UNIFORMLY GRADED CLEAN WASHED STONE W/ MIN. SIZE OF 0.08" TO 3.0"

NOTE:
 TREE NUMBERING IS BASED ON SURVEY

TREE REMOVAL TABLE		
NO.	SPECIES	DBH
22	SOUTHERN PINE	19"
23	SOUTHERN PINE	20"
24	SOUTHERN PINE	24"
25	SOUTHERN PINE	20"
26	SOUTHERN PINE	18"
27	SOUTHERN PINE	15"
30	SOUTHERN PINE	18"
31	SOUTHERN PINE	19"
33	SOUTHERN PINE	16"
34	SOUTHERN PINE	23"
35	SOUTHERN PINE	18"

REMAINING TREES		
NO.	SPECIES	DBH
1	PINE	20"
2	PINE	18"
3	PINE	15"
4	PINE	14"
5	PINE	14"
6	PINE	12"
7	PINE	14"
8	PINE	12"
9	PINE	16"
10	PINE	20"
11	PINE	20"
12	PINE	12"
13	PINE	20"
14	PINE	15"
15	LIVE OAK	14"
16	PINE	10"
17	PINE	18"
18	PINE	12"
19	OAK	34"
20	PINE	22"
21	PINE	20"
28	PINE	16"
29	PINE	20"
32	PINE	24"
36	PINE	20"
37	PINE	21"

AMERICAN TOWER CORPORATION
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 MOUNT PLEASANT, SC 29464
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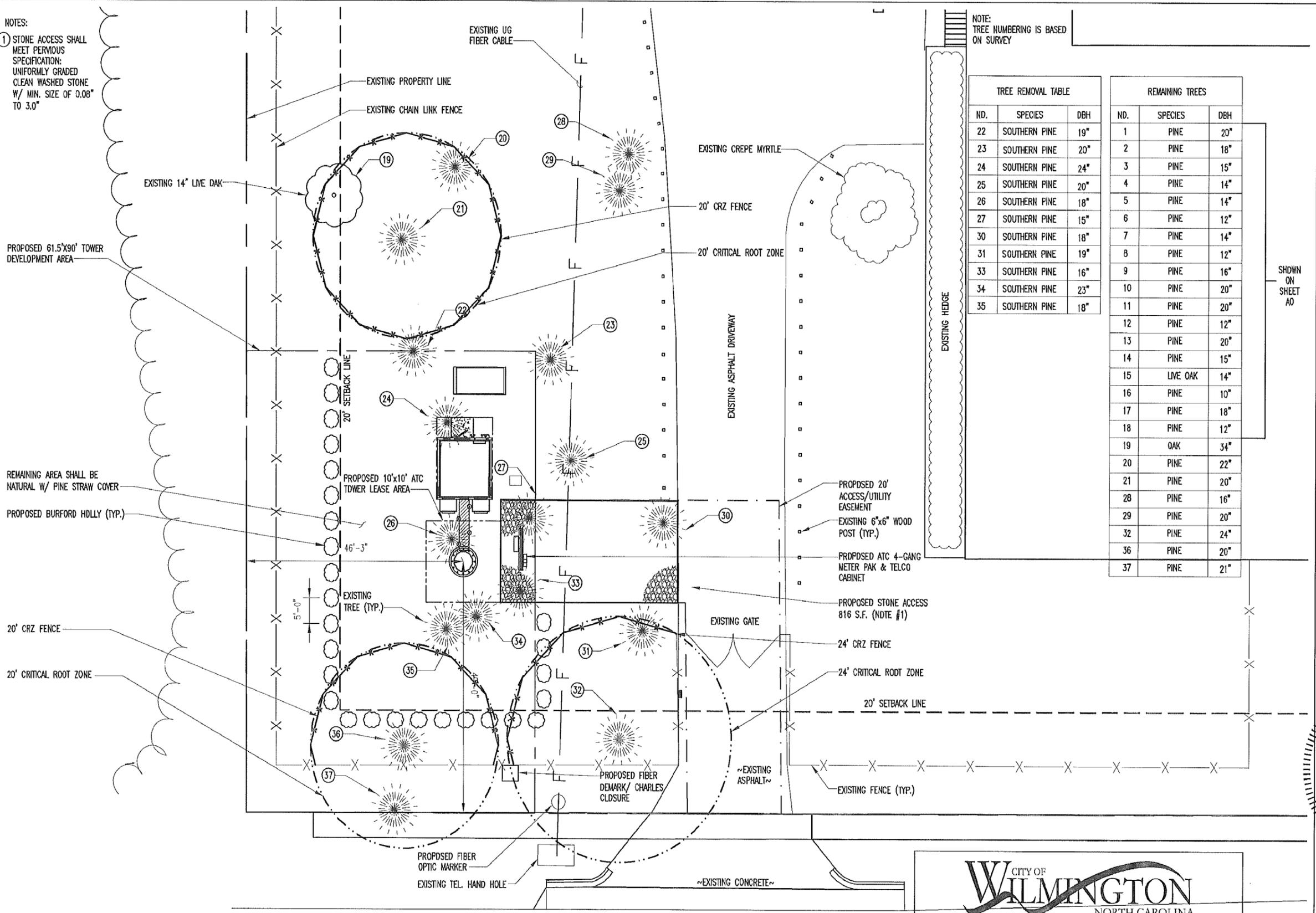


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 DATE DRAWN: 03-24-14
 SUBMISSION: FINAL CD'S
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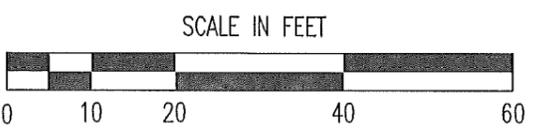
TREE REMOVAL PLAN

SHEET NUMBER: **L-1** REV. # **1**

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SYMBOL	QNTY.	SCIENTIFIC NAME	HGT. @ PLANTING	HGT. @ MATURITY	COMMON NAME	SIZE
	27	ILEX CORNUTA	3'-0"	6-10 FT.	BURFORD HOLLY	5 GAL.



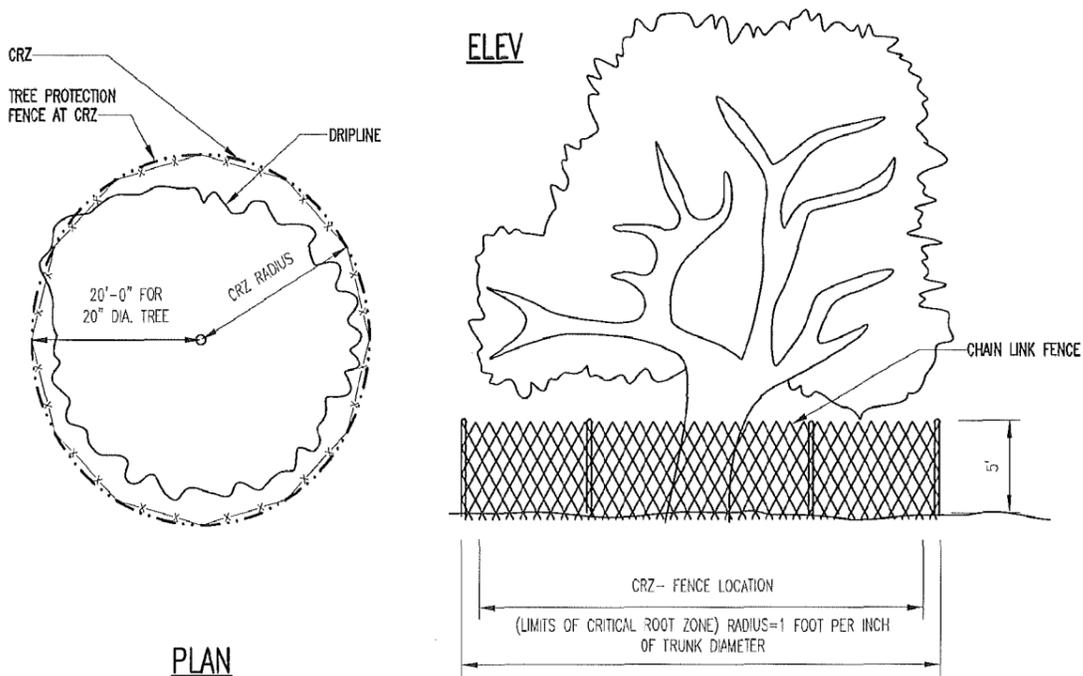
Public Services Engineering Division
 APPROVED PLAN - NO PERMIT REQUIRED

Signed: _____



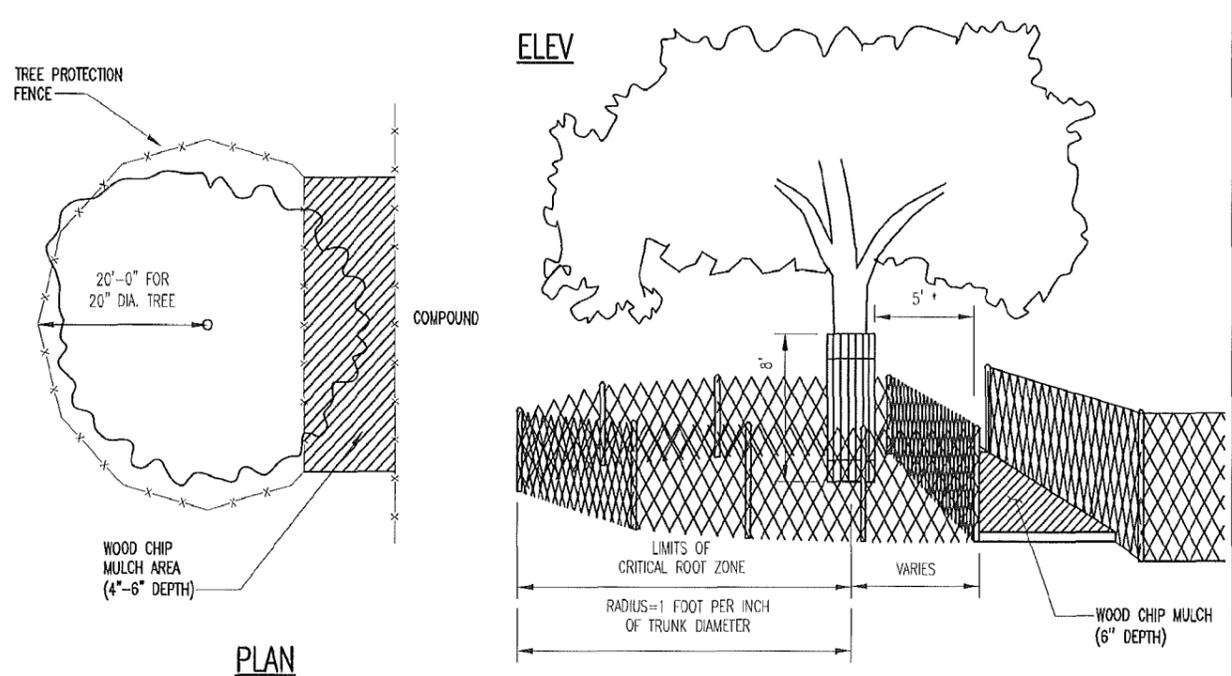
EXISTING TREE PLAN

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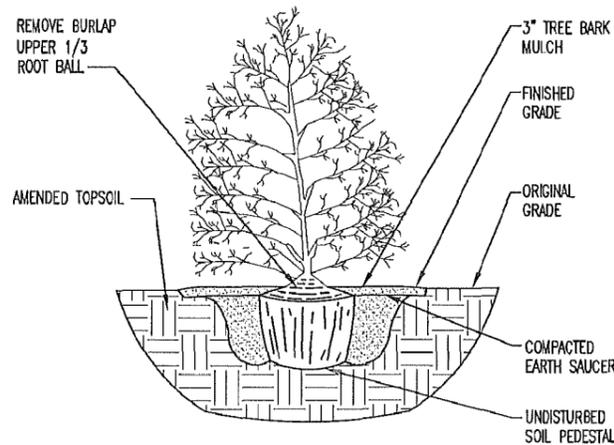


N.T.S. TREE PROTECTION FENCING DETAIL (GENERAL) 1

THIS DETAIL TO BE USED ONLY IF PROTECTED TREE IS IN CLOSE PROXIMITY TO COMPOUND



N.T.S. TREE PROTECTION FENCING DETAIL (NEAR COMPOUND) 2



N.T.S. SHRUB DETAIL 3

NOTES:

1. EXISTING TREES AND PLANTS ARE BEING USED TO MEET LANDSCAPE CODE REQUIREMENTS. IF ANY TREES DIE OR ARE REMOVED THEY WILL BE REPLACED AS PER THE LANDSCAPE CODE REQUIREMENTS.
2. ALL PLANT MATERIAL LOCATED WITHIN THE CONSTRUCTION AREA THAT IS DAMAGED OR REMOVED DUE TO WORK REQUIRED BY THE UTILITY COMPANY SHALL BE IMMEDIATELY REPLACED BY THE OWNER IN ACCORDANCE WITH LANDSCAPE CODE REQUIREMENTS.
3. GRASS OR GROUND COVER SHALL BE PLANTED ON ALL PORTIONS OF THE LANDSCAPE BUFFER AREA NOT OCCUPIED BY OTHER LANDSCAPE MATERIAL.
4. ALL UNHEALTHY OR DEAD PLANT MATERIAL SHALL BE REPLACED WITHIN ONE YEAR, OR BY THE NEXT PLANTING PERIOD, WHICHEVER COMES FIRST, WHILE OTHER DEFECTIVE PLANT MATERIAL SHALL BE REPLACED OR REPAIRED WITHIN THREE (3) MONTHS.
5. DIMENSION LINES HAVE BEEN USED ON THIS PLAN TO ESTABLISH THE GENERAL LOCATION OF TREE CANOPY PROTECTION AREA (TCPAs) AND REPRESENT MINIMUM DISTANCES. THE FINAL BOUNDARY FOR EACH TCPA SHALL BE ESTABLISHED IN THE FIELD TO INCLUDE CANOPY AREA OF ALL TREES AT OR WITHIN THE DIMENSION LINE.
6. TREE PROTECTION FENCING SHALL BE ERECTED ADJACENT TO ALL TCPAs PRIOR TO SITE DISTURBANCE APPROVAL TO PROTECT THE EXISTING TREE STANDS AND THEIR ROOT SYSTEMS. THE FENCING SHALL BE LOCATED AT THE CRITICAL ROOT ZONE RADIUS AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED.
 - TWO TREES ARE TO BE PROTECTED DURING THIS INSTALLATION: 17" SYCAMORE (SEE L-1 SHEET) AND 36" OAK (SEE G-1 SHEET) FOR LOCATIONS.
7. DURING ALL CONSTRUCTION ACTIVITY (INCLUDES CLEARING, GRADING, BUILDING CONSTRUCTION, AND UTILITY CONSTRUCTION) A COPY OF THE APPROVED TREE PRESERVATION PLAN SHALL BE ON-SITE.

LANDSCAPING NOTES 4

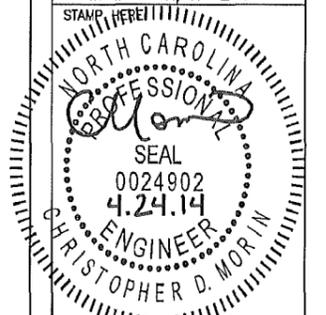
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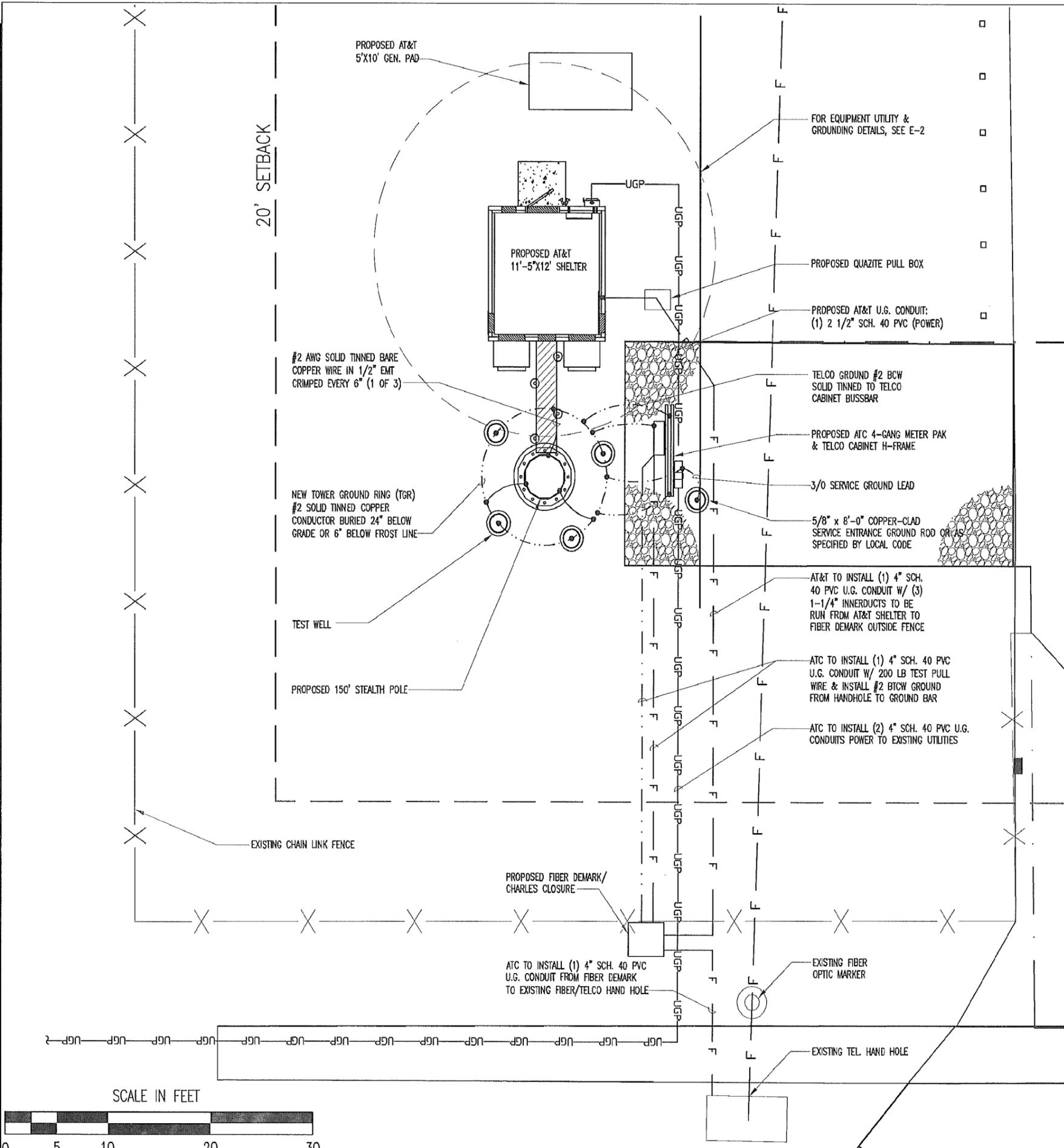


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SHEET TITLE:
LANDSCAPING DETAILS & NOTES

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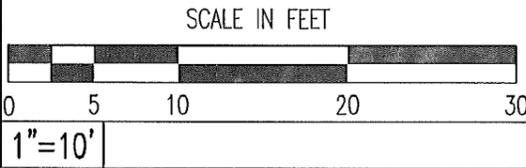
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ELECTRICAL LEGEND	
---	UNDERGROUND CONDUIT
---	GROUND CABLE RUN BELOW GRADE
⊙	5/8" x 8'-0" COPPER CLAD, STEEL GROUND ROD.
⊙---	EXOTHERMIC CONNECTION OF GROUND CABLE TO GROUND ROD
---	SUBGRADE GROUNDING CABLE TO CABLE CONNECTION USING EXOTHERMIC PROCESS.
⊙	ATC GROUND ROD TEST WELL

1. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER WHEN THE GROUNDING SYSTEM IS COMPLETE. THE CONSTRUCTION MANAGER SHALL INSPECT THE GROUNDING SYSTEM PRIOR TO BACKFILLING.
2. MAXIMUM SPACING BETWEEN GROUND RODS 10'-0".
3. VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY DIGGING.
4. GROUND CONDUCTOR BENDS SHALL NOT BE LESS THAN 8" RADIUS.
5. CADWELDED GROUND WIRE TO CABLE SUPPORT STRUCTURE.
6. G.C. SHALL PROVIDE PVC CAP ON ALL OPEN CONDUITS & PULLSTRINGS.
7. G.C. SHALL CONDUCT POST CONSTRUCTION RESISTANCE TESTING TO INSURE SYSTEM IS 5 OHM OR LESS.
8. IF POWER & FIBER CONDUIT ARE PLACED IN THE SAME TRENCH, PER NEC CODE, A MINIMUM OF 12" SEPARATION IS REQUIRED BETWEEN THE POWER & FIBER CONDUIT.
9. SWEEPING 90'S TO BE INSTALLED AT ALL TURNS & BENDS (NO HARD 90'S).
10. PULL BOX SHALL BE INSTALLED EVERY 500' OR 3RD 90' TURN.
11. CONDUIT TO BE PLACED IN UTILITY EASEMENT AND/OR ATC LEASE AREA.


 CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services Engineering Division
 APPROVED PLAN - NO PERMIT REQUIRED
 Signed: _____



UTILITY PLAN & GROUNDING PLAN

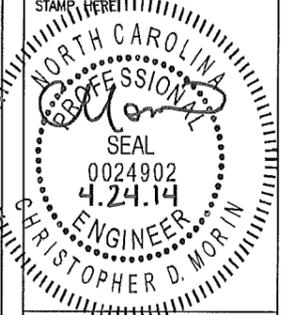

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UTILITY & COMPOUND GROUNDING PLAN

SHEET NUMBER: **E-1** REV. # _____

