

NOTES:
 1. SOLID LINES ARE LINES SURVEYED. DASHED LINES ARE LINES NOT SURVEYED, RECORDED DATA ONLY.
 2. TOPOGRAPHY SHOWN ON THIS MAP REFERENCES NAVD88 VERTICAL DATUM. CONTOUR INTERVAL EQUALS 1.0'.
 3. THE ERROR OF CLOSURE CALCULATED BY LATITUDES AND DEPARTURES IS 1/ 10,000+. THE MISCLOSURE IS DISTRIBUTED BY THE CRANDALL METHOD AND THE AREA, IF SHOWN, IS CALCULATED BY COORDINATE METHOD.
 4. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 5. 100 YEAR FLOOD LINE DOES NOT FALL WITHIN PROJECT LIMITS.
 6. NEW PROPOSED PARKING AREA IN FRONT OF EXISTING BUILDING ADDED TO SITE PLAN 8-15-16.
 7. NEW PROPOSED PARKING AREA IN REAR OF EXISTING BUILDING ADDED TO SITE PLAN 8-16-16.
 8. NOTE FOR PARKING ADDED TO SITE PLAN 8-18-16.
 9. PARKING/LANDSCAPING EDITED 10-13-16. DRAINAGE PATTERN ADDED 10-11-16.

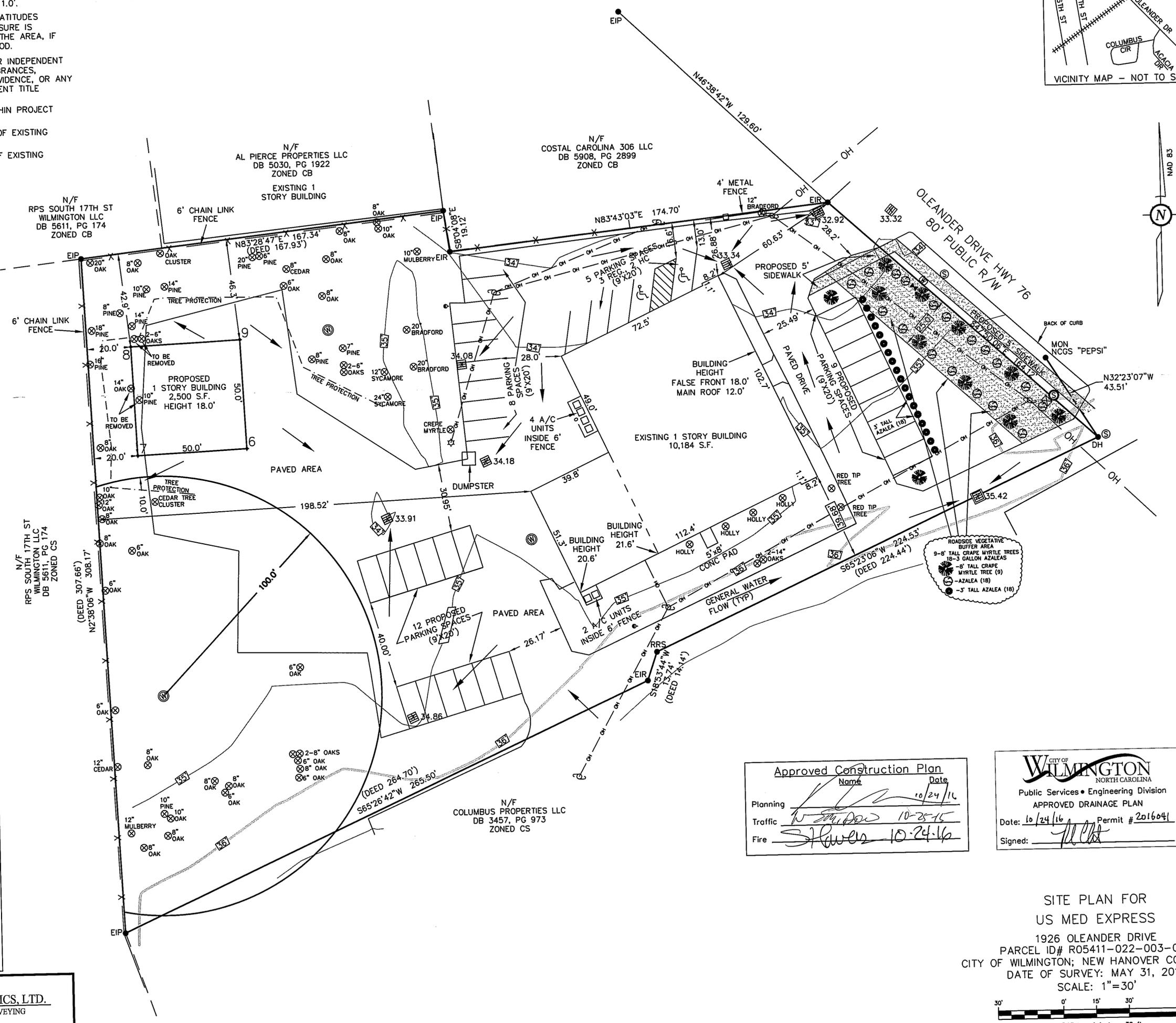
THIS PARCEL OF LAND LIES WITHIN FLOOD ZONE X WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS PER F.I.R.M. PANEL NUMBER: 3720312700J EFFECTIVE DATE: APRIL 3, 2006

LEGEND
 EIP - EXISTING IRON PIPE
 EIR - EXISTING IRON ROD
 RRS - RAIL ROAD SPIKE
 DH - DRILL HOLE
 MON - EXISTING MONUMENT
 W - WATER METER
 U - UTILITY POLE
 L - LIGHT POLE
 DI - DROP INLET
 V - WATER VALVE
 MW - MONITOR WELL
 OH - OVERHEAD UTILITY LINE
 CF - CHAIN FENCE AS NOTED
 MF - METAL FENCE AS NOTED
 TD - TREE PER DESCRIPTION
 UUB - UNDERGROUND UTILITY BOX
 HP - HANDICAP PARKING

REFERENCES
 D.B. 5699, PG. 408
 CURRENT OWNER:
 MARTIN GALLAN
 DESIGNER:
 GOODRICH ARCHITECTURE PA
 3142 WRIGHTSVILLE AVE.
 WILMINGTON NC, 28403
 910-343-1065

BUILDING 1= OFFICE 10,184 SQUARE FEET
 BUILDING 2= STORAGE 2,500 SQUARE FEET
 REQUIRED PARKING
 MINIMUM = 1 SPACE PER 300 SQUARE FEET
 MAXIMUM = 1 SPACE PER 200 SQUARE FEET
 PARKING PROVIDED = 34 SPACES

SITE DATA TABLE
PARKING:
 13 MARKED SPOTS
PROPOSED PARKING:
 21 SPOTS, 3,780 S.F. +/-
TOTAL TREES:
 66
TREES TO BE REMOVED:
 4
TOTAL AREA:
 2.09 ACRES +/-
 91,077 S.F. +/-
TOTAL IMPERVIOUS PRE-DEVELOPMENT:
 49,113 S.F. +/-, 53.92%
TOTAL IMPERVIOUS POST-DEVELOPMENT:
 51,121 S.F. +/-, 56.13%
PROPOSED BUILDING AREA(1 BUILDING):
 2,500 S.F. +/-
EXISTING BUILDING AREA(1 BUILDING):
 10,184 S.F. +/-
 NO PLUMBING IN PROPOSED BUILDING.
 PROPERTY ZONED: CS
SETBACKS:
 FRONT: 35'
 REAR: 15'
 SIDE: 7'
 MAX HEIGHT: 35'
 CAMA LAND USE CLASSIFICATION-URBAN
 TYPICAL PAVEMENT SECTION 2" SF 9.5A
 WITH 6" ABC BENEATH.



PORT CITY GEOMATICS, LTD.
 PROFESSIONAL LAND SURVEYING
 5813 WRIGHTSVILLE AVE, UNIT 159
 WILMINGTON, NC 28403
 (910) 791-1212
 (910) 279-7824
 E-MAIL: jasonfallo7@yahoo.com

Approved Construction Plan
 Name: [Signature] Date: 10/24/16
 Planning: [Signature] 10-25-16
 Traffic: [Signature]
 Fire: [Signature] 10-24-16

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
APPROVED DRAINAGE PLAN
 Date: 10/24/16 Permit # 2016041
 Signed: [Signature]

SITE PLAN FOR US MED EXPRESS
 1926 OLEANDER DRIVE
 PARCEL ID# R05411-022-003-000
 CITY OF WILMINGTON; NEW HANOVER COUNTY, NC
 DATE OF SURVEY: MAY 31, 2016
 SCALE: 1"=30'

