

To: John Tunstall
From: Jeff Walton, Associate Planner; 910-341-3260
CC: File; Protrak
Date: 10/29/2013
Re: Planning Comments

The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. Additional review will be required once all the needed documents have been provided. Items or documents not provided on initial submission will be subject to further review. Please contact me for any further questions.

Commercial District Mixed Use Standards:

- The dwelling units shall be part of a mixed use development established to provide innovative opportunities for an integration of diverse but compatible uses into a single development that is unified by distinguishable design features with amenities and walkways to increase pedestrian activity. Such a development shall be in single ownership or unified control of a property owners association.
 - The entire mixed use development must be shown and permitted including the commercial portion along Wrightsville Ave. If you choose to build the townhomes only, that is fine, but the permit must reflect the entire mixed use development.
- Strip commercial development characterized by single story uncoordinated, unconnected buildings with large street frontage parking lots is specifically prohibited. Strip malls or multi-family buildings with uncoordinated, unconnected out parcels are prohibited. All structures shall be fully integrated into the mixed use project through common design themes (including but not limited to lighting, benches, landscaping, other decorative features but not necessarily building design), integration with a variety of uses, non-linear arrangement, common spaces, pedestrian walkways, vehicular access connections and other features.
 - Plans must comply for the entire mixed use development.
- A conceptual elevation indicating proposed architecture style shall be provided.
 - Elevations must match what was approved by City Council and must be shown for both the commercial and residential development.
- Sidewalks must be provided throughout the project.
 - Plans must comply for the entire mixed use development.
- One dedicated parking space shall be provided for each dwelling unit on site. The parking space must be available to the occupants at all times and clearly designated or reserved for residential tenants only.
 - Show compliance for both residential and commercial developments.
- Community facilities and/or common area shall be provided.
- A conceptual lighting plan must be provided.
- Residential density may exceed two and one-half (2.5) units per acre in the Watershed

- Resource Protection areas if the development does not exceed a maximum of twenty-five (25) percent impervious area, or is exceptionally designed. Exceptionally designed projects shall meet the criteria of Article 10 and shall reduce runoff from impervious surfaces through porous paving and/or infiltration devices as well as managing runoff with at least one (1) or more of the following water quality Best Management Practices. (REF: NCDENR Best Management Practices Manual for design criteria): bio-retention area, filter strip, sand filter, or grassed swales, or other approved LID techniques.
- Show compliance with the required exceptional design as approved by city council.
 - Multiple-family including townhouse residential and single family detached is only permitted in conjunction with the following uses provided they are permitted uses within the district:
 - Conditioned per rezoning application.
 - Non-Residential.
 - Offices, professional

City Council Conditions:

- The approved site plan and elevation drawings will be attached to these comments.
 - Your plans should mirror the approved plans by council. Also show compliance with sidewalks as show on the council approved plan.
- Provide a narrative on how you comply with the exceptional design criteria.
- The use and development of the subject property shall be limited to an 6,000 square-foot professional office building and 22 multi-family units as shown on the submitted site plan (Dated Received 6/25/13).
 - Show correctly in site data table and include the professional office data.
- A landscape plan shall be submitted showing a minimum of 50 percent landscaping area designed as xeric landscaping with appropriate plant and soil materials.
 - Reminder to be shown on landscape plan when submitted.
- All outdoor lighting shall be installed so as not to shine or reflect directly onto surrounding properties.
 - Provide a lighting plan for compliance.
- Any freestanding sign(s) on the site shall be monument style with landscaping around the base of the sign. Pole signs shall be prohibited.
 - Add note to plans.
- The project will not be permitted for a gate restricted access within the site unless a modification is granted to the conditional district site plan.
 - Add note to plans.

Site Plan Comments:

- Sec. 18-60 (c) (4):
 - Show title block with name of development
 - Since this is a mixed use project consider naming “Lumina IV Mixed Use”
 - Show the address of the project.
 - Address shown incorrect. Address for permitting should be 2011 Allens Lane.
- Sec. 18-60 (c) (5): Additional information is the site data table as follows:
 - Tax Parcel Identification Number
 - A recombination map of parcels is required prior to release for construction.
 - Setbacks of Building (required and proposed)
 - Show actual setbacks for both residential and commercial.
 - Total amount of acreage within the project boundaries
 - Show for entire mixed use project.
 - Building size with square footage
 - Show for entire mixed use project.

- Calculations for building lot coverage
 - Show for entire mixed use project.
- Number of buildings
 - Show for entire mixed use project.
- Building height
 - Show for entire mixed use project.
- Number of stories and square feet per floor
 - Show for entire mixed use project.
- Total amount and percent of impervious surface areas
 - Show for entire mixed use project.
- Off street parking calculations, including required amount of parking and proposed amount of parking and the basis for determination
 - Show for entire mixed use project.
- Sec. 18-60 (c) (10): Show Location and dimension of on-site pedestrian and vehicular access ways, parking areas, loading and unloading facilities, designs of ingress and egress of vehicles to and from the site onto public streets and curb and sidewalk lines.
 - Show proposed sidewalk along South side of Allens Lane and Wrightsville Ave
 - Include pedestrian connections from Allens lane into both developments.
- Sec. 18-60 (c) (15): Show a proposed landscape plan.
- Sec. 18-60 (c) (16): Show site inventory map and tree survey.
 - I have added an attachment showing questionable trees to be removed.
- Sec. 18-60 (c) (17): Show written statements by the applicant that shall consist of:
 - a. Method for handling solid waste disposal.
 - a. Will trash be contained within each unit or located adjacent to each building, may need to provide screening from Allens Lane.
- Show bicycle parking compliance. Each new commercial or office development requiring 25 or more auto parking spaces shall make provisions for parking a minimum of 5 bicycles.
 - Since both parking for commercial and residential are required, please show compliance with bike parking.
- A tree preservation/removal permit is required
- All federal, state and local permits are required prior to full construction release. This includes, but is not limited to: state storm water, state utility extension permits, wetland disturbance permits, city storm water, tree protection permits, etc.

Landscape Plan for both residential and commercial:

- Dimension landscape islands at each end of parking rows. For each townhome row, consider adding the minimum SF required at each end of row instead of trying to comply with each driveway entrance to the garage.
- The interior area of a parking facility shall be shaded by canopy trees either planted or retained to provide twenty (20) percent or greater canopy coverage at maturity. For purposes of this section, a parking facility shall include any areas of a development devoted to pedestrian or vehicular use, including but not limited to parking areas, loading spaces, automobile sales lots, driveways and internal drive aisles. The following standards shall apply to interior parking area landscaping:
 - (a) All single planting islands measuring twelve (12) feet by eighteen (18) feet or having the equivalent square footage shall have at least one (1) tree. All double planting islands measuring twelve (12) feet by thirty-six (36) feet or having the equivalent square footage shall have at least two (2) small mature shade trees or one canopy tree. All larger planting islands will have additional trees in increments of one (1) tree for each additional two hundred (200) square feet if installing small shade trees or one (1) tree for every four hundred (400) square feet if installing canopy trees. All planting islands shall have additional ground cover or shrubbery from the approved plantings list to cover the entire landscaped island, subject to the walkway allowance as indicated below. At least seventy-five (75) percent of the trees required hereunder shall be of a large shade/canopy species as defined in the approved plantings list that have or will have at maturity a DBH of at

least twelve (12) inches. Small maturing shade trees may be planted where overhead power lines would interfere with normal growth or for site design considerations, if trees are maintained in their natural form.

- For purposes of determining if the landscape plan meets the shading requirements of this section, each canopy tree of the type described in this section shall be presumed to shade a circular area of seven hundred and seven (707) square feet (based on having a canopy radius of fifteen (15) feet with the trunk of the tree as the center). When smaller shade trees are planted, each tree shall be presumed to shade a circular area of three hundred and fourteen (314) square feet (based on having a canopy radius of ten (10) feet). Perimeter trees shall be given credit for that portion of the circumference that intersects the parking area. Using this standard, twenty (20) percent of the parking facility area must have canopy coverage. For existing trees, credit shall be given for the actual canopy overhanging the parking facility. The trees counted toward meeting the shading requirement shall be indicated and calculations shall be shown on the site plan.
- The legend will need to be tweaked for your planting schedule. Can you separate into four categories: 1. Large Shade Tree 2. Small Shade tree 3. Shrubs 4. Groundcovers.
- Sec. 18-462 (a): Show date of plan preparation.
- Sec. 18-462 (b): Show project name and description of land use.
- Sec. 18-462 (c): Show property owner and mailing address.
- Sec. 18-462 (d) (1): Show a North Arrow.
- Sec. 18-462 (d) (2): Show both a graphic scale and a numeric scale
- Sec. 18-462 (d) (3): Show approximate locations, species and critical root zones of all protected trees. Groves of protected trees that will not be disturbed may be labeled as such on the map, stating the approximate number of protected trees and species mix, without specifying data on each individual tree.
- Sec. 18-462 (d) (4): Show note on plan stating that prior to any clearing, grading, or construction activity, tree protection fencing will be installed around protected trees or groves of trees. And no construction workers, tools, materials or vehicles are permitted within the tree protection fencing.
- Sec. 18-462 (d) (5): Show locations, dimensions and square footages of required bufferyards and parking lot landscaping.
- Sec. 18-462 (d) (6): Show details of required landscaping showing species, dimensions, and spacing of planted materials and the use and protection of existing vegetation.
- Sec. 18-462 (d) (7): Show all existing and proposed utilities and if applicable, their associated elements.
- Sec. 18-462 (d) (8): Show location and square footage of structures and parking lots.
- Sec. 18-462 (d) (9): Show adjacent zoning district including across the street or streets.
- Sec. 18-462 (d) (10): Show approximate locations of all trees greater than eight (8) inch DBH within the required buffers and of all natural vegetation to be used part of the buffer.
- Sec. 18-462 (d) (11): Show setbacks of all structures and specifications and shielding of certain uses as required.
- Sec. 18-462 (d) (12): Show locations of any Conservation Resources associated with the parcel including any Rare and Endangered species in accordance with the North Carolina Wildlife Resource Commission.
- Sec. 18-462 (d) (13): Show proposed schedule for landscaping.

IA'S

RETAINING WALL.
DESIGN BY
OTHERS.
TOWN OF WRIGHTSVILLE BEACH
R05713-002-003-000
BK: 1320 PG: 449
ZONING: G-1 (W.B.)
USE: INSTITUTIONAL

LUMINA STATION II LLC HOA
R05713-002-008-000
BK: 5089 PG: 516
ZONING: RB
USE: COMMERCIAL
CONCRETE CURB
AND GUTTER

QUESTIONABLE TREE REMOVAL EXAMPLE

RETAINING WALL.
DESIGN BY
OTHERS.

WIDE CONCRETE
CURB

WOOD STAIRS AND

15' EMERG
ACCESS (P
TURF). SE

LANE

LANE (30' PUBLIC R/W)

69,556 SF
1.60 ACRES +/-

CONRAD,
R05713-002-
BK: 4790
ZONING:
USE: RES

10' SETBACK
WITH PLANTED
BUFFER AND
8' OPAQUE
FENCE

TREE TO
REMOVED.

TREE TO BE
SAVED. TYP.

SSMH
RIM=26.16
INV=20.00

SEE PROPOSED ALLEN'S
LANE CROSS SECTION.

WHITFIELD, ELIZABETH HEIRS
R05713-001-12-000
BK: 9905 PG: 2310
ZONING: R-15
USE: RESIDENTIAL

PERVIOUS
CONCRETE
WALK

RAY, BETTYE DELORES CAMPBELL
R05713-001-011-000
BK: 5472 PG: 1074
ZONING: R-15
USE: RESIDENTIAL

STANDARD C.O.W.
DRIVE ENTRANCE

END VALLEY
CURB

COULTER, BARBARA WHITFIELD
R05713-001-007-000
BK: 1547 PG: 535
ZONING: R-15
USE: RESIDENTIAL

NORTH STATE BANK
R05713-001-008-000
BK: 5634 PG: 2544
ZONING: R-15
USE: RESIDENTIAL

ALLEN'S LANE PROPERTIES
R05713-001-009-000
BK: 5729 PG: 1559
ZONING: R-15
USE: VACANT

END VALLEY
CURB

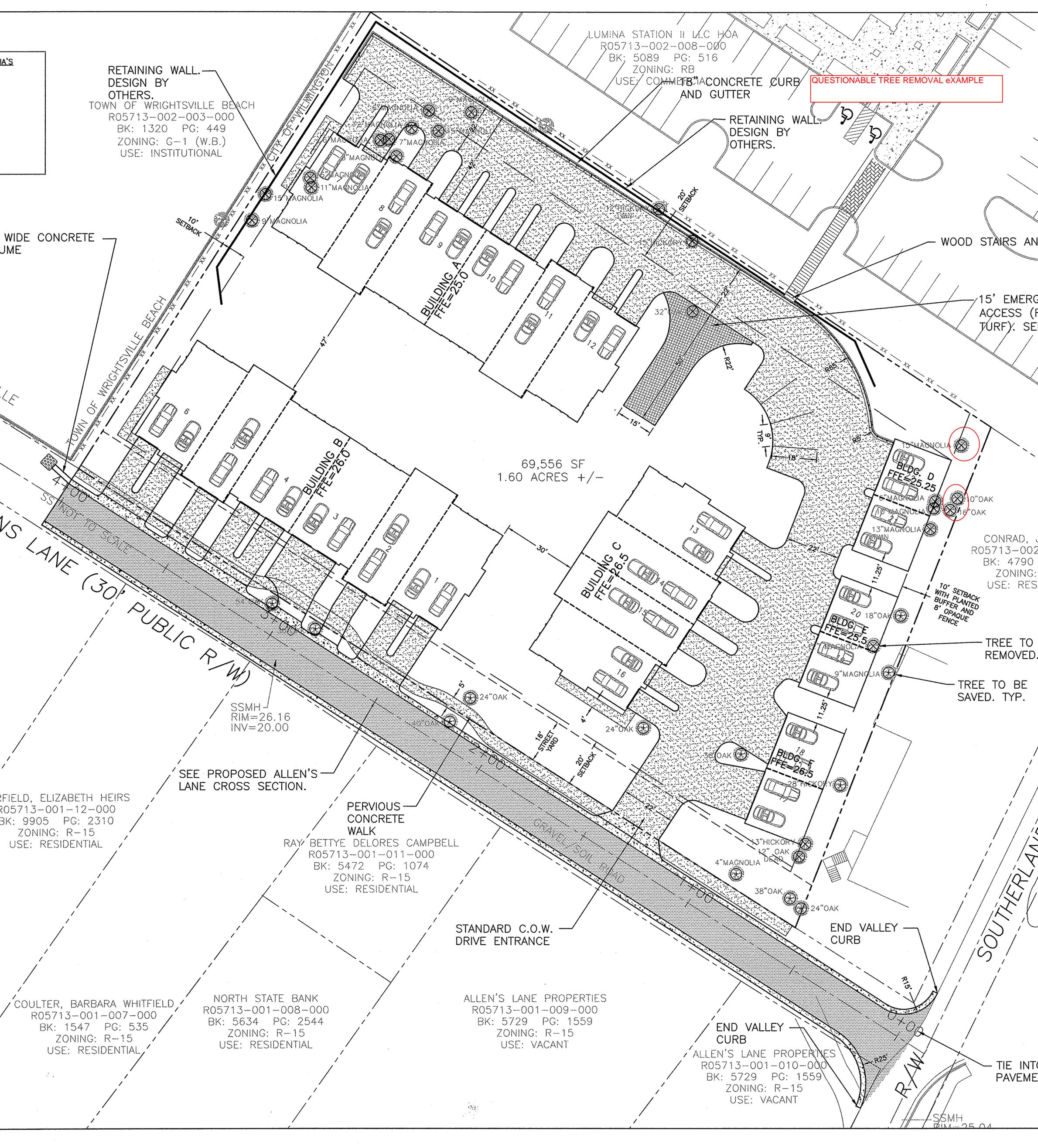
ALLEN'S LANE PROPERTIES
R05713-001-010-000
BK: 5729 PG: 1559
ZONING: R-15
USE: VACANT

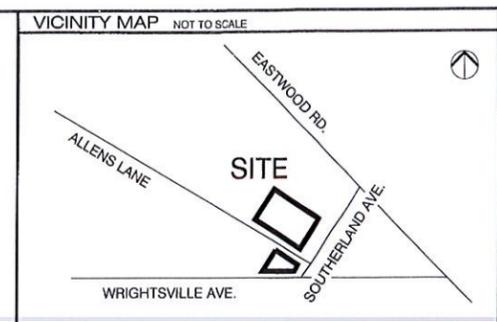
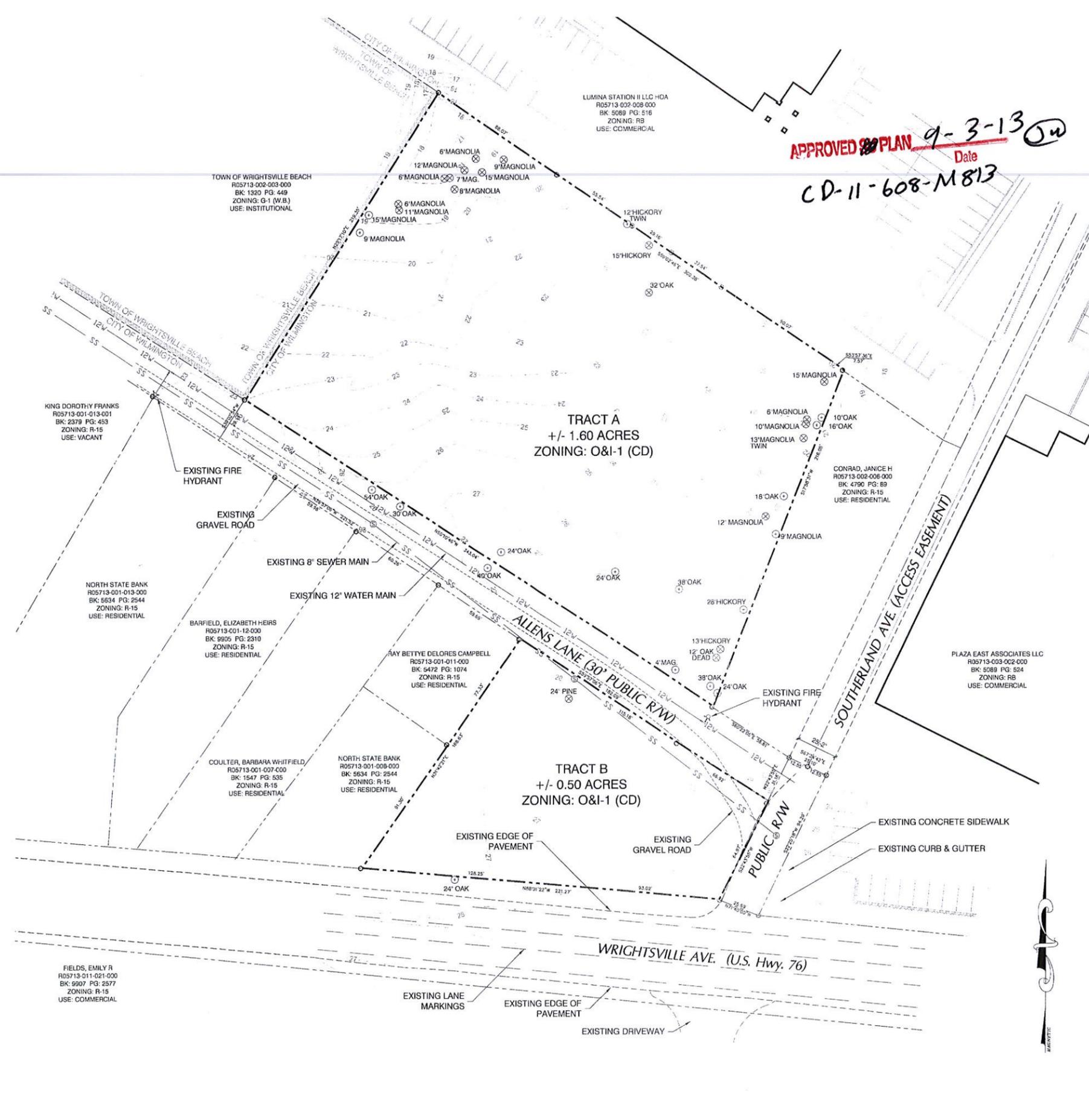
TIE INTO
PAVEME

SSMH
RIM=25.04

SOUTHERN LANE

R/W





SITE DATA

APPLICANT: MIHALY LAND DESIGN PLLC
 OWNER/DEVELOPER: ALLENS LANE PARTNERS, LLC
 ADDRESS: 2011, 2015, 2017, 2019 ALLENS LN, 6843 WRIGHTSVILLE AVE
 PARCEL ID: R05713-002-005-000, R05713-002-010-000, R05713-002-011-000, R05713-002-004-000, R05713-001-009-000, R05713-001-010-000

EXISTING ZONING	O&I-1 (CD)
PROPOSED ZONING	O&I-1 (CD)
CAMA LAND CLASSIFICATION	RESOURCE PROTECTION
TRACT 1 AREA	69,556 SF (1.60 AC.)
TRACT 2 AREA	22,060 SF (0.50 AC.)
TOTAL PROJECT AREA	91,616 SF (2.10 AC.)
EXISTING IMPERVIOUS AREA	0 SF (0.00 %)

- GENERAL NOTES**
1. PLAN BASED ON A SURVEY PROVIDED BY MICHAEL UNDERWOOD & ASSOCIATES, PA, DATED JAN. 2, 2007. MODIFIED AND UPDATED BY PARAMOUNT ENGINEERING, INC., DATED APRIL 17, 2008. RE-CERTIFIED BY MICHAEL UNDERWOOD ASSOCIATES, JUNE 21, 2013.
 2. SITE IS NOT LOCATED WITHIN ANY ZONING OVERLAY DISTRICTS.
 3. SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE.
 4. SITE IS NOT LOCATED WITHIN A CONSERVATION OVERLAY DISTRICT AND CONTAINS NO CONSERVATION RESOURCES.
 5. SITE DOES NOT CONTAIN ANY 404 WETLAND AREAS.
 6. EXISTING WATER AND SEWER PROVIDED BY CITY OF WILMINGTON.
 7. SOILS FOR ENTIRE SITE ARE BAYMEADE FINE SAND (BE), AS SHOWN ON MOST RECENT SOIL SURVEY OF NEW HANOVER COUNTY, NORTH CAROLINA BY USDA.

SYMBOL LEGEND

— W —	EXISTING WATER
— SS —	EXISTING SEWER
⊕	EXISTING FIRE HYDRANT
⊕	TREE TO BE PRESERVED
⊗	TREE TO BE REMOVED

SURVEY NOTES (ORIGINAL SURVEY)

Survey Reference
 MAP OF SURVEY BY MICHAEL N. UNDERWOOD FOR MARK BRISSEN, DATED FEB. 2ND, 2000
 DEED BOOK 600 PAGE 466
 DEED BOOK 1557 PAGE 998
 DEED BOOK 1320 PAGE 449
 MAP BOOK 40 PAGE 369
 DEED BOOK 2207 PAGE 615
 DEED BOOK 2211 PAGE 36
 DEED BOOK 2624 PAGE 546

RECEIVED
 JUN 25 2013
 PLANNING DIVISION

NOTE:
 THE TRACTS SHOWN HEREON ARE NOT LOCATED IN AN AREA OF 100 YEAR FLOOD.

MICHAEL UNDERWOOD and ASSOCIATES, PA
 102 CINEMA DRIVE, SUITE C
 WILMINGTON, NC 28403
 PHONE: 910-815-0650
 FAX: 910-815-0393
 E-MAIL: mua@bizec.rr.com

CLIENT
 ALLENS LANE PARTNERS LLC
 1902 EASTWOOD RD.
 WILMINGTON, NC 28403
 PHONE: 910.233.3000

PROJECT
 LUMINA IV
 ALLENS LANE/WRIGHTSVILLE AVE.
 WILMINGTON, NORTH CAROLINA
 PRELIMINARY SITE PLANS

Date: 06.25.2013
 Phase: PRELIMINARY
 Job Number: 100-610
 Designed by: MLD
 Drawn by: MLD
 Checked by: JWM
 Sheet Title: SITE INVENTORY PLAN
 Sheet Number: L1.1
 of 3 sheets

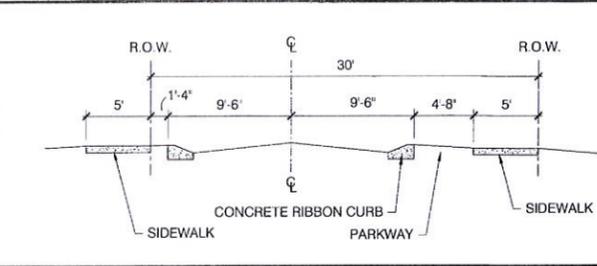
SCALE: 1" = 30'

MIHALY LAND DESIGN
 PLANNING + LANDSCAPE ARCHITECTURE
 330 Military Cutoff Rd. Suite A3
 Wilmington, NC 28403 910.392.4355

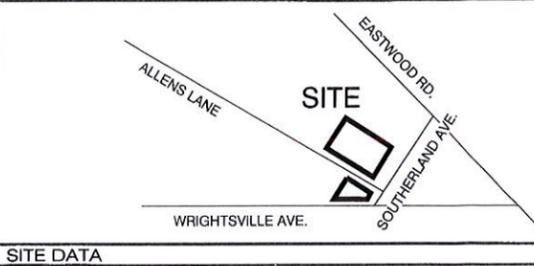
1314
 NORTH CAROLINA
 JOSUWA W. MIHALY

PRELIMINARY - NOT FOR CONSTRUCTION

ROAD SECTION - ALLENS LANE NOT TO SCALE



VICINITY MAP NOT TO SCALE



SITE DATA

OWNER: ALLENS LANE PARTNERS, LLC	OFFICE SPACE PROPOSED	6,000 SF (3,000/FLOOR)
ADDRESS: 2011, 2013, 2015, 2017, 2019 ALLENS LN; 6941, 6943 WRIGHTSVILLE AVE	RESIDENTIAL SPACE PROPOSED	22 UNITS (+/- 2000 SF EA)
PARCEL ID: R05713-002-009-000, R05713-002-010-000, R05713-002-011-000, R05713-002-004-000, R05713-001-009-000, R05713-001-010-000	TOTAL GROSS SF	+/- 44,000 SF
EXISTING ZONING: O8-1 (CD)	IMPERVIOUS AREA	0 SF (0.00%)
PROPOSED ZONING: O8-1 (CD)	EXISTING	27,143 SF
CAMA LAND CLASSIFICATION: RESOURCE PROTECTION	TRACT A PROPOSED	5,054 SF
TRACT A AREA: 69,556 SF (1.80 AC)	TRACT B PROPOSED	32,199 SF (95%)
TRACT B AREA: 22,060 SF (0.50 AC)	TOTAL PROPOSED	32,199 SF
TOTAL PROJECT AREA: 91,616 SF (2.10 AC)	PERVIOUS CONCRETE WALKS AND DRIVES	COUNTED AT 25%.
NUMBER OF BUILDINGS: 6 RESIDENTIAL (3-STORY)	OPEN SPACE	14,950 SF (16.3%)
RESIDENTIAL UNITS PROPOSED: 22 UNITS		
RESIDENTIAL DENSITY (TRACT 1): 13.75 DU/AC		

BULK REQUIREMENTS (TRACT A)	REQUIRED	PROVIDED
MIN. LOT WIDTH	80'	70'
MIN. FRONT SETBACK	20'	20'
MIN. SIDE SETBACK	10'	10'
MIN. SIDE CORNER SETBACK	20'	20'
MIN. REAR SETBACK	20'	42'
MAX. BUILDING HEIGHT	45'	<=45'
MAX. LOT COVERAGE (BUILDINGS)	40%	22,157 SF (31.9%)

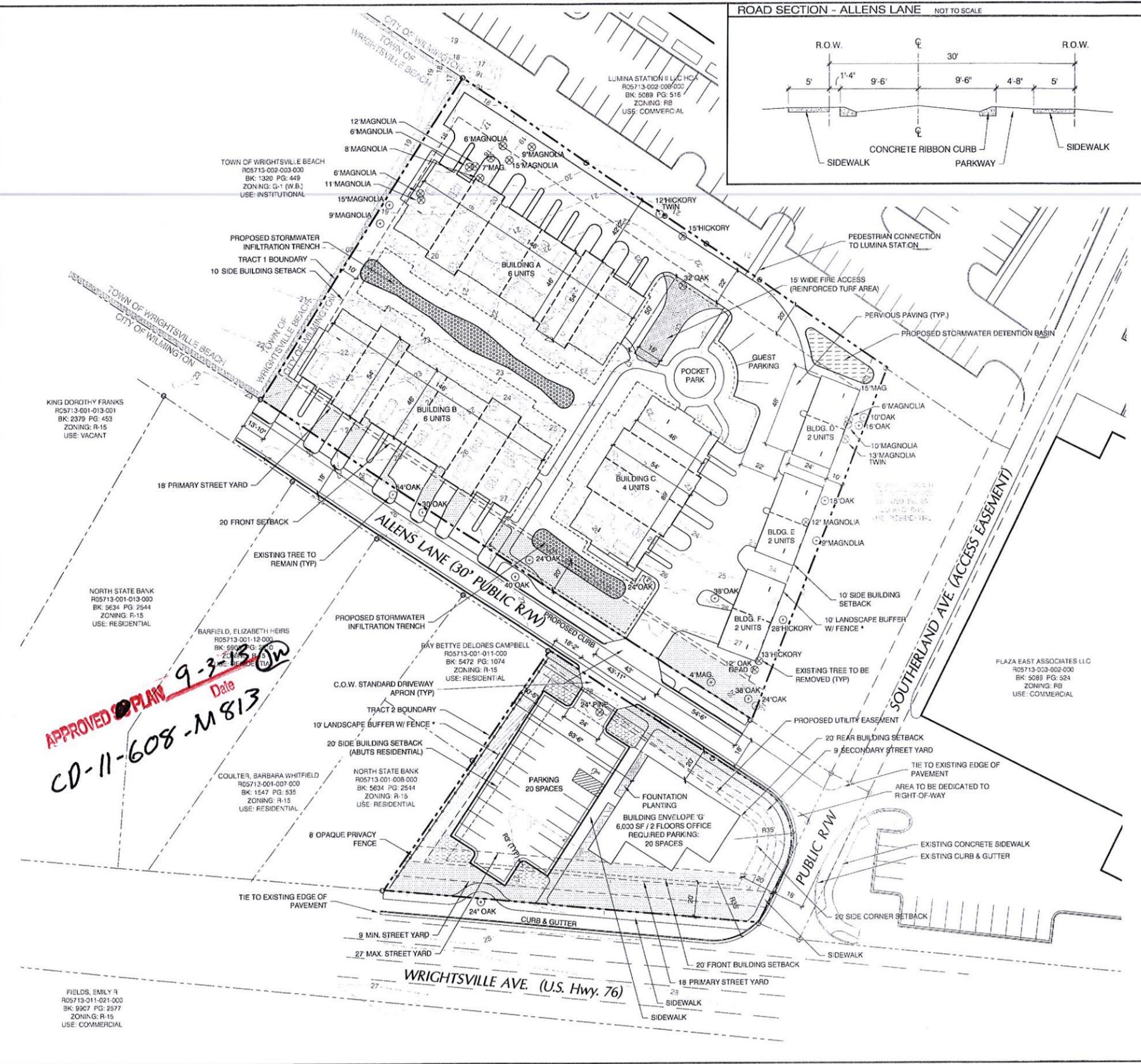
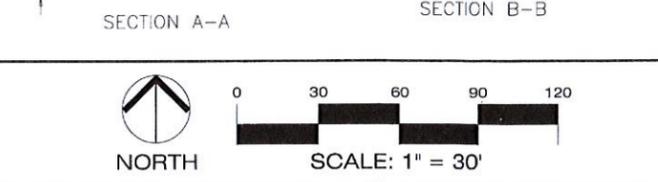
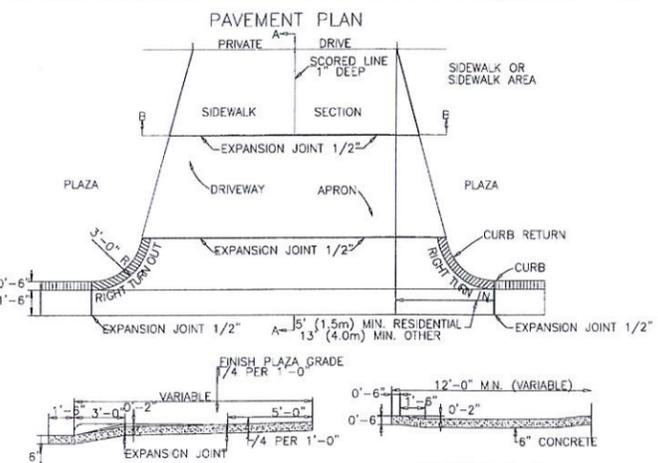
BULK REQUIREMENTS (TRACT B)	REQUIRED	PROVIDED
MIN. LOT WIDTH	80'	25'
MIN. FRONT SETBACK	20'	25'
MIN. SIDE SETBACK	10'	8'
MIN. SIDE CORNER SETBACK	20'	34'
MIN. REAR SETBACK	20'	20'
MAX. BUILDING HEIGHT	45'	<=45'
MAX. LOT COVERAGE (BUILDINGS)	40%	3,000 SF (13.6%)

OFF-STREET PARKING REQUIREMENTS	REQUIRED	PROVIDED
RESIDENTIAL (22 UNITS)	MIN. 22 (1/UNIT) * (MAX. 2.5/UNIT)	55 (2.5/UNIT) INCLUDING DRIVEWAYS & GARAGES
OFFICE (6,000 SF)	20 (1/300 SF) (MAX. 1/200 SF)	20 (1/300 SF) (1 HC)

LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
TRACT 1 STREET YARD		
PRIMARY STREET YARD (ALLENS LANE)	4,088 SF (18 x 226 LF)	4,094 SF
TRACT 2 STREET YARD		
PRIMARY STREET YARD (WRIGHTSVILLE AVE.)	3,960 SF (18 x 220 LF)	4,682 SF
SECONDARY STREET YARD (SOUTHERLAND AVE./ALLENS LANE)	1,593 SF (9 x 177 SF)	2,252 SF
PARKING LOT LANDSCAPING (TRACT 2)	20% CANOPY COVERAGE	20%
FOUNDATION PLANTING (FACING PARKING/DRIVEWAYS)	12% FACADE AREA	12%
BUFFER YARD (ABUTTING RESIDENTIAL)	20'	10' *

WATER/SEWER USAGE	CURRENT	PROPOSED
SEWER (120 GAL./1,000 SF)	0 GPD	+/- 5100 GPD
WATER (120 GAL./1,000 SF)	0 GPD	+/- 5100 GPD

STANDARD DRIVEWAY DETAIL SD 8-02 NOT TO SCALE



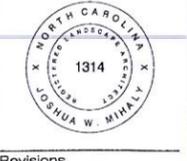
APPROVED PLAN
 Date: 9-3-13
 CD-11-608-M813

SYMBOL LEGEND

[Symbol]	COMMON OPEN SPACE	[Symbol]	EXISTING TREE TO BE PRESERVED
[Symbol]	STREET YARD AREA	[Symbol]	EXISTING TREE TO BE REMOVED
[Symbol]	PARKING LOT LANDSCAPING	[Symbol]	8' OPAQUE PRIVACY FENCE
[Symbol]	FOUNDATION PLANTING	[Symbol]	PERVIOUS PAVING AREAS

- GENERAL NOTES**
- PLAN BASED ON A SURVEY PROVIDED BY MICHAEL UNDERWOOD & ASSOCIATES, PA, DATED JAN. 2, 2007, MODIFIED AND UPDATED BY PARAMOUNT ENGINEERING, INC., DATED APRIL 17, 2008. RE-CERTIFIED BY MICHAEL UNDERWOOD ASSOCIATES, JUNE 21, 2013.
 - PROJECT IS TO BE DEVELOPED AS ADDITION TO EXISTING LUMINA STATION DEVELOPMENT TO THE NORTH OF THE SITE.
 - SITE IS NOT LOCATED WITHIN ANY ZONING OVERLAY DISTRICTS.
 - SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE.
 - SITE IS NOT LOCATED WITHIN A CONSERVATION OVERLAY DISTRICT.
 - SITE DOES NOT CONTAIN ANY 404 WETLAND AREAS.
 - ALL UTILITIES SHALL BE UNDERGROUND.
 - ALL SIGNS WILL BE LOCATED AND APPROVED BY THE CITY OF WILMINGTON PLANNING DEPARTMENT.
 - ALL EXISTING SIGNIFICANT TREES WILL BE PRESERVED OR MITIGATED.
 - SITE WILL BE ENGINEERED TO MEET EXCEPTIONAL DESIGN CRITERIA FOR EXCEEDING ALLOWED RESIDENTIAL DENSITY IN A CAMA RESOURCE PROTECTION AREA.
 - ALLENS LANE AND SOUTHERLAND AVE. WILL BE IMPROVED ALONG THE LENGTH ABUTTING THE PROPERTY.
 - TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEEL-CHAIR RAMPS.
 - NO EXISTING DRIVEWAYS ARE TO BE CLOSED.
 - LANDSCAPE BUFFERS ABUTTING RESIDENTIAL PROPERTIES REDUCED TO 10', WITH 8' HIGH SOLID PRIVACY FENCE, DUE TO SITE CONSTRAINTS. BUFFER REDUCTION IS IN ACCORDANCE WITH SECTION 18-499 OF THE WILMINGTON LAND DEVELOPMENT CODE.
 - THIS PLAN IS PRELIMINARY AND IS SUBJECT TO CHANGE IN ACCORDANCE WITH PROVISIONS OF THE WILMINGTON LAND DEVELOPMENT CODE.
 - ALL GARBAGE WILL BE STORED IN ROLL-OUT CONTAINERS WITHIN BUILDING FOOTPRINTS.
 - PARKING LOT PAVING TO BE 100% PERVIOUS MATERIAL AS SHOWN, MEETING CITY LOAD-BEARING STANDARDS. SUB-BASE MUST PROVIDE ADEQUATE CAPACITY TO ABSORB INFILTRATING STORMWATER. PERVIOUS PAVING MUST BE MAINTAINED IN PERPETUITY; MAINTENANCE REQUIREMENTS SHALL BE INCLUDED IN H.O.A. DOCUMENTS.
 - CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
 - NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
 - NCDOT DRIVEWAY PERMIT WILL BE REQUIRED FOR MODIFICATION OF SOUTHERLAND AVE. AT WRIGHTSVILLE AVE.
 - STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.

MIHALY
 LAND DESIGN
 PLANNING + LANDSCAPE ARCHITECTURE
 330 Military Cut-off Rd. Suite A3
 Wilmington, NC 28403 910.392.4355



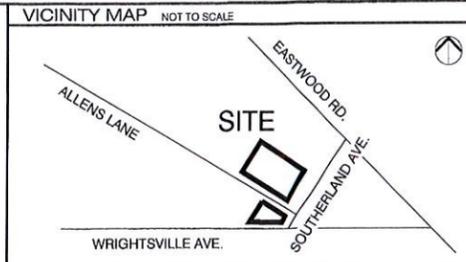
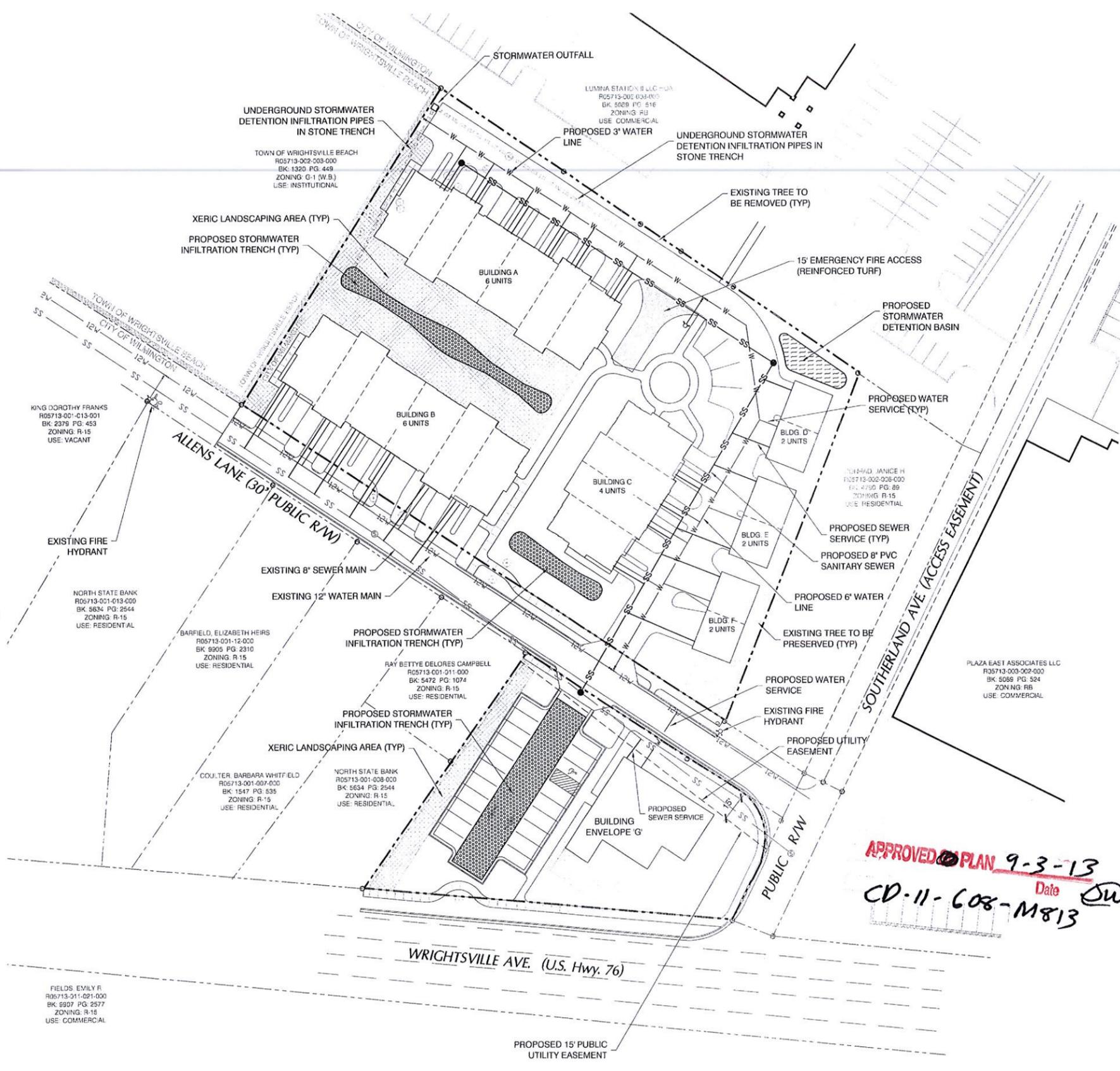
Revisions

CLIENT
 ALLENS LANE PARTNERS LLC
 1902 EASTWOOD RD.
 WILMINGTON, NC 28403
 PHONE: 910.233.3000

PROJECT
 LUMINA IV
 ALLENS LANE/WRIGHTSVILLE AVE.
 WILMINGTON, NORTH CAROLINA
 PRELIMINARY SITE PLANS

Date: 06.25.2013
 Phase: PRELIMINARY
 Job Number: 100-610
 Designed by: MC
 Drawn by: MWL
 Checked by: JWM
 Sheet Title: PRELIMINARY SITE PLAN
 Sheet Number: **L2.1**
 of 3 sheets

PRELIMINARY - NOT FOR CONSTRUCTION



SITE DATA

ADDRESS: 2011, 2013, 2015, 2017, 2019 ALLENS LN 6841, 6843 WRIGHTSVILLE AVE
 PARCEL ID: R05713-002-005-000, R05713-002-010-000, R05713-002-011-000, R05713-002-004-000, R05713-001-009-000, R05713-001-010-000

EXISTING ZONING	R-15
PROPOSED ZONING	OR-15 (CD)
CAMA LAND CLASSIFICATION	RESOURCE PROTECTION
TRACT 1 AREA	69,556 SF (1.80 AC)
TRACT 2 AREA	22,000 SF (0.53 AC)
TOTAL PROJECT AREA	91,616 SF (2.10 AC)
NUMBER OF BUILDINGS	7
RESIDENTIAL DENSITY	22 UNITS
RESIDENTIAL SPACE PROPOSED (6 BLDGS/3 FLOORS EA)	13.75 DU/AC
OFFICE SPACE PROPOSED (1 BLDG/2 FLOORS)	+/- 44,000 SF
TOTAL GROSS SF	6,000 SF (9,000/FLOOR)
LOT COVERAGE (BUILDINGS)	+/- 50,000 SF
	TRACT 1: 31.9 %
	TRACT 2: 13.6 %

IMPERVIOUS AREA	0 SF (0.00 %)
TRACT A PROPOSED	27,143 SF
TRACT B PROPOSED	5,054 SF
TOTAL PROPOSED	32,198 SF (35 %)
OPEN SPACE	14,960 SF (16.3 %)

SYMBOL LEGEND

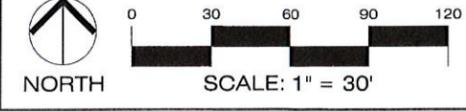
W	EXISTING WATER	⊙	EXISTING TREE TO BE PRESERVED
SS	EXISTING SEWER	⊗	EXISTING TREE TO BE REMOVED
⊙	EXISTING FIRE HYDRANT		
6W	PROPOSED WATER		
6SS	PROPOSED SEWER		
---	PROPOSED EASEMENT		

- UTILITY NOTES**
- UTILITY INFORMATION PROVIDED BY NORRIS & TUNSTALL CONSULTING ENGINEERS, DATED JUNE 24, 2013.
 - SIZE OF PROPOSED WATER AND SEWER LINES WILL BE DEPENDENT ON ARCHITECTURE AND MECHANICAL SYSTEMS WITHIN EACH BUILDING.
 - EXISTING SEWER LINE ENROACHES ON PROJECT SITE. TRACT 2 (AS SURVEYED). A 15' PUBLIC UTILITY EASEMENT WILL BE PROVIDED AS SHOWN ON PLAN.
 - A FIRE HYDRANT MUST BE WITHIN 150' OF EACH FDC.
 - FIRE HYDRANTS MUST BE WITHIN 8' OF CURB.
 - NEW FIRE HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF BUILDING(S).
 - UTILITY INFORMATION IS CONCEPTUAL AND SUBJECT TO CHANGE.
 - XERIC LANDSCAPING MUST BE MAINTAINED IN PERPETUITY. MAINTENANCE REQUIREMENTS SHALL BE INCLUDED IN H.O.A. DOCUMENTS, AS WELL AS PLANT SCHEDULES AND SOIL AMENDMENT GUIDELINES.
 - BIORETENTION BASINS WILL BE LINKED WITH UNDERGROUND INFILTRATION TRENCHES TO ACHIEVE 90% TSS REMOVAL FROM STORMWATER.
 - POST-DEVELOPMENT Tc IS TO MIMIC PRE-DEVELOPMENT Tc FOR 5/10/25 YEAR EVENTS.
 - WATER AND SEWER TO BE PROVIDED BY CITY OF WILMINGTON.

- GENERAL NOTES**
- PLAN BASED ON A SURVEY PROVIDED BY MICHAEL UNDERWOOD & ASSOCIATES, PA, DATED JAN. 2, 2007. MODIFIED AND UPDATED BY PARAMOUNT ENGINEERING, INC., DATED APRIL 17, 2008. RE-CERTIFIED BY MICHAEL UNDERWOOD & ASSOCIATES, JUNE 21, 2013.
 - PROJECT IS TO BE DEVELOPED AS ADDITION TO EXISTING LUMINA STATION DEVELOPMENT TO THE NORTH OF THE SITE.
 - SITE IS NOT LOCATED WITHIN ANY ZONING OVERLAY DISTRICTS.
 - SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE.
 - SITE IS NOT LOCATED WITHIN A CONSERVATION OVERLAY DISTRICT.
 - SITE DOES NOT CONTAIN ANY 40+ YEAR OLD AREAS.
 - ALL UTILITIES SHALL BE UNDERGROUND.
 - GARBAGE WILL BE CONTAINED IN ROLL-OUT CONTAINERS STORED WITHIN THE BUILDINGS.
 - ALL SIGNS WILL BE LOCATED AND APPROVED BY THE CITY OF WILMINGTON PLANNING DEPARTMENT.
 - ALL EXISTING SIGNIFICANT TREES WILL BE PRESERVED OR MITIGATED.
 - SITE WILL BE ENGINEERED TO MEET EXCEPTIONAL DESIGN CRITERIA FOR EXCEEDING ALLOWED RESIDENTIAL DENSITY IN A CAMA RESOURCE PROTECTION AREA.
 - ALLENS LANE AND SOUTHERLAND AVE. WILL BE IMPROVED ALONG THE LENGTH ABUTTING THE PROPERTY.
 - TACTILE WARNING PATTERNS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 - NO EXISTING DRIVEWAYS ARE TO BE CLOSED.
 - HEATING/AIR EQUIPMENT WILL BE LOCATED WITHIN REAR YARDS BEHIND UNITS AND SCREENED WITH WALLS AND/OR LANDSCAPING.
 - LANDSCAPE BUFFERS ABUTTING RESIDENTIAL PROPERTIES REDUCED TO 10', WITH 8' HIGH SOLID PRIVACY FENCE, DUE TO SITE CONSTRAINTS. BUFFER REDUCTION IS IN ACCORDANCE WITH SECTION 18-499 OF THE WILMINGTON LAND DEVELOPMENT CODE.
 - THIS PLAN IS PRELIMINARY AND IS SUBJECT TO CHANGE IN ACCORDANCE WITH PROVISIONS OF THE WILMINGTON LAND DEVELOPMENT CODE.
 - PARKING LOT PAVING TO BE 50% PERVIOUS MATERIAL AS SHOWN, MEETING CITY LOAD-BEARING STANDARDS. SUB-BASE MUST PROVIDE ADEQUATE CAPACITY TO ABSORB INFILTRATING STORMWATER. PERVIOUS PAVING MUST BE MAINTAINED IN PERPETUITY; MAINTENANCE REQUIREMENTS SHALL BE INCLUDED IN H.O.A. DOCUMENTS.
 - CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
 - NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
 - NC DOT DRIVEWAY PERMIT WILL BE REQUIRED FOR MODIFICATION OF SOUTHERLAND AVE. AT WRIGHTSVILLE AVE.
 - STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.

NORRIS & TUNSTALL
CONSULTING ENGINEERS, P.C.

1127 FLORAL PARKWAY SUITE 400 WILMINGTON, NC 28403
 PHONE (910) 343-9653 FAX (910) 343-9604
 office@nteng.com licence #6-3641



MIHALY
 LAND DESIGN
 PLANNING • LANDSCAPE ARCHITECTURE
 330 Military Cutoff Rd., Suite A3
 Wilmington, NC 28403 910.392.4355

Revisions

CLIENT
 ALLENS LANE PARTNERS LLC
 1902 EASTWOOD RD.
 WILMINGTON, NC 28403
 PHONE: 910.233.3000

PROJECT
 LUMINA IV
 ALLENS LANEWRIGHTSVILLE AVE.
 WILMINGTON, NORTH CAROLINA
 PRELIMINARY SITE PLANS

Date: 06.25.2013
 Phase: PRELIMINARY
 Job Number: 100-610
 Designed by: MLD
 Drawn by: MML
 Checked by: JWM

Sheet Title:
 PRELIMINARY
 UTILITY PLAN

Sheet Number
L3.1
 of 3 sheets

APPROVED PLAN 9-3-13
 Date **DW**
CD-11-608-M813

MIHALY-CHEELO PLAN CONTROL - PLAN SET # 06.25.2013

PRELIMINARY - NOT FOR CONSTRUCTION



LUMINA TOWNHOMES

SCHEMATIC ELEVATIONS (BLDG TYPE 1)

06.27.13

SCALE: $\frac{1}{16}'' = 1'-0''$



LUMINA TOWNHOMES

SCHEMATIC ELEVATIONS (BLDG TYPE 1)

06.27.13

SCALE: $\frac{1}{8}'' = 1'-0''$



LUMINA TOWNHOMES

SCHEMATIC ELEVATIONS (BLDG TYPE 1)

06.27.13

SCALE: $\frac{1}{16}'' = 1'-0''$



LUMINA TOWNHOMES

SCHEMATIC ELEVATIONS (BLDG TYPE 1)

06.27.13

SCALE: $\frac{1}{8}'' = 1'-0''$



ELEVATION FACING SOUTH (WRIGHTSVILLE AVE)

LUMINA IV

SCHEMATIC ELEVATIONS (BLDG TYPE 3 - 2 FLOOR OFFICE BLDG)

07.15.13

SCALE: $\frac{1}{16}'' = 1'-0''$



ELEVATION FACING EAST

LUMINA IV

SCHEMATIC ELEVATIONS (BLDG TYPE 3 - 2 FLOOR OFFICE BLDG)

07.15.13

SCALE: $\frac{1}{16}'' = 1'-0''$