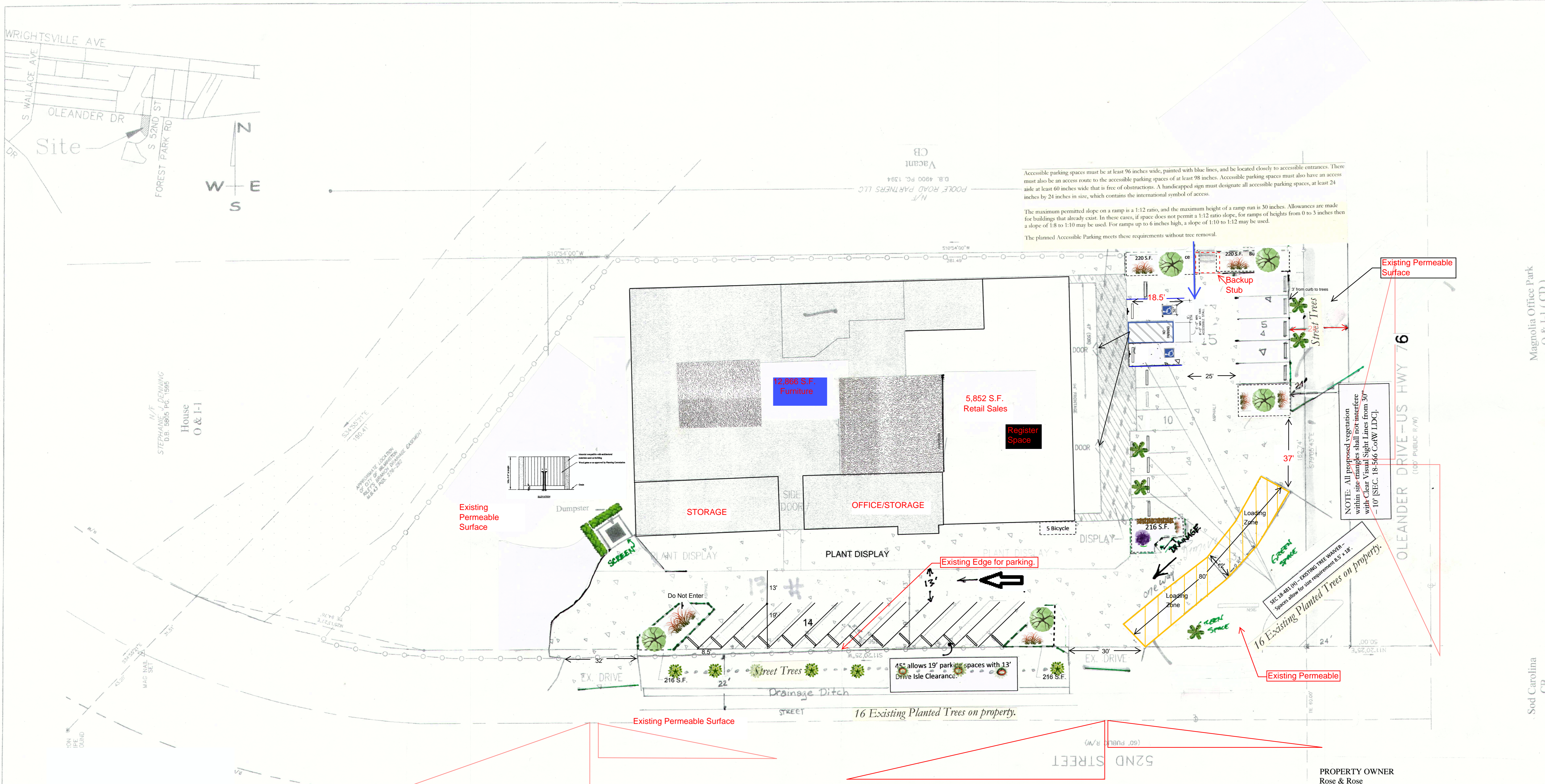


REVISIONS	DATE
R2	170915
R3	170921



Accessible parking spaces must be at least 96 inches wide, painted with blue lines, and be located closely to accessible entrances. There must also be an access route to the accessible parking spaces of at least 98 inches. Accessible parking spaces must also have an access aisle at least 60 inches wide that is free of obstructions. A handicapped sign must designate all accessible parking spaces, at least 24 inches by 24 inches in size, which contains the international symbol of access.

The maximum permitted slope on a ramp is a 1:12 ratio, and the maximum height of a ramp run is 30 inches. Allowances are made for buildings that already exist. In these cases, if space does not permit a 1:12 ratio slope, for ramps of heights from 0 to 3 inches then a slope of 1:8 to 1:10 may be used. For ramps up to 6 inches high, a slope of 1:10 to 1:12 may be used.

The planned Accessible Parking meets these requirements without tree removal.

NOTE: All proposed vegetation within site limits shall not interfere with site utilities. Sight Lines from 30' - 10' (SEC. 18-546 CoRW LDC).

SEC. 18-546 (a) (1) - EXISTING TREE SURVIVAL - Spaces shown for site removal are 8'9" x 8'9".

**SITE DATA**  
 CURRENT ZONING CB  
 SITE (63,587 S.F.) 1.46 ACRES  
 CURRENT USE RETAIL SALES/FURNITURE

**PARKING REQUIRED**

RETAIL Sales 1 per 400 S.F.	5,852 / 400 = 15
FURNITURE 1 PER 1,000 S.F.	12,866 / 1,000 = 13
RETAIL PARKING PROVIDED	= 15
FURNITURE PARKING PROVIDED	= 13
BICYCLE PARKING PROVIDED	= 05
Handicap Parking Provided	= 02

**PROPERTY OWNER**  
 Rose & Rose  
 203 Country Club  
 Jacksonville, N.C. 28546

**PIN NUMBER:** R06205-018-005-000

**BUILDING LOT COVERAGE:** 18,882 s.f.  
 18,882 s.f. bldgs. / 63,587 s.f. lot area = 29.7%  
**TOTAL EXISTING IMPERVIOUS:** 39,857 s.f.  
**TOTAL IMPERVIOUS - 37,689 s.f.**  
 37,689 s.f. of impervious / 63,587 s.f. lot = 59.3% Impervious

**MINIMUM PARKING REQUIRED**  
 Retail 1 space per 400 s.f.  
 Furniture 1 space per 1,000 s.f.

**MAXIMUM PARKING ALLOWED**  
 Retail 1 space per 200 s.f.  
 Furniture 1 space per 500 s.f.

**CAMA CLASSIFICATION:**  
 Watershed Resource Protection

**CONCEPT PLAN A**  
 SCALE: 1"=20'-0"

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
**APPROVED PLAN - NO PERMIT REQUIRE**

ad: \_\_\_\_\_

Approved Construction Plan	
Name	Date
Planning	_____
Traffic	_____
Fire	_____

N/T  
 CATTISH HOLDINGS LLC  
 D.B. 5701 PG. 2028  
 Clayton Homes  
 CB

- Tree Legend**
- 5 River Birch
  - 2 Genko
  - 1 Japanese Maple
  - Existing:
  - 7 Palms - removing 2
  - 9 Crepe Myrtle

**RNB**  
 Consulting  
 PO Box 1003  
 Wilmington, NC 28402-1093

**Lou's Flowers**  
 5128 Olander Drive  
 Wilmington, North Carolina

DESIGNED:	RNB	DRAWN:	RNB
DATE:	04-27-17	SCALE:	1"=20'
JOB NO.:	445-0416	SHEET	L1
OF		SHEETS	