

Memo

To: David Powlen
From: Jeff Walton, Associate Planner; 910-341-3260
CC: File;
Date: 3/4/2016
Re: Lidl Grocer

The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. Additional review will be required once all the needed documents have been provided. Items or documents not provided on initial submission will be subject to further review. Please contact me for any further questions.

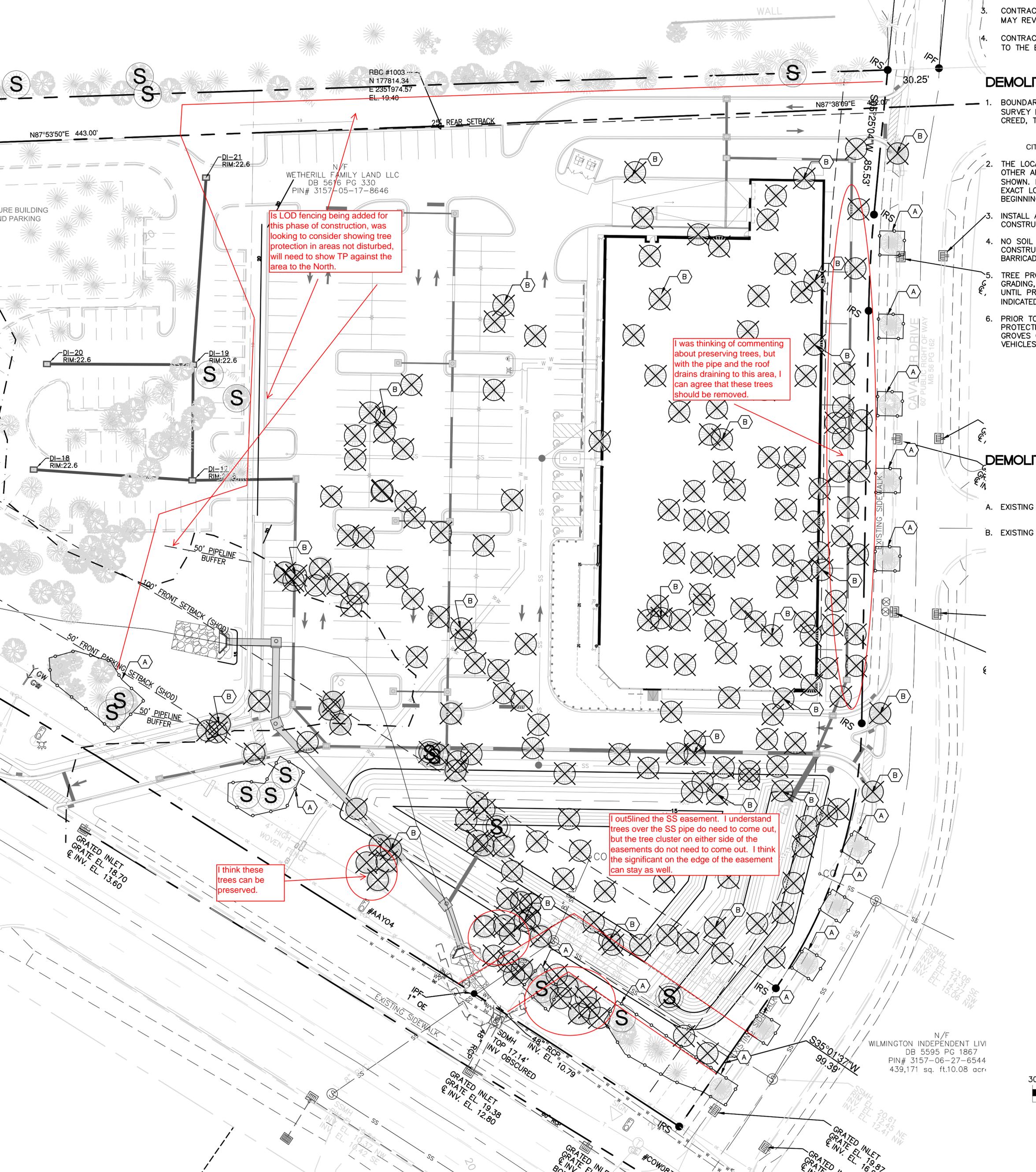
City Council Conditions

- All existing protected trees not impacted by essential site improvements shall be preserved or mitigated.
 - a. Please provide a tree removal page showing the site plan, trees to be removed (shown with an X) and trees to be preserved, shown with tree protection fencing
 - i. I have attached a redline of trees that can be preserved, let me know your thoughts. Once we agree on tree removal, I will approve the tree permit to be sent to County Erosion Control.
 - ii. Also commented on adding addition tree protection if not already covered by your limits of disturbance fencing.
- The proposed building elevation along Cavalier Drive shall provide all proposed windows be see-through to prevent the appearance of blank walls.
 - a. Please provide building elevations for compliance.
 - i. I will need to approve elevations as part of the plan set.
- Exterior site lighting shall be installed so as not to shine directly onto adjacent parcels and shall be limited to full cutoff type fixtures.
 - a. A conceptual site lighting plan shall be submitted prior to construction release.
- All requirements of the Traffic Impact Analysis (TIA) shall be followed including but not limited to, any access to or from Eastwood Road if allowed by NCDOT. Per the TIA, the applicant shall install a traffic signal at the Eastwood Road and Cavalier Drive intersection prior to opening of the supermarket. The applicant shall incorporate the signal in the coordinated signal system along Eastwood Road.
 - a. Please provide sheets addressing compliance with the TIA approval conditions.
 - i. I am keeping this as a reminder to me to make sure the TIA conditions are covered, but I will coordinate the Bill McDow.

Site Plan / Landscape Comments:

- Since the subdivision plat has been record, please show the new two tax parcels.
- All parking rows must have landscape islands at each end. Single islands must be at least 216 SF while double islands must be at least 432 SF. Please label sizes for all islands.
 - A landscape island is required along the parking row in front of the building in front of the entrance for compliance. (2nd request)
 - I have attached a redline showing which islands need labeling.
- Show compliance with required/provided streetyard.

- Cavalier Drive's chart of L1.00 is not complete. Since the site is on 2 street frontages, we can consider Cavalier to be a secondary street yard where the multiplier is 9 feet instead of 18 feet.
- Looking quick, minus the driveways, Cavalier is 570 feet in length, so the streetyard min is $570 * 9$ feet (Streetyard) = 5,130 SF required. You will have to give me your proposed.
 - Trees required on Cavalier: $5,130 / 600 = 8.55$ or 9 trees (required)
 - Shurbs required on Cavalier: $5,130 / 600 = 8.55 * 6 = 51$ shrubs (required)
 - Please show the required plantings within the Cavalier streetyard and street trees cannot count towards meeting the requirement.
- For Eastwood road show required and provided numbers for shrubs.



RBC #1003
 N 177814.34
 E 2351974.57
 EL. 19.40

Is LOD fencing being added for this phase of construction, was looking to consider showing tree protection in areas not disturbed, will need to show TP against the area to the North.

I was thinking of commenting about preserving trees, but with the pipe and the roof drains draining to this area, I can agree that these trees should be removed.

I outlined the SS easement. I understand trees over the SS pipe do need to come out, but the tree cluster on either side of the easements do not need to come out. I think the significant on the edge of the easement can stay as well.

I think these trees can be preserved.

3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WILMINGTON.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WILMINGTON.
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- DEMOLITION**
1. BOUNDARY SURVEY BY CRED, T
 2. THE LOCATION OF OTHER ADJACENT PROPERTIES SHOWN. EXACT LOCATION BEGINNING
 3. INSTALL AND MAINTAIN CONSTRUCTION BARRICADES
 4. NO SOIL EXCAVATION OR BARRICADES
 5. TREE PROTECTION PLAN, GRADING, UNTIL PROTECTED GROVES ARE INDICATED
 6. PRIOR TO CONSTRUCTION, PROTECT GROVES FROM VEHICLES

- EXISTING**
- A. EXISTING
 - B. EXISTING

N87°53'50"E 443.00'

25' REAR SETBACK

N87°38'09"E

30.25'

DI-21 RIM:22.6

N/F WETHERILL FAMILY LAND LLC
 DB 5616 PG 330
 PIN# 3157-05-17-8646

CAVALIER DRIVE
 60' PUBLIC RIGHT OF WAY
 MB 56 PG 162

DI-20 RIM:22.6

DI-19 RIM:22.6

DI-18 RIM:22.6

DI-17 RIM:22.6

50' PIPELINE BUFFER

100' FRONT SETBACK (SHOD)

50' FRONT PARKING SETBACK (SHOD)

50' PIPELINE BUFFER

GRATED INLET
 GRATE EL. 18.70
 & INV. EL. 13.60

4' HIGH WOVEN FENCE

EXISTING SIDEWALK

GRATED INLET
 GRATE EL. 19.38
 & INV. EL. 12.80

SDMH TOP 17.14'
 INV. OBSCURED

S35°01'37"W
 99.39'

N/F WILMINGTON INDEPENDENT LIVING
 DB 5595 PG 1867
 PIN# 3157-06-27-6544
 439,171 sq. ft. 10.08 acres

GRATED INLET
 GRATE EL. 19.87
 & INV. EL. 16.24

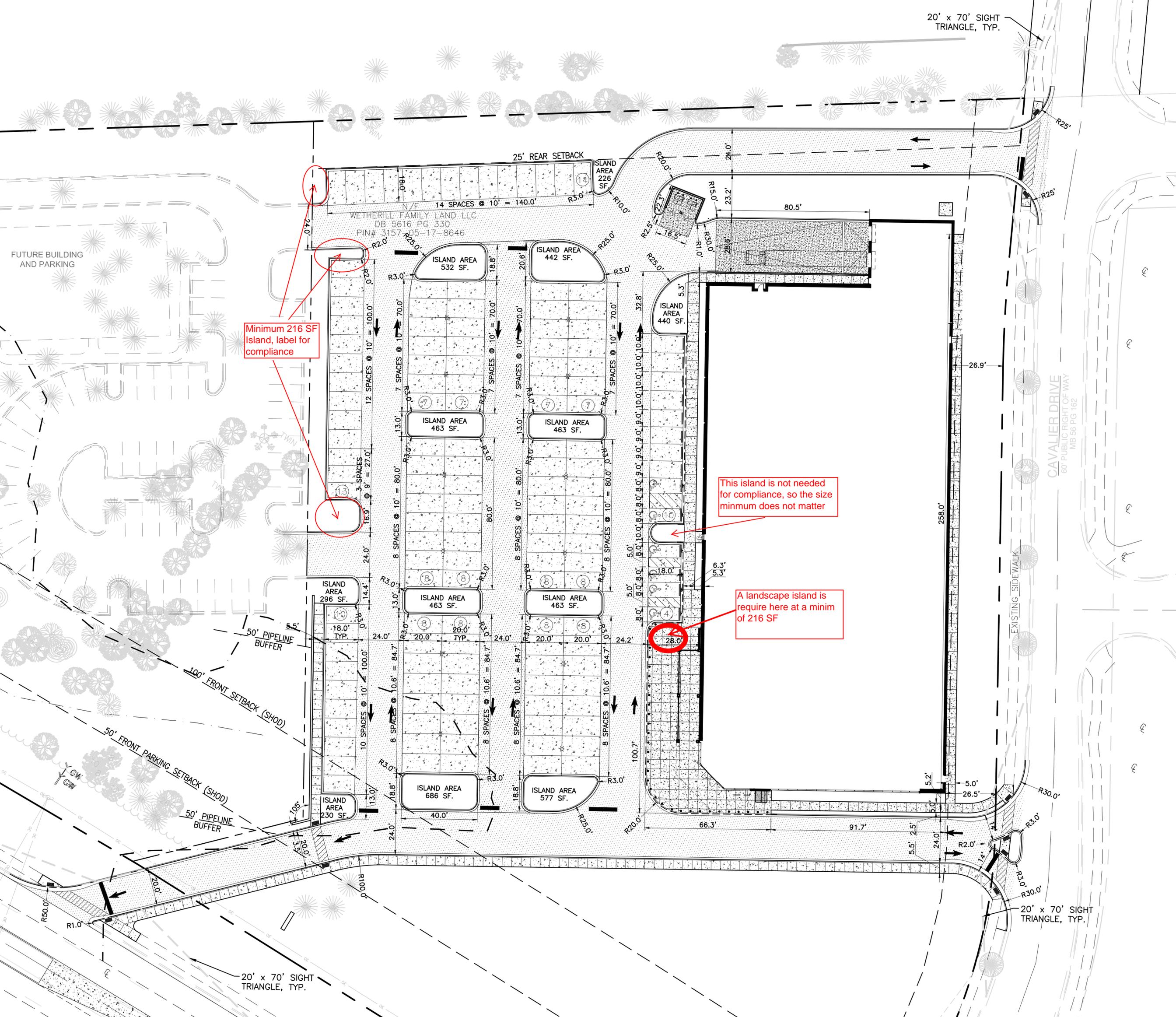
GRATED INLET
 GRATE EL. 19.87
 & INV. EL. 16.24

20' x 70' SIGHT TRIANGLE, TYP.

Minimum 216 SF Island, label for compliance

This island is not needed for compliance, so the size minimum does not matter

A landscape island is require here at a minim of 216 SF



CAVALIER DRIVE
60' PUBLIC RIGHT OF WAY
MB 56 PG 162

EXISTING SIDEWALK

20' x 70' SIGHT TRIANGLE, TYP.