

VICINITY MAPS

SITE DATA

ADDRESS: 1410 SOUTH COLLEGE ROAD (FRONT)
 4502 PEACHTREE AVENUE (REAR)
 WILMINGTON, NC 28403

PARCEL ID NUMBERS: R06107-001-007-000 (FRONT)
 R005519-029-003-000 (REAR)

DEED BOOK & PAGE: D.B. 5680 PG. 1330 (BOTH)

MAP BOOK & PAGE: MB 42 PG. 57

ZONING: RB-REGIONAL BUSINESS
 CITY OF WILMINGTON

TOTAL LOT AREA: 0.40 ACRES (FRONT)
 0.18 ACRES (REAR)
 0.68 ACRES

CAMA LAND USE CLASSIFICATION: URBAN

OVERLAY DISTRICT - PROPERTY IS NOT IN A SPECIAL HIGHWAY OVERLAY DISTRICT

PROPOSED USE: RESTAURANT

NUMBER OF BUILDINGS: 1 PROPOSED

BUILDING SQUARE FOOTAGE: 2538 SF
 PROPOSED ADDITION: 375 SF
 TOTAL: 3113 SF

PERCENT INCREASE IN BUILDING SIZE = 57.53% = 22.7%

LOT COVERAGE: 3113 SF / (0.40 AC X 43560) = 17.9% (TRACT 1)
 0 SF / (0.18 AC X 43560) = 0% (TRACT 2)

	REQUIRED	PROPOSED
MIN. LOT AREA	1 ACRE	0.68 ACRES
MIN. LOT WIDTH	100'	80.07'
MAX. LOT COVERAGE	40%	17.9 % & 0%
FRONT BUILDING SETBACK	50'	73.5'
REAR BUILDING SETBACK	15'	68.1'
SIDE BUILDING SETBACK	0'	0'
RIGHT SIDE		30.2'
LEFT SIDE		2.75'
MAX. BUILDING HEIGHT	35'	19'

PAVEMENT/BUA CALCULATIONS

	EXISTING (TRACT 1)	PROPOSED (TRACT 1)
ASPHALT	11,418 SF	11,232 SF
BUILDING	2,538 SF	3,113 SF
CONCRETE	775 SF	611 SF
TOTAL	14,731 SF	14,956 SF
% OF TOTAL LOT	14731/7424=84.5%	14956/7424=85.8%

	EXISTING (TRACT 2)	PROPOSED (TRACT 2)
ASPHALT	4,903 SF	4,903 SF
BUILDING	0 SF	0 SF
CONCRETE	0 SF	0 SF
TOTAL	4,903 SF	4,903 SF
% OF TOTAL LOT	4903/7841=62.5%	4903/7841=62.5%

PARKING REQUIREMENTS

STANDARD & "FAST FOOD" CARRY OUT RESTAURANT

HEATED AREA = 2922 SF
 KITCHEN = -842 SF
 BATHROOMS = -104 SF
 NET AREA = 1976 SF

MINIMUM = 1/10 GFA = 25 SPACES
 MAXIMUM = 1/25 GFA = 30 SPACES

EXISTING SPACES PROVIDED 28 SPACES + 1 H/C + 1 H/C W/ VAN ACCESS

PER ADA REQUIREMENTS LOTS WITH 26 TO 50 SPACES REQUIRES 2 H/C

SOLID WASTE - SOLID WASTE DISPOSAL WILL BE BY ROLLER CARTS. THERE IS AN EXISTING CART PAD LOCATED TO THE REAR OF THE BUILDING.

UTILITY INFORMATION

FACILITY CURRENTLY HAS WATER AND SEWER TAPS. NO ADDITIONAL TAPS OR CONNECTIONS ARE NEEDED.

ALL PROPOSED UTILITIES TO BE UNDERGROUND TO SERVE THIS SITE

ADDITIONAL NOTES

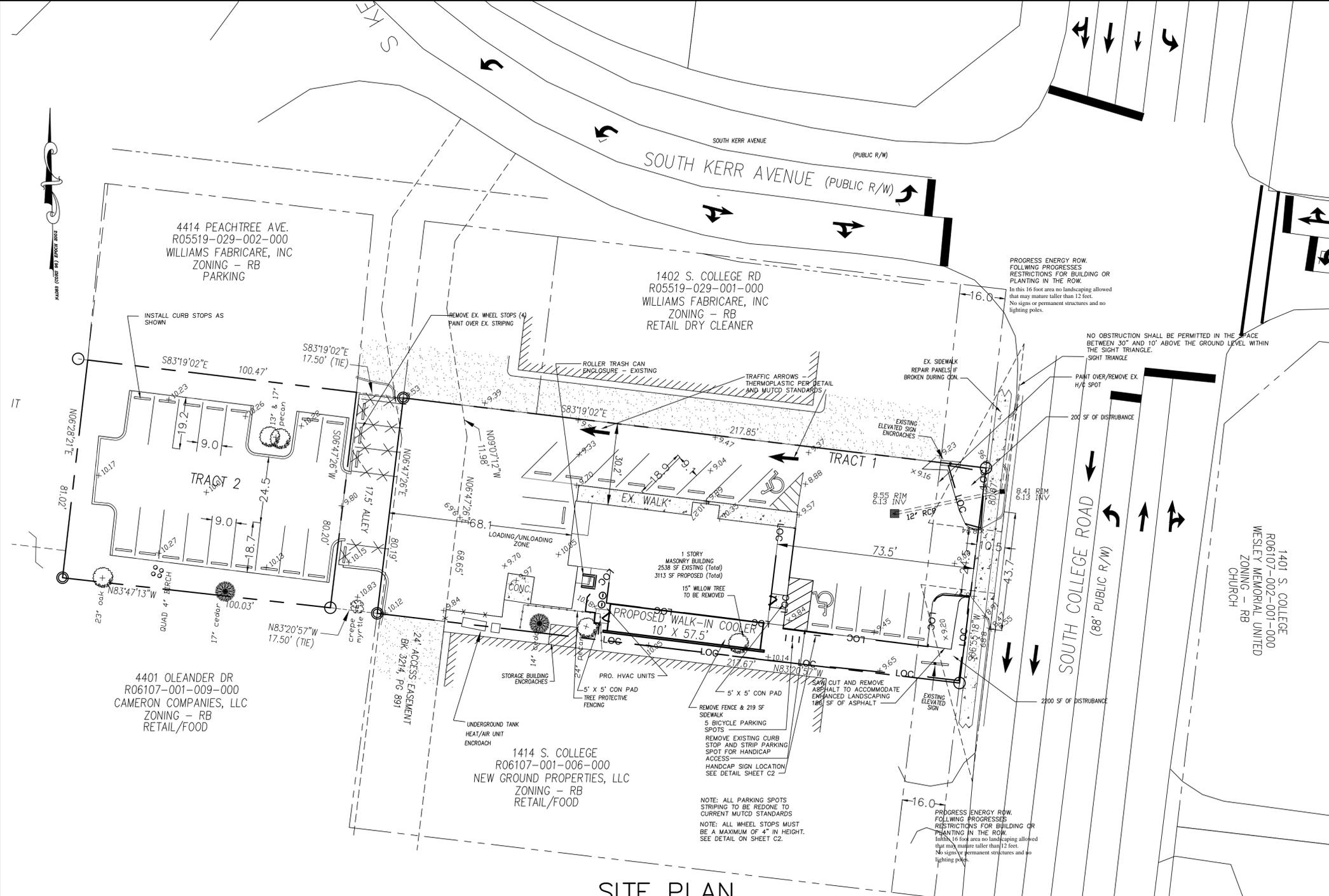
A. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.

B. All parking stall markings and lane arrows within the parking areas shall be white.

C. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.

D. Install reflectors per City and NCDOT standards. Traffic Engineering must approve of pavement marking layout prior to actual striping.

E. A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plan. [SD 15-14 CoW Tech Stds]



SITE PLAN
SCALE 1" = 20'

NOTES

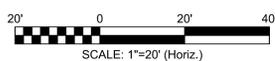
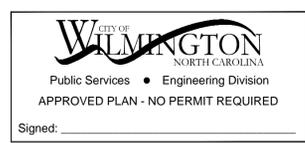
- THERE SHALL BE NO ENCUMBRANCES WITHIN THE NCDOT RIGHT OF WAY.
- ALL MATERIALS UTILIZED IN THE CONSTRUCTION OF THE UTILITIES WITHIN THE PUBLIC RIGHT OF WAY SHALL BE NCDOT APPROVED MATERIALS.
- CONTRACTOR IS TO PROVIDE ALL NECESSARY TRAFFIC AND SAFETY CONTROL DEVICES IN WORK AREAS.
- FIELD VERIFY EXISTING UTILITIES FOR CONFLICTS PRIOR TO CONSTRUCTION, NOTIFY ENGINEER AT 910-619-9990 BEFORE PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR IS TO NOTIFY (AT A MINIMUM) THE FOLLOWING COMPANIES FOR LOCATION SERVICES:
 ULCOO.....1-800-632-4949, 48 HOURS IN ADVANCE
 BELL SOUTH.....1-800-392-8712 (STEVE DAYVAULT)
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING (IF REQUIRED) WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAY ARE TO BE THERMO PLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS
- TRAFFIC ENGINEERING TO BE NOTIFIED AT 341-788 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
- ANY BROKEN OR MISSING SIDEWALKS PANELS WILL BE REPLACED.
- CONTACT KAREN DIXON AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
- IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY MIN ADVANCE FOR THIS SERVICE AND MUST SUPPLY A RPZ BACKFLOW PREVENTION DEVICE ON THE DEVELOPERS SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA SHALL COMPLY WITH THE CFPWA CROSS CONNECTION REGULATIONS
- ROUTE ROOF DRAINS AWAY FROM ADJACENT BUILDINGS TO AVOID SPLASHING.

ADDITIONAL NOTES

- All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- All parking stall markings and lane arrows within the parking areas shall be white.
- A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
- Install reflectors per City and NCDOT standards. Traffic Engineering must approve of pavement marking layout prior to actual striping.
- A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plan. [SD 15-14 CoW Tech Stds]

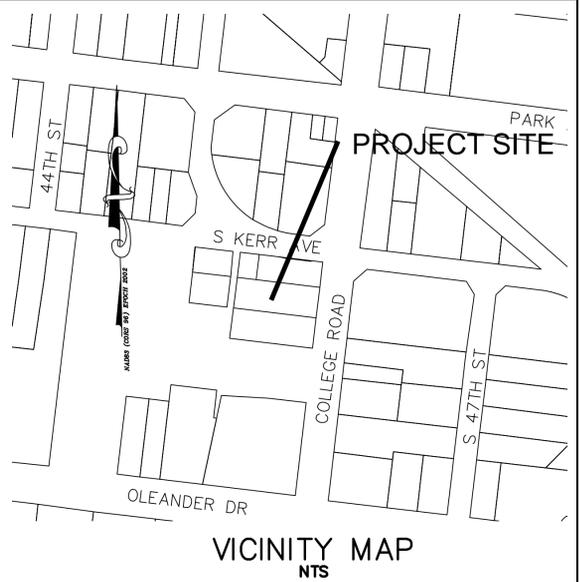
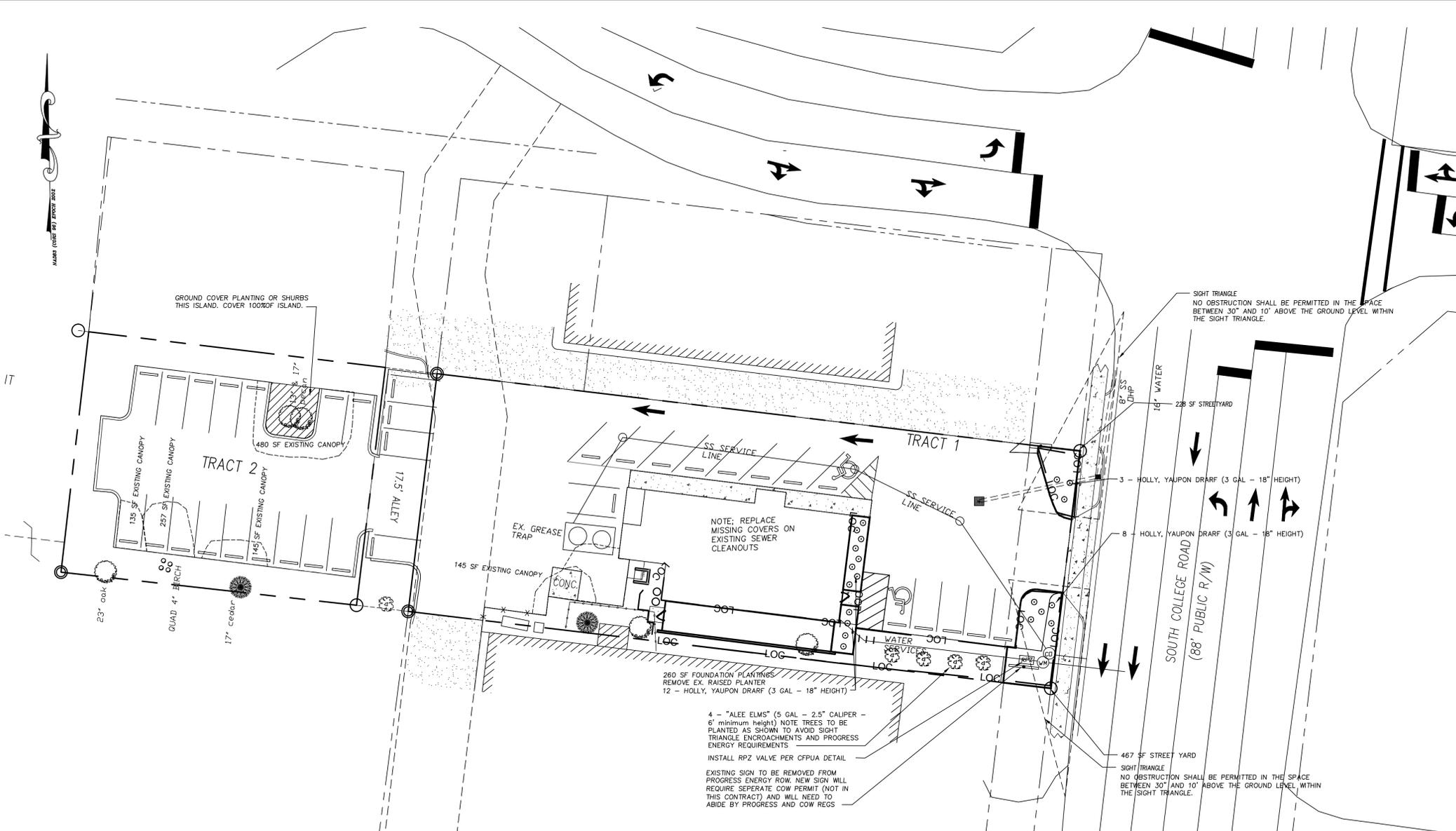
Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	
CFPUA	



NO WETLAND WITHIN PROJECT AREA

REVISION	DATE	DESCRIPTION
R4	1-11-13	REVISED PER PLANNING COMMENTS DATED 12-26-12
R3	12-14-12	RELEASED TO COW - COMMENTS ADDRESSED
R2	11-15-12	RELEASED TO COW FOR MINOR SITE PLAN REVIEW
R1		



LANDSCAPE DATA

LANDSCAPE REQUIREMENTS

STREET YARD BUFFER

ZONING RB (MULTIPLIER = 25)
 80.1-24.5 = 55.6 * 25 = 1390 SF
 PER 18-510 LESS THAN 25% EXPANSION ONLY 1/2 REQUIRED
 1390 SF * 0.5 = 695 SF REQUIRED

695 SF PROVIDED

PARKING LOT LANDSCAPING

PARKING LOT SHADING WILL BE ACCOMPLISHED WITH EXISTING TREES ON SITE. THIS PROJECT REQUIRES A FACTOR OF 4% SHADING OF ASPHALT.

TRACT 1 CONTAINS 11,232 SF OF PARKING LOT. EXISTING SHADING = 463 SF.
 $4\%_{11232} = 4.1\%$ (MEETS CRITERIA)

TRACT 2 CONTAINS 4904 SF OF PARKING LOT. EXISTING SHADING = 1017 SF.
 $1017_{4904} = 20.7\%$ (MEETS CRITERIA)

PERIMETER LANDSCAPING

NON - APPLICABLE ON THIS SITE

FOUNDATION PLANTINGS

FRONT (1' EAVE HEIGHT) X 47' = 893 SF X 12% = 107 SF MIN REQUIRED

260 SF PROVIDED

NORTH & SOUTH SIDE - NOT APPLICABLE

BUFFER YARD

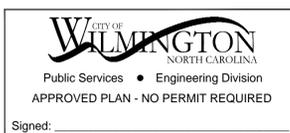
NOT REQUIRED ON THIS PARCEL

LANDSCAPE NOTES

1. ALL PLANTED AND RETAINED LIVING MATERIAL, REQUIRED TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON, LAND DEVELOPMENT CODE, SHALL BE PERPETUALLY PROTECTED AND MAINTAINED, TO PROFESSIONALLY ACCEPTED STANDARDS BY JOINT AND SEVERAL RESPONSIBILITY OF THE OWNER, OCCUPANTS, TENANT AND RESPECTIVE LIVE AGENTS OF THE PROPERTY ON WHICH THE MATERIAL IS LOCATED.

2. PLEASE NOTE THAT ALL LANDSCAPE ISLANDS INCLUDING EXISTING ISLANDS MUST HAVE ADDITIONAL GROUND COVER OR SHRUBBERY TO COVER THE ENTIRE ISLAND. ISLAND SHOWN ON TRACT 2 TO HAVE COVER INSTALLED.

LANDSCAPE & UTILITY PLAN
SCALE 1" = 20'

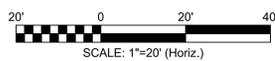


Signed: _____

Approved Construction Plan

Name	Date
Planning	_____
Traffic	_____
Fire	_____
CFPUA	_____

REVISION	DATE	DESCRIPTION
R4	1-11-13	REVISED PER PLANNING COMMENTS DATED 12-28-12
R3	12-19-12	REVISED LOCATION OF SEWER CLEANOUT
R2	12-14-12	RELEASED TO COW - COMMENTS ADDRESSED
R1	11-15-12	RELEASED TO COW FOR MINOR SITE PLAN REVIEW



NO WETLAND WITHIN PROJECT AREA

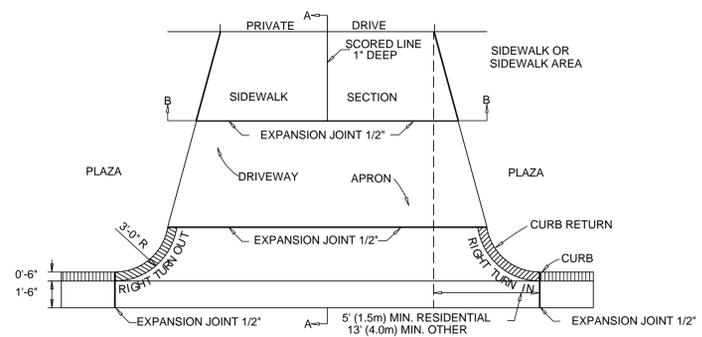
DESIGNED BY:	BDS
DRAWN BY:	BDS
CHECKED BY:	BDS
DATE:	NOVEMBER 8, 2012

LANDSCAPE & UTILITY PLAN
HONEY BAKED HAM
1410 COLLEGE ROAD
WILMINGTON, NC

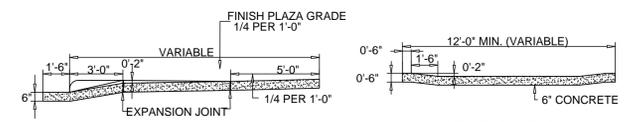
OWNER
TMC TAYLOR CONSTRUCTION, INC.
MR. GREG TAYLOR
1406 CASTLE HAYNE ROAD
WILMINGTON, NC 28401
1-910-251-1181



JBS CONSULTING, PA
 7332 Colesworth Drive
 Wilmington, NC 28405
 (910) 619-9990
 License Number C-2525
 PLANNING - ENGINEERING - PROJECT MANAGEMENT



PAVEMENT PLAN

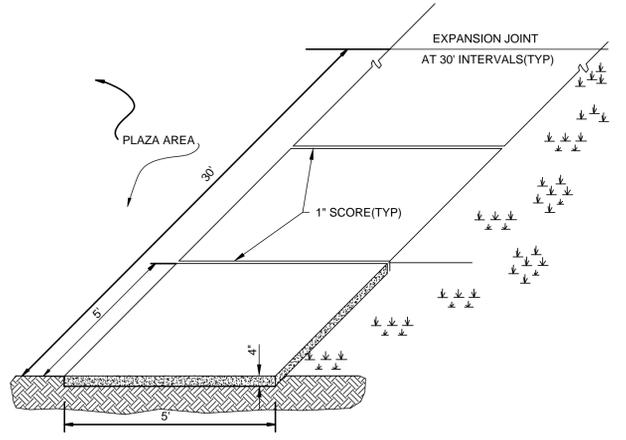


SECTION A-A

SECTION B-B

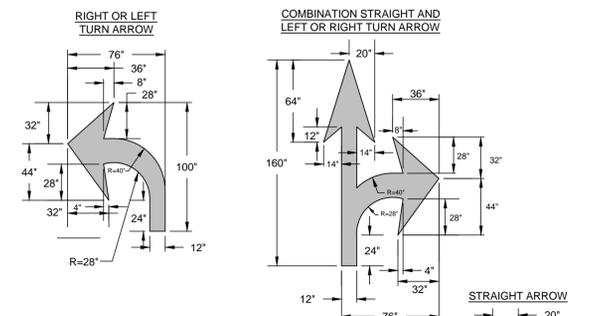
STANDARD DRIVEWAY DETAIL

SD 8-02
NOT TO SCALE

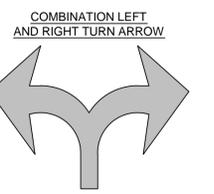
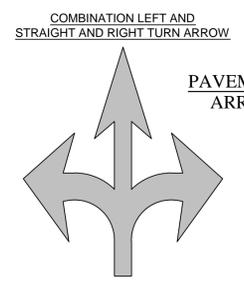


STANDARD SIDEWALK DETAIL

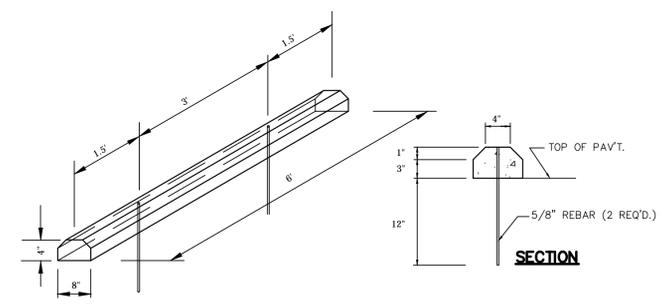
SD 8-15
NOT TO SCALE



PAVEMENT MARKINGS
ARROW SYMBOLS
SD 11-03

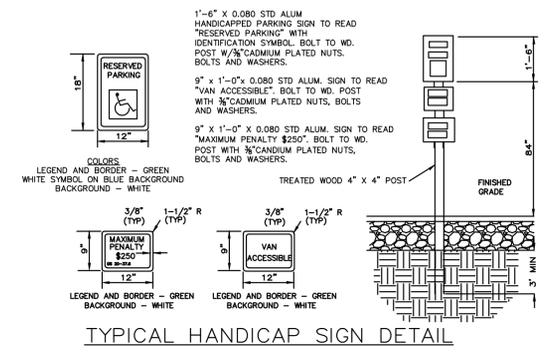


GENERAL NOTES
- ALL PAVEMENT MARKING SYMBOLS SHALL BE WHITE IN COLOR
- PAVEMENT MARKING SYMBOLS SHALL NOT BE LOCATED AS TO ENCRoACH INTO INTERSECTION AREAS
- ON PORTLAND CEMENT CONCRETE PAVEMENTS, PAVEMENT MARKING SYMBOLS SHALL NOT BE PLACED ACROSS TRANSVERSE EXPANSION JOINTS UNLESS APPROVED BY THE ENGINEER.



WHEEL STOP DETAIL

NOT TO SCALE



TYPICAL HANDICAP SIGN DETAIL

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

CFPUA _____



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DESIGN BY:	BDS
DRAWN BY:	BDS
CHECKED BY:	BDS
DATE:	NOVEMBER 8, 2012

DETAILS
HONEY BAKED HAM
1410 COLLEGE ROAD
WILMINGTON, NC

OWNER
TMC TAYLOR CONSTRUCTION, INC.
MR. GREG TAYLOR
1406 CASTLE HAYNE ROAD
WILMINGTON, NC 28401
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