

- NOTES:**
- THE CONSTRUCTION SITE IS NOT LOCATED IN A FEMA FLOOD HAZARDOUS ZONE. FIRM # 370173117K, APRIL 3, 2006.
  - THERE ARE NO WETLANDS ON THE SITE.
  - THERE ARE NO EXISTING TREES ON THE SITE.
  - TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
  - IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE METER BOX. ANY BACKFLOW PREVENTION DEVICES REQUIRED WILL NEED TO BE ON THE LIST OF DEVICES APPROVED BY USFCFCCR OR ASSE.
  - ANY IRRIGATION SYSTEM SUPPLY BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS.
  - CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING. 1-800-632-4949
  - THE BELL SOUTH CONTACT IS STEVE DAYVAULT. HE IS THE BUILDING INDUSTRY CONSULTANT (910) 392-8112. PLEASE CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
  - ALL PLANTED AND RETAINED LIVING MATERIAL REQUIRED TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE, SHALL BE PERPETUALLY PROTECTED AND MAINTAINED TO PROFESSIONAL ACCEPTED STANDARDS BY JOINT AND SEVERAL RESPONSIBILITY OF THE OWNER, TENANT AND RESPECTIVE AGENTS OF THE PROPERTY ON WHICH THE MATERIAL IS LOCATED.
  - ANY PLANT MATERIAL THAT WAS PREVIOUSLY INSTALLED ON THE SITE TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE THAT HAS NOT BEEN MAINTAINED MUST BE REPLACED.
  - AS PART OF THE FINAL ZONING INSPECTION FOR THIS PROJECT, A SURVEY OF THE SITE LANDSCAPING WILL BE CONDUCTED. PLANT MATERIAL THAT HAS NOT BEEN MAINTAINED MUST BE REPLACED BEFORE A FINAL ZONING APPROVAL IS ISSUED.
  - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
  - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
  - A RAIN/FREEZE SENSOR SHALL BE INSTALLED AS PART OF ANY IRRIGATION SYSTEM USED ON THE SITE.
  - CONTACT TRAFFIC ENGINEERING AT 910-341-7888 48 HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE PROPERLY RIGHT-OF-WAY TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE PROPERLY
  - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5885 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
  - TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMP.
  - CONTACT KAREN DIXON AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
  - WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY (CFPUA) DETAILS AND SPECIFICATIONS.
  - ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCFCCR OR ASSE.
  - CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
  - CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
  - UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPT. FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPT. DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0646.
  - ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
  - TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
  - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
  - PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
  - EXISTING SERVICES MUST BE ABANDONED PER CFPUA SPECIFICATIONS.
  - CONTRACTOR TO EXCAVATE AND INSTALL CONDUIT FOR UNDERGROUND ELECTRIC SERVICE ACCORDING TO DUKE ENERGY SPECIFICATIONS.
  - ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND TERMINAL FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ABUTTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.
  - IMMEDIATELY NOTIFY CITY OF WILMINGTON TRAFFIC ENGINEERING AT 910-341-7888 IF ANY TRAFFIC SIGNAL FACILITIES OR CITY-OWNED STREETLIGHT FACILITIES ARE DAMAGED.
  - DAMAGED FACILITIES SHALL BE REPLACED BY AN APPROVED CONTRACTOR, ACCORDING TO STANDARD NCDOT REPLACEMENT SCHEDULES AND CURRENT NCDOT DESIGN STANDARDS.
  - ALL REPAIR/REPLACEMENT OF TRAFFIC SIGNAL INFRASTRUCTURE SHALL BE COORDINATED WITH THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION.

SETBACKS	
REQUIRED	PROVIDED
FRONT - 0	FRONT - 0
SIDES - 0	SIDE - 2.25' / 0.5'
REAR - 0	REAR - 0

WATER PROPOSED: 13,800 GPD  
SEWER PROPOSED: 11,500 GPD

SITE DATA TABLE	
PIN	R04817-001-013-000
ADDRESS	225 GRACE ST WILMINGTON, NC 28401
ZONING	CENTRAL BUSINESS DISTRICT
ACREAGE	0.41
EX. BLDG & SIDEWALKS	0
EX. PARKING & DRIVES - TO BE REMOVED	14,489.2 SF = 0.33 AC
TOTAL EX. IMPERVIOUS - TO BE REMOVED	14,489.2 SF = 0.33 AC (80%)
PROPOSED ADDED GREENSPACE	0
BUILDING IMPERVIOUS	12,503 SF = 0.29 AC (70%)
PARKING IMPERVIOUS	3,344 SF = 0.08 AC
TRANSFORMER PAD IMPERVIOUS	370 SF = 0.008 AC
SIDEWALK IMPERVIOUS	143 SF = 0.003 AC
PERVIOUS PAVEMENT (468SF-USE 40%)	187 SF = 0.004 AC
TOTAL PROPOSED IMPERVIOUS	16,547 SF = 0.38 AC (93%)
EXISTING PARKING - TO BE REMOVED	17 SPACES
TOTAL PROP. PARKING ON SITE	4 SPACES
ADA PARKING REQUIRED / PROVIDED	1 SPACE
DISTURBED AREA	17,895 SF = 0.41 AC
CAMA LAND USE DESIGNATION	DEVELOPED
BUILDING HEIGHT	76'
NO. STORIES/FLOORS	5
1ST FLOOR (ENCLOSED) SF	9,895
2ND FLOOR SF	11,876
3RD FLOOR SF	11,876
4TH FLOOR SF	11,876
5TH FLOOR SF	11,876
TOTAL SF ON 5 FLOORS	57,399
NO. OF ROOMS / UNITS	92
USDA SOIL CLASSIFICATION - ENTIRE SITE	KUREB-URBAN LAND
SETBACK REQUIREMENTS	0 - ALL SIDES
OFF-SITE PARKING	NEW HANOVER CO. 2ND ST PARKING DECK
FEMA FLOOD ZONE X	FEMA MAP PANEL 370173117K
CAPE FEAR RIVER BASIN	NORTHEAST CAPE FEAR RIVER, CLASS SC/SW

**GRACE ST.**  
66' PUBLIC RIGHT OF WAY



REV. NO.	DESCRIPTION	DATE

**OWNER 100% RVW/PRICING**

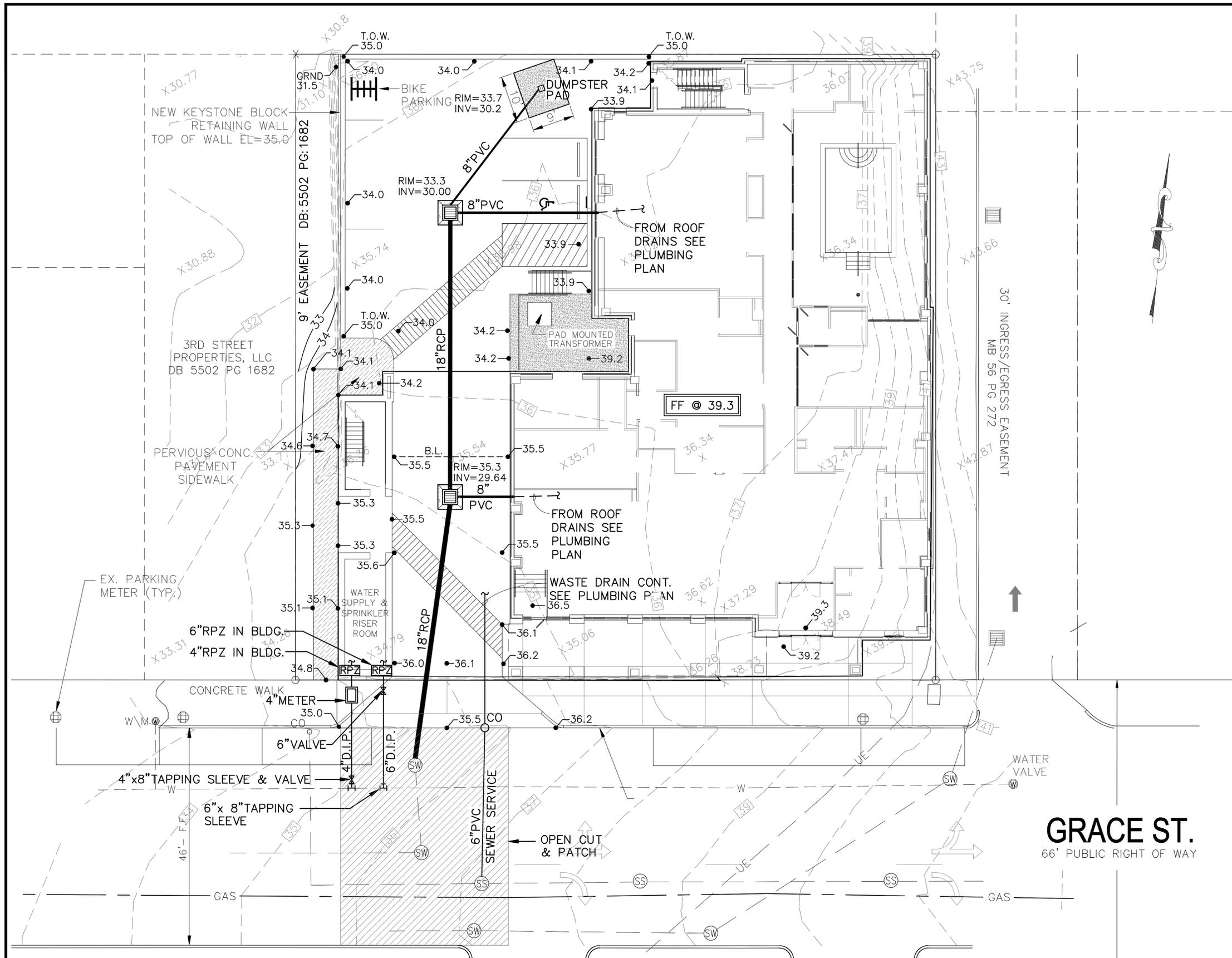
**JAI HOSPITALITY, LLC**  
**HOLIDAY INN EXPRESS ON GRACE**

WILMINGTON      NEW HANOVER      NORTH CAROLINA

**HOLIDAY INN EXPRESS**  
**SITE PLAN**

**RIGHT ANGLE ENGINEERING, P.C.**  
212 PRINCESS STREET  
WILMINGTON, NC 28401  
(910) 251-8544      FAX (910) 251-2208

DATE: 3/13/2014  
Scale: 1" = 10'  
Drawn: NNC  
Checked: WSL  
Project No: MP0213  
Sheet No: **C2**



**GRACE ST.**  
66' PUBLIC RIGHT OF WAY



REV. NO.	DESCRIPTION	DATE

**OWNER 100% RVW/PRICING**

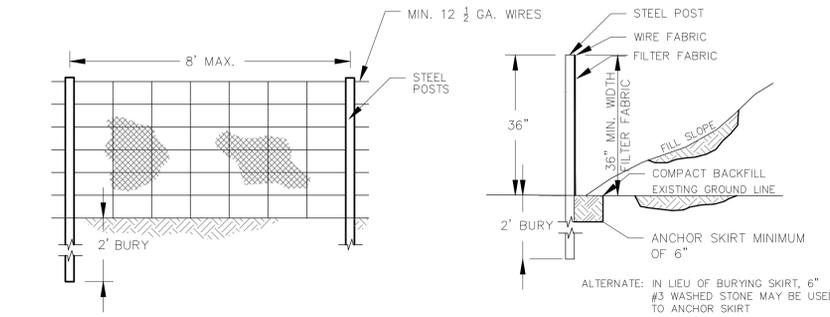
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**HOLIDAY INN EXPRESS ON GRACE**  
WILMINGTON      NEW HANOVER      NORTH CAROLINA

**GRADING AND UTILITY PLAN**

**RIGHT ANGLE ENGINEERING, P.C.**  
212 PRINCESS STREET  
WILMINGTON, NC 28401  
(910) 251-8544      FAX (910) 251-2208

DATE: 3/13/2014
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Project No: MP0213
Sheet No: <b>C3</b>





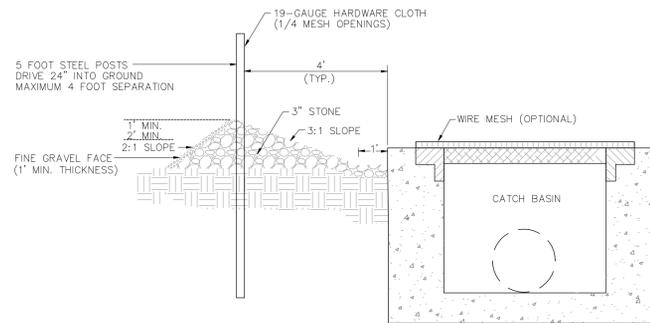
**GENERAL NOTES:**

FENCE FABRIC SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING. FILTER FABRIC SHALL BE MIRAFI 100 OR EQUIVALENT AND SHALL BE A MINIMUM OF 36" IN WIDTH. BURLAP CAN NOT BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS. STEEL POSTS SHALL BE 3"-Ø IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE. SILT FENCES SHALL BE INSTALLED AROUND ALL CATCH BASINS. SILT FENCES SHALL BE PROVIDED AS NECESSARY TO PREVENT EXCESSIVE EROSION.

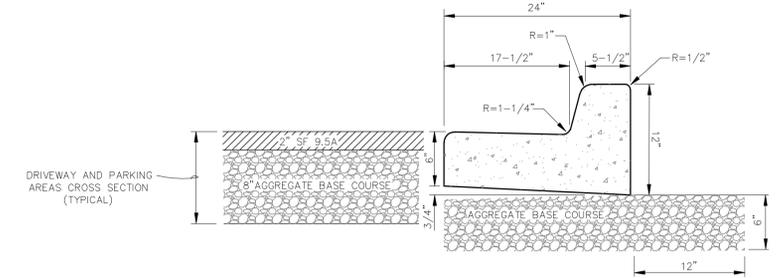
**MAINTENANCE NOTES:**

FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER GRADE, PREPARED AND SEEDED.

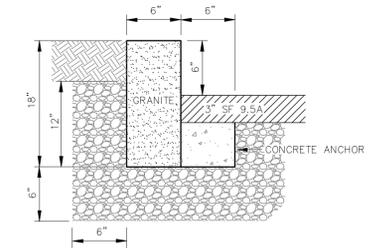
**TEMPORARY SILT FENCE**  
NOT TO SCALE



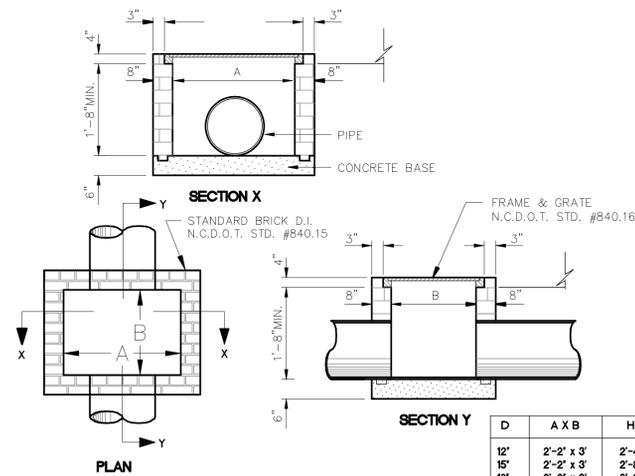
**GRAVEL DROP INLET PROTECTION (GRAVEL DONUT)**  
NOT TO SCALE



**CONCRETE CURB AND GUTTER (SD 3-11)**  
NOT TO SCALE



**GRANITE CURB (SD 3-11)**  
NOT TO SCALE

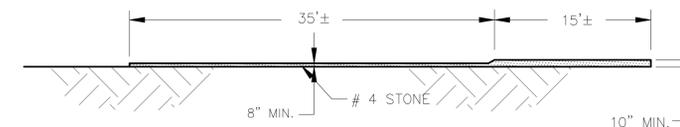
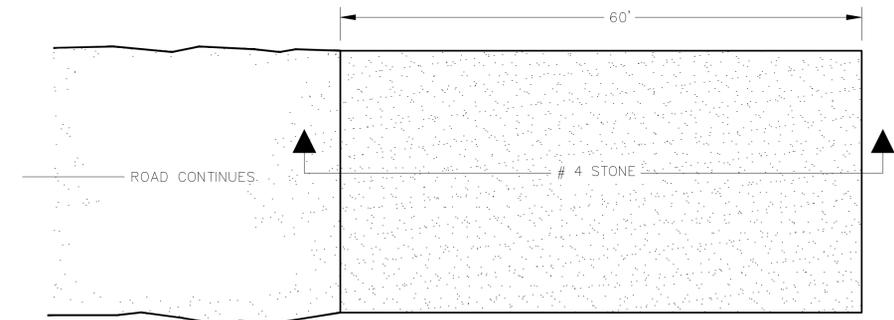


**CAST-IN-PLACE OR MASONRY CATCH BASIN**  
NOT TO SCALE

**General Notes: Precast Catch Basins**

- Precast concrete structures shall be in accordance with NCDOT section 1077 for "precast concrete units" of the most recent "Standards Specifications for Roads and Structures" And ASTM-C-913 for "Reinforced Concrete Water and Wastewater Structures".
- Concrete compressive strength shall be 4000 PSI Minimum and shall meet the requirements as specified in NCDOT section 1077.
- Reinforcing steel shall be of deformed steel bars conforming to the requirements of ASTM-A-615, grade 60, or welded wire fabric conforming to the requirement of ASTM-A-82 or both.
- Reinforcing steel design shall be according to C-890-78 for H-20-44 Loading.
- Steps required on structures over 42" deep shall be on steel reinforced copolymer polypropylene plastic.
- Section joints shall be sealed with butyl rubber sealant or NCDOT approved mortar at the option of the contractor.
- Pipe connections shall be sealed with approved mortar. NCDOT approved brick may be used in conjunction with mortar at the contractors option.
- Lift holes shall be located as required for handling and sealed after installation with NCDOT approved mortar.

D	A X B	H
12'	2'-2' x 3'	2'-4"
15'	2'-2' x 3'	2'-8"
18'	2'-2' x 3'	2'-8"
24'	3' x 3'	4'-0"
30'	4' x 4'	4'-4"
36'	4' x 4'	5'-0"
42'	5' x 5'	5'-4"
48'	5' x 5'	6'-0"



**SECTION**  
**TEMPORARY CONSTRUCTION ENTRANCE**  
SCALE: 1"=10'

**TEMPORARY SEEDING**

GRASS TYPE	AMOUNT/1000 SF	TIME OF SEEDING	INITIAL	FERTILIZATION/1000 SF MAINTENANCE		
RYE GRAIN	1-2 LBS	NOV. THRU JAN.	25 LBS 10-10-10	N/A	N/A	N/A
BROWN TOP MILLET	1-2 LBS	JUNE THRU AUG.	25 LBS 10-10-10	N/A	N/A	N/A

**PERMANENT SEEDING**

GRASS TYPE	AMOUNT/1000 SF	TIME OF SEEDING	INITIAL	FERTILIZATION/1000 SF MAINTENANCE		
BERMUDA, COMMON	1-2 LBS	APR. THRU JUNE	25 LBS 10-10-10	MARCH-APRIL 12 LBS 10-10-10	EACH 4-8 WKS 1-2 LBS N.	AUG- SEPT 12 LBS 10-10-10
FESCUE, TALL (KENTUCKY 31)	5-7 LBS	SEPT THRU OCT FEB THRU OCT	25 LBS 10-10-10	FEB - MARCH 12 LBS 10-10-10	MAY & DEC 1/2 TO 1 LB. N.	SEPT - OCT 12 LBS 10-10-10
SERICEA LESPEDEZA (SLOPES)	1-2 LBS	MARCH THRU APR.	25 LBS 10-10-10	FEB - MARCH	1/2 TO 1 LB. N.	N/A

REV. NO.	DESCRIPTION	DATE

**OWNER 100% RVW/PRICING**

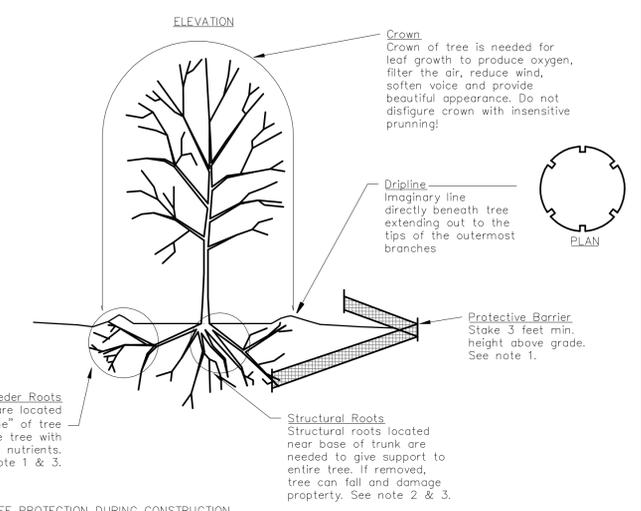
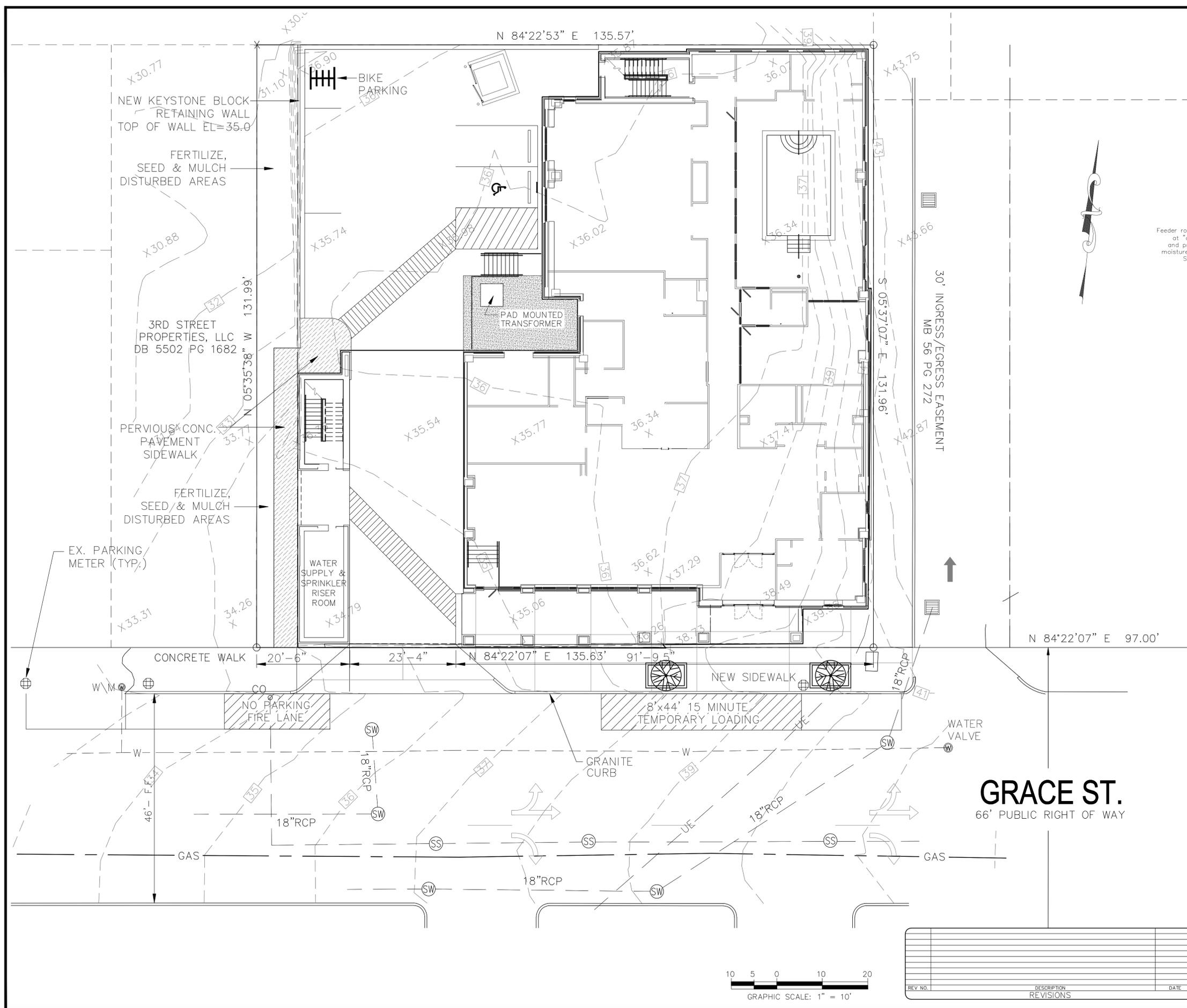
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**HOLIDAY INN EXPRESS ON GRACE**  
WILMINGTON NEW HANOVER NORTH CAROLINA

**DETAILS**

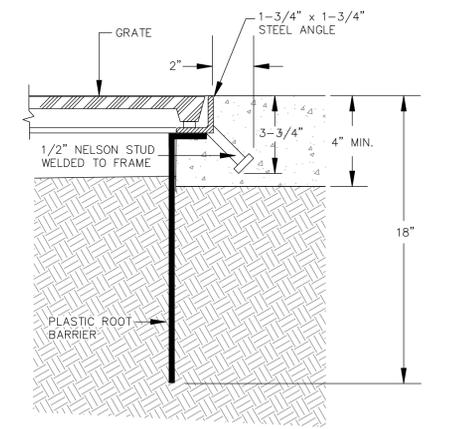
**RIGHT ANGLE**  
**ENGINEERING, P.C.**  
212 PRINCESS STREET  
WILMINGTON, NC 28401  
(910) 251-8544 FAX (910) 251-2208

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Drawn:  
NNC  
Checked:  
WSL  
Project No:  
MP0213

Sheet No:  
**D2**



- TREE PROTECTION DURING CONSTRUCTION**
1. CLEARLY MARK THE TREE TO BE SAVED PRIOR TO CONSTRUCTION AND ERECT A PROTECTIVE BARRIER AT THE DRIPLINE. DO NOT COMPACT SOILS BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO HEAVY MATERIALS SHALL BE STORED BENEATH TREES. RESULTS OF COMPACTION CAUSE WATER AND AIR NOT TO REACH THE ROOTS AND THE TREE WILL DIE. THESE "FEEDING ROOTS" OCCUR WELL AWAY FROM THE BASE OF THE TREE TO THE EDGE OF THE OVERHEAD BRANCH CANOPY. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. THE PROTECTIVE BARRIER SHOULD PREVENT DAMAGE FROM OCCURRING DURING CONSTRUCTION.
  2. NO CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK. REMOVAL OF THESE ROOTS ALONG ONE SIDE IS OFTEN DONE BECAUSE OF A WALK, PAVING OR BUILDING WHICH IS BEING CONSTRUCTED THESE ARE ESSENTIAL IN SUPPORTING THE TREE AND HOLDING IT UPRIGHT IN HIGH WINDS.
  3. AVOID CUT AND FILL WITHIN DIAMETER OF TREE CROWN DURING EXCAVATION.



**TREE GRATE FRAME INSTALLATION DETAIL**  
NOT TO SCALE

LANDSCAPE LEGEND			
SYMBOL	PLANT	SIZE/SPEC.	QUANTITY
	CREPE MYRTLE LAGERSTROEMIA INDICA "TOWNHOUSE" UNIFORM COLOR	MIN = 2.5" CALIPER MIN 25' O.C.	2
	4' x 6' IRONSMITH TREE GRATE "STARBURST" OR APPROVED EQUAL		2

**OWNER 100% RVW/PRICING**

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**LANDSCAPE PLAN**

Checked: WSL  
Project No: MP0213

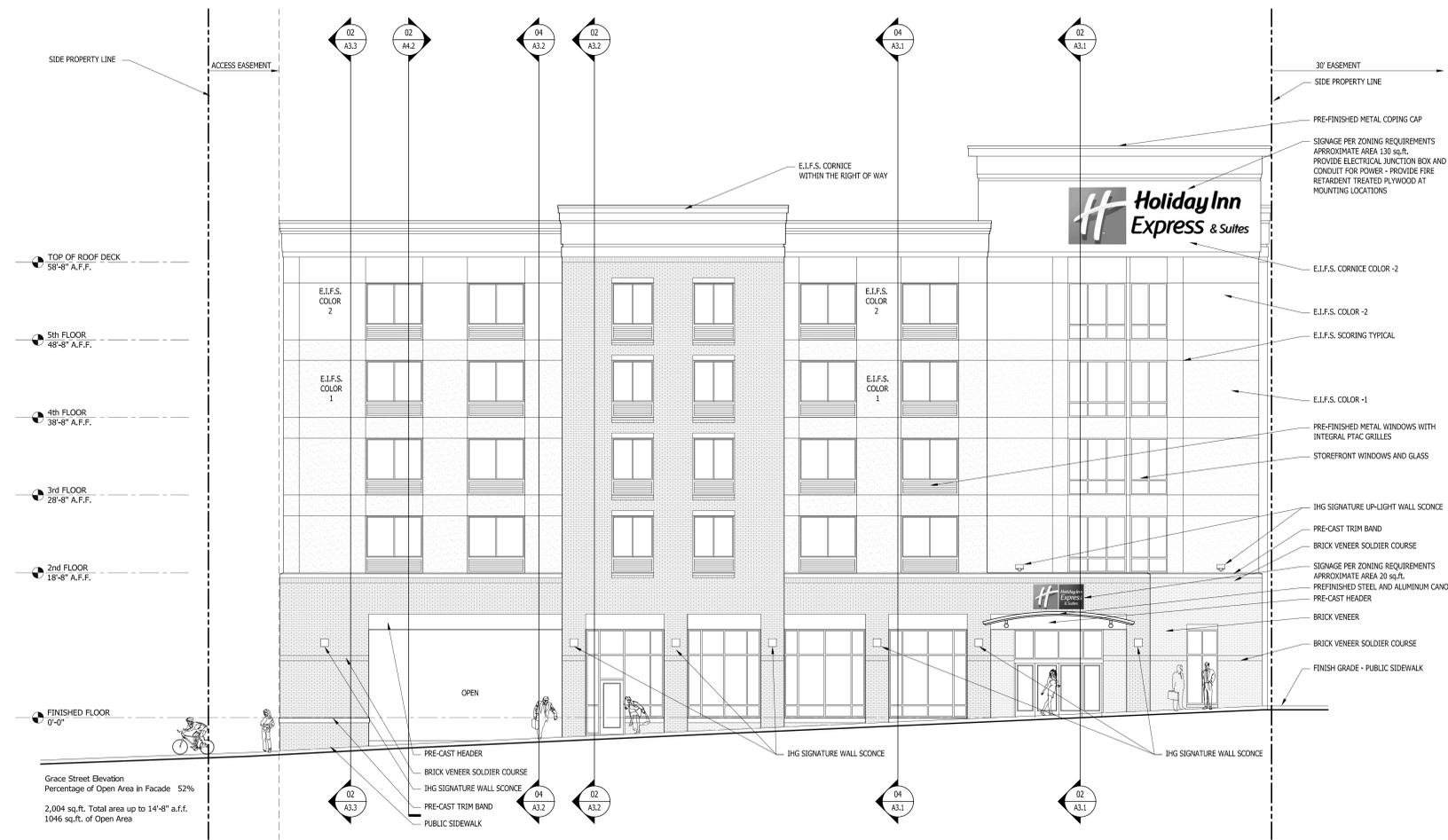
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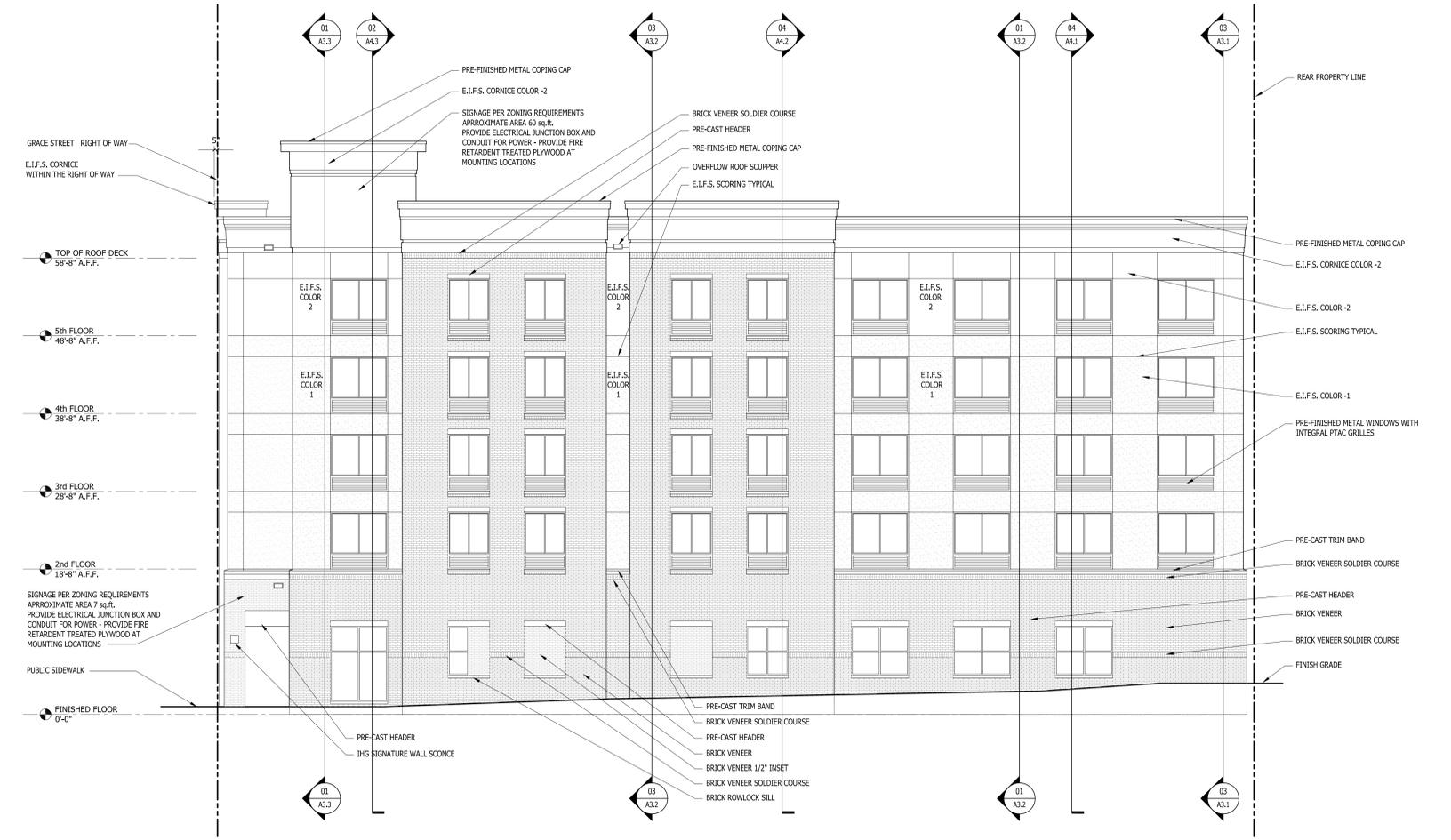






04 OPEN scale: 3/8" = 1'-0"

02 ELEVATIONS scale: 1/8" = 1'-0"



03 OPEN scale: 3/8" = 1'-0"

01 ELEVATIONS scale: 1/8" = 1'-0"

**ODA**  
overcash demmitt

2010 south tryon st. suite 1a  
charlotte north carolina 28203  
office.704.332.1615  
web.www.odarch.com

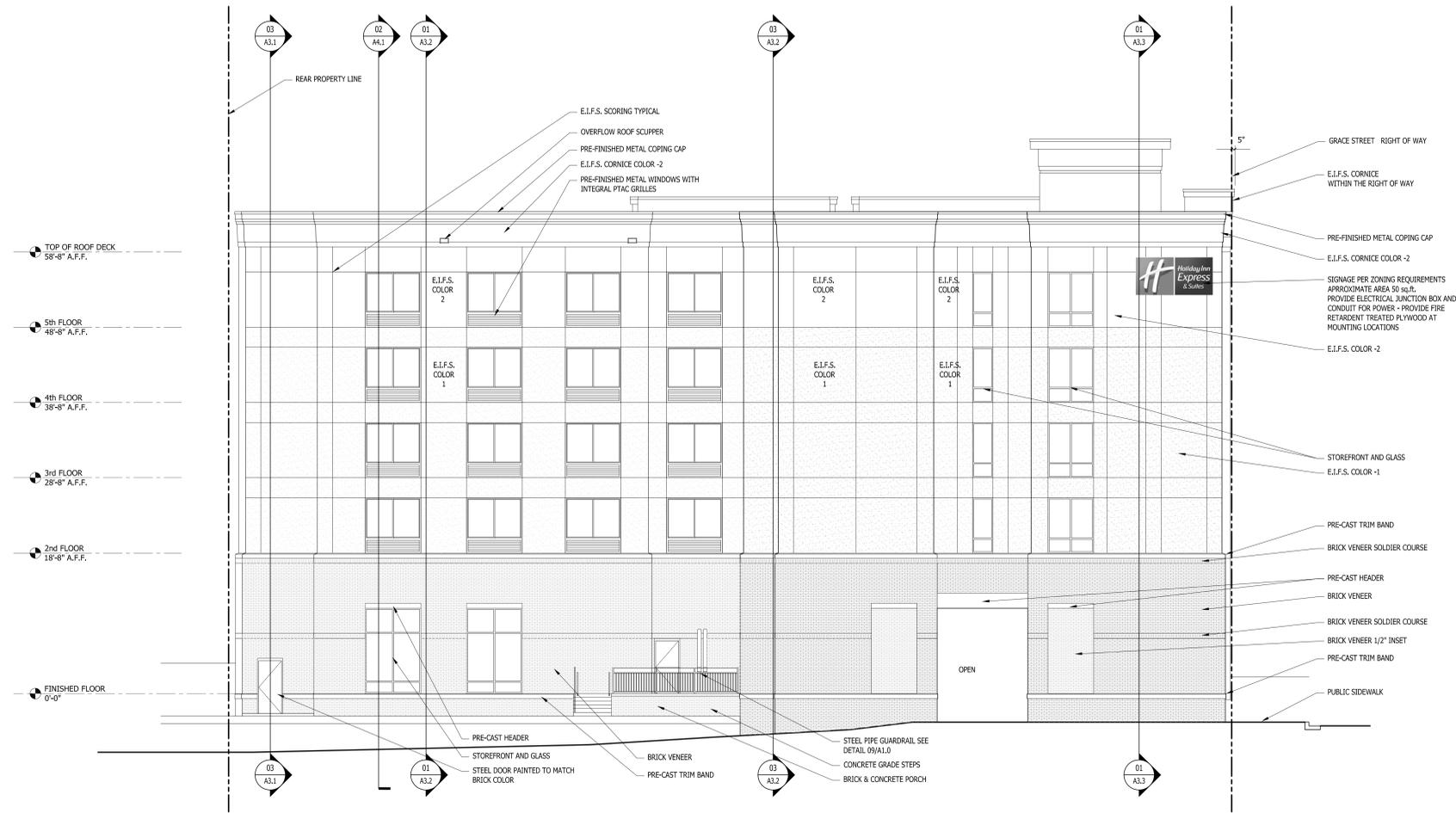
Wilmington  
Hotel Group,  
LLC  
Holiday  
Inn  
Express  
Hotel & Suites  
WILMINGTON, NORTH CAROLINA

ISSUE	DATE
IHG 30% REVIEW	08/29/13
IHG RE-REVIEW	10/17/13
OWNER REVIEW	10/29/13
TRC	11/06/13
OWNER RVW 100% / PRICING	02/25/14
TRC	03/13/14
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ELEVATIONS

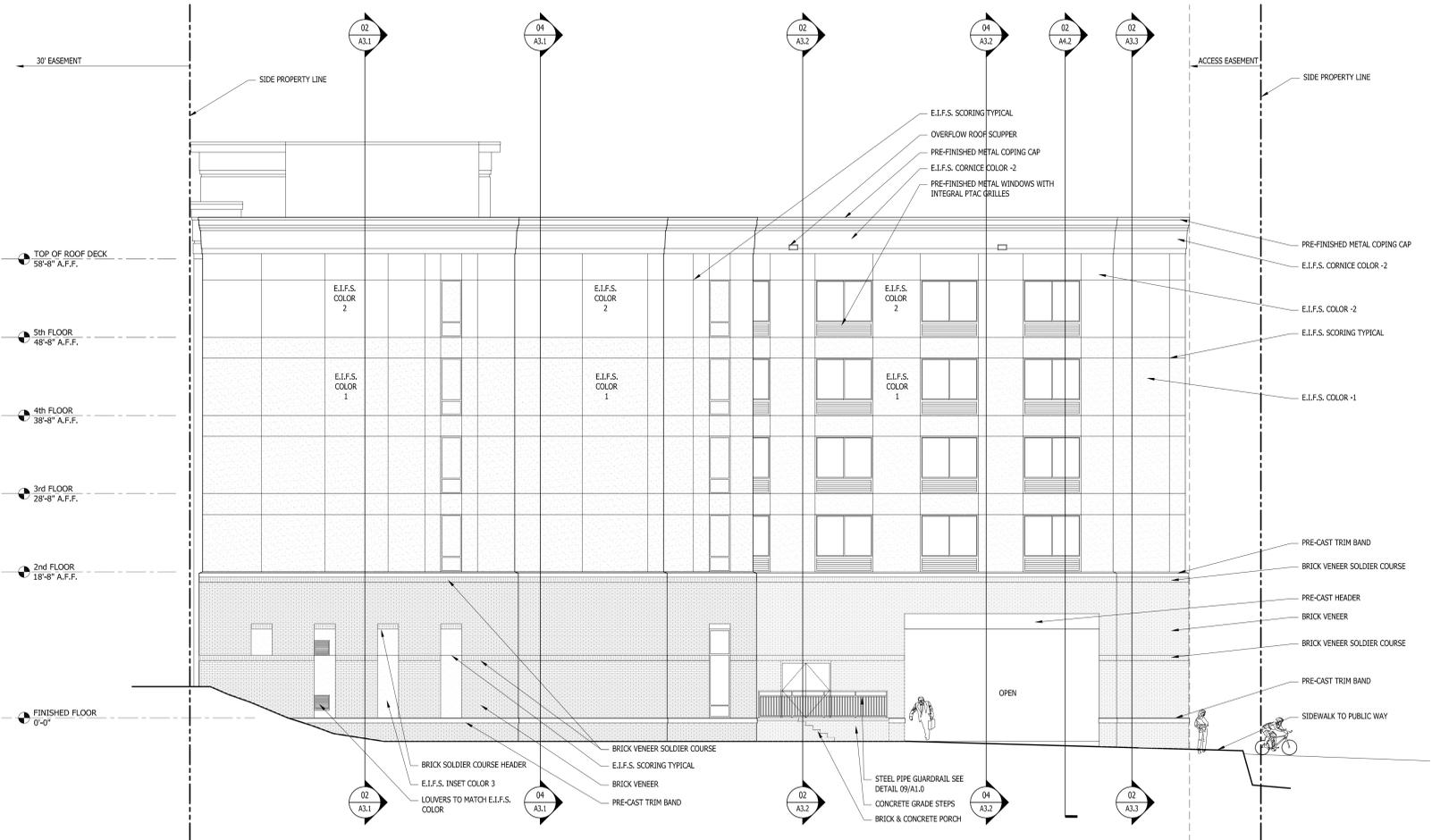
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**02 ELEVATIONS**

scale: 1/8" = 1'-0"



**01 ELEVATIONS**

scale: 1/8" = 1'-0"



**ODA**  
overcash demmitt

2010 south tryon st. suite 1a  
charlotte north carolina 28203  
office. 704.332.1615  
web. www.odarch.com

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Hotel Group,  
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ISSUE	DATE
IHG 30% REVIEW	08/29/13
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OWNER REVIEW	10/29/13
TRC	11/06/13
OWNER RVW 100% / PRICING	02/25/14
TRC	03/13/14
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**ELEVATIONS**

**A2.2**

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