

To: Brian Rossi
From: Gilbert Combs, Associate Planner; 910-341-4661
CC: File;
Date: 5/3/2019
Re: Hendrick Honda Rev2

The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. Additional review will be required once all the needed documents have been provided. Items or documents not provided on initial submission will be subject to further review. Please contact me for any further questions.

Site Plan Comments:

- Add carwash area to parking calculations
- Identify location for dumpster/roll-up containers and appropriate screening.
- Please show full calculations for lot coverage and impervious areas for both existing/proposed.

Landscape Plan to Include:

- Parking islands at the ends of consecutive parking rows must have a minimum width of 12 feet measured from back of curb to back of curb and contain a minimum area of 216 square feet. These islands must contain at least one tree. [18-481(a)(g)]
 - See attached sheet for areas that are not meeting the minimum requirement and adjust or provide reason why they can be waived per [18-481(h)]
- Ensure compliance with perimeter landscaping for area abutting Sahara Circle. A tree may be needed below the side entrance.
- Foundation plantings
 - Callout 1 on the main building is not located between building façade and parking/internal driveway.
 - Carwash callouts in data table may be mislabeled as 10/11 instead of 11/12.
 - Carwash top area does not serve a parking row. Do not need to subtract.
 - Carwash foundation planting areas should serve the side they are associated with. Please adjust.
- Identify trees on the landscape plans that go beyond other landscaping requirements and serve as mitigation trees. Like many other requirements (foundation plantings, parking islands, etc) these cannot serve to meet more than one requirement.

Landscape Calculations

Sec. 18-448 - General standards for landscaping.

(d) 15 Trees per disturbed acre.
Total Disturbed Area: ±14.34 Ac
Total Trees required: 216 (15x14.34)

18-477 Street Yard Calculations

MARKET STREET FRONTAGE (835 L.F. (-58 for Drives)= 777 L.F.)
RB Zoning Multiplier: 25
Square Footage Required: 25x777=19,425 S.F.
Square Footage Provided: 19,530 S.F.

Trees Required: 32 (1 per 600 S.F.)
Trees Provided: 32
Shrubs Required: 196 (6 per 600 S.F.)
Shrubs Provided: 200

Sec. 18-481 - Interior Area Landscaping

All landscape islands shall have a minimum of one tree per Sec. 18-481(a).
All landscape islands shall meet minimum dimensional and area requirements per Sec. 18-481(a).
All consecutive parking spaces shall have an island at the ends of each row per Sec. 18-481(g).
No parking space is located more than one hundred twenty (120) feet from a planting island or peninsula per Sec. 18-481(g).

(g)(j) Tree Canopy Cover

389,676 S.F. Parking Lot Area @ 20%
75% of trees to be Large Canopy Trees
Required: =77,936 S.F. Tree Canopy
Provided: =78,208 S.F. Provided

93 Canopy Trees @ 707 S.F. = 65,751 S.F. (76.9%)
28 Small Canopy Trees @ 314 S.F. = 8,792 S.F. (23.1%)
Perimeter Tree Partial Cover = 3,660 S.F.

Sec. 18-482. Perimeter landscaping

(a.) Required One Tree per 18-27 feet

West Side: 430 L.F. = 16 trees minimum = 16 trees provided
East Side: 523 L.F. = 20 trees minimum = 20 trees provided

Sec. 18-503. - Buffer Yards

Combination planted buffer yard with artificial fencing:
Artificial fencing shall be between six (6) in height. Solid artificial fencing is used two (2) rows of planted materials consisting of a combination of trees and shrubs shall be provided at a minimum height of three (3) feet at initial planting and give at least fifty (50) percent visual opacity of the fence at planting per Sec. 18-503(c)(1)
Buffer Area: ±29540 S.F.
Buffer Linear Footage: 1520 L.F.
Trees provided in Buffer: 123 (33 Existing & 90 Proposed)

Sec. 18-490. - Foundation plantings

(a.) Requirements based on 12% S.F. of Building Face.

North Facade (±8106 Facade S.F.):

- 973 S.F. required
- ① = 835 S.F. (1699 S.F.-864 S.F. Tree Island Area)
- ② = 123 S.F. (339 S.F.-216 S.F. Tree Island Area)
- ③ = 576 S.F.

1534 S.F. provided

East Facade (±6204 Facade S.F.):

744 S.F. required

- ④ = 312 S.F. (744 S.F.-432 S.F. Tree Island Area)
- ⑤ = 0 S.F. (216 S.F.-216 S.F. Tree Island Area)
- ⑥ = 591 S.F.

903 S.F. provided

South Facade (±6226 Facade S.F.):

747 S.F. required

- ⑦ = 999 S.F. (1431 S.F.-432 S.F. Tree Island Area)

999 S.F. provided

West Facade (±6160 Facade S.F.):

739 S.F. required

- ⑧ = 682 S.F. (898 S.F.-216 S.F. Tree Island Area)
- ⑨ = 456 S.F.
- ⑩ = 682 S.F.

1820 S.F. provided

See Sheet L2.3 for Car Wash Foundation Planting Calculations

PLANT SCHEDULE

BASIN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
TD	15	Taxodium distichum	Bald Cypress	2" Cal.	B&B
BUFFER TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
FP	10	Pinus palustris	Loblolly Pine	8' Ht.	B&B
PT	13	Pinus taeda	Loblolly Pine	8' Ht.	B&B
MITIGATION TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
BR	16	Betula nigra	River Birch	2" Cal.	B&B
FG	13	Fraxinus pennsylvanica	Green Ash	2" Cal.	B&B
LD2	7	Lagerstroemia indica 'Dallas Red'	Red Crape Myrtle	2" Cal.	B&B
PI	15	Pinus thunbergii	Japanese Black Pine	8' Ht.	B&B
QL	16	Quercus laurifolia	Laurel Oak	2" Cal.	B&B
PARKING LOT TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
AR	22	Acer rubrum	Red Maple	2" Cal.	B&B
CA	16	Carpinus caroliniana	American Hornbeam	2" Cal.	B&B
CO	12	Cornus florida	Cherokee Chief	2" Cal.	B&B
GH	22	Quercus phellos 'Hightower'	Sawleaf Zelkova	2" Cal.	B&B
ZS2	15	Zelkova serrata	Sawleaf Zelkova	2" Cal.	B&B
PARKING LOT UNDERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
AP	12	Acer palmatum	Japanese Maple	8'-10' Ht.	B&B
CE	12	Cercis canadensis 'Silver Cloud'	Silver Cloud Redbud	8'-10' Ht.	B&B
CC2	11	Cornus florida 'Cherokee Chief'	Cherokee Chief Dogwood	8'-10' Ht.	B&B
PERIMETER TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
CE2	13	Cercis canadensis 'Silver Cloud'	Silver Cloud Redbud	8'-10' Ht.	B&B
CC	14	Cornus florida 'Cherokee Chief'	Cherokee Chief Dogwood	8'-10' Ht.	B&B
LD	12	Lagerstroemia indica 'Dallas Red'	Red Crape Myrtle	8'-10' Ht.	B&B
STREET YARD TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
LI	16	Lagerstroemia indica 'Dallas Red'	Red Crape Myrtle	2" Cal.	B&B
ZS	16	Zelkova serrata	Sawleaf Zelkova	2" Cal.	B&B

Tree Protection Notes

- Prior to any clearing, grading or construction activity, tree protection fencing shall be installed around protected trees or groves of trees. No construction workers, tools, materials, or vehicles are permitted within the tree protection fencing.
- Any trees and/or areas designated to be protected must be properly barricaded with fencing and protected throughout construction to insure that no clearing, grading or staging of materials will occur in those areas.
- No equipment is allowed on site until all tree protection fencing and silt fencing is installed and approved. Protective fencing is to be maintained throughout the duration of the project, and contractors shall receive adequate instruction on tree protection methods.

Irrigation Note

NOTE TO CONTRACTOR
Contractor to coordinate sleeves/irrigation with owner. Bid price shall include all irrigation sleeves and add alternate for irrigation system.

LEGEND

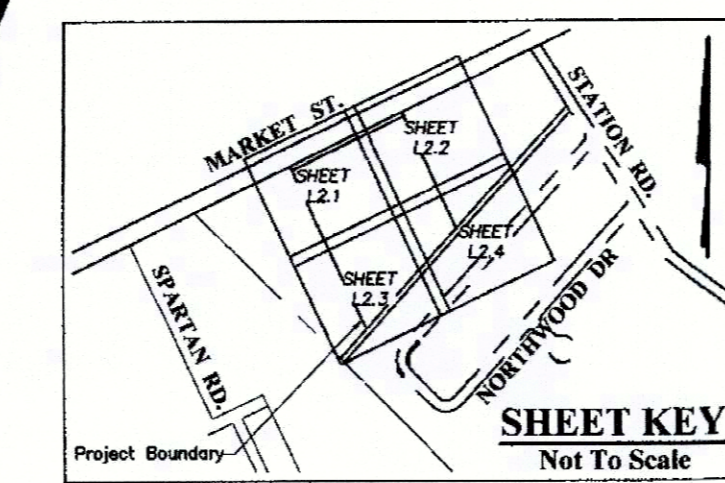
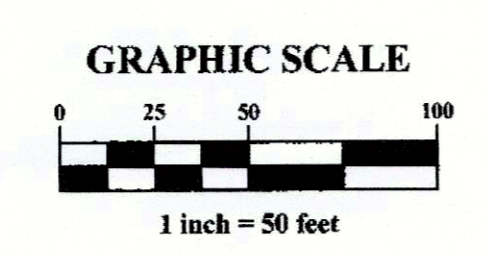
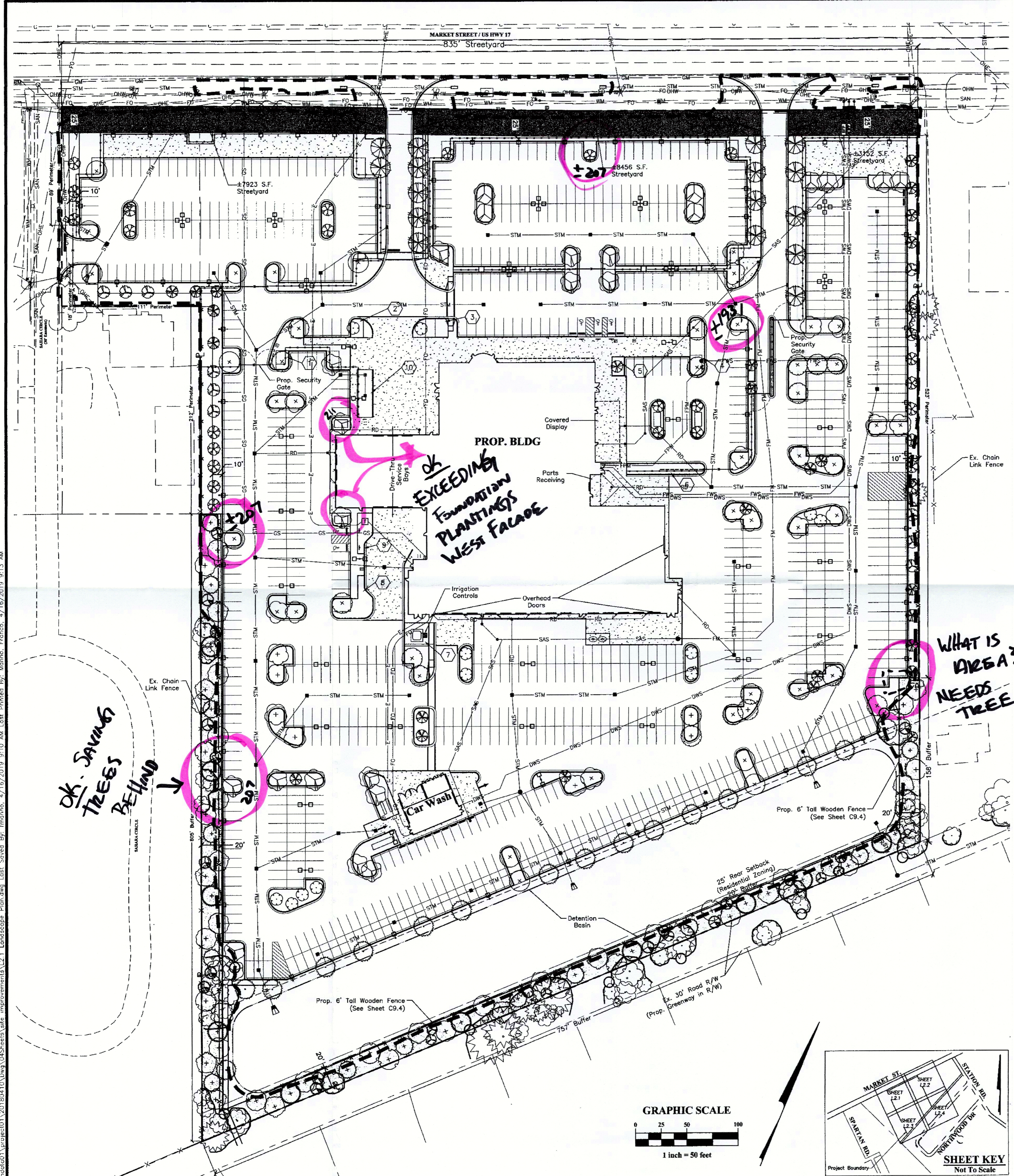
- Tree Protection Fence (See Detail Sheet C3.3)
- Grading Limits (See Sheet C5.0)
- Concrete
- 10' Side Yard
- 20' Buffer Yard
- Street Yard
- Landscape Area for designated Foundation Plantings
- Calculated Tree Island Area

CITY OF WILMINGTON
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____
Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

TREE MITIGATION CALCULATIONS
Sec. 18-480 - Mitigation.
(b) 5 Significant Trees for a total of ±104 DBH removed.
±104 DBH x 2 = 208. 208 / 3 = 70 replacement trees required.
(c) 376 Regulated Trees for a total of ±3528 calculated DBH removed.
±3528 / 3 = 1176 replacement trees calculated. See below for exemption from mitigation.
Sec. 18-481 - Exemptions to Mitigation.
(b) 376 Regulated Trees exempted from mitigation. Replacement trees not provided.

CITY OF WILMINGTON
NORTH CAROLINA
REGISTERED LANDSCAPE ARCHITECT
No. 1974
1-16-19
EVANS MECHWART HAMILTON & TILTON, INC.
No. F-1016

DATE
February 11, 2019
SCALE
1" = 50'
JOB NO.
20180410
SHEET
L2.0



C:\msdud001\projects\01_20180410_Dwg_045\site_improvements\L2.1_Landscape_Plan.dwg Last Saved By: mromo, 4/16/2019 9:10 AM. Last printed By: mromo, 4/16/2019 9:13 AM



CITY OF WILMINGTON, NEW HANOVER COUNTY, NORTH CAROLINA
SITE IMPROVEMENT PLAN
FOR
HENDRICK HONDA OF WILMINGTON
6720 MARKET STREET
OVERALL LANDSCAPE PLAN

REVISIONS

MARK	DATE	DESCRIPTION
1	02/12/19	Revised per comments from the City, County, CEPTA, and NCDOT