

**To:** Brian Rossi  
**From:** Gilbert Combs, Associate Planner; 910-341-4661  
**CC:** File;  
**Date:** 2/27/2019  
**Re:** Hendrick Honda

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The following is a list of comments for review from planning regarding the project. Please provide your corrections as listed below. Additional review will be required once all the needed documents have been provided. Items or documents not provided on initial submission will be subject to further review. Please contact me for any further questions.

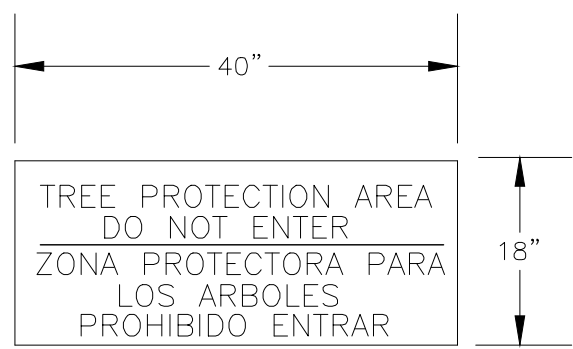
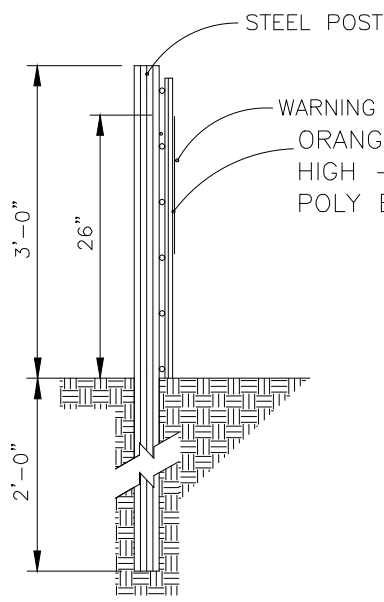
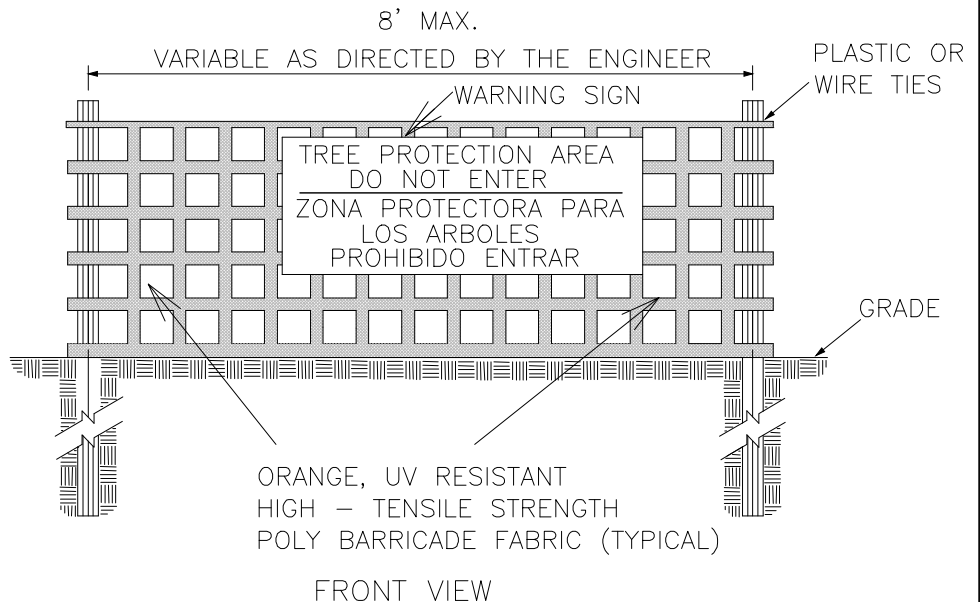
Site Plan Comments:

- Be sure to include the following stamp on all plan pages:
 

<u>Approved Construction Plan</u>	
Name	Date
Planning _____	_____
Traffic _____	_____
Fire _____	_____
- Reorient vicinity maps to match site plans
- Remove warehouse/storage in parking calculations and add SQFT to automotive dealership. Update required parking & proposed parking table
- Setbacks of Building (required and **proposed**)
- Ensure correct project sqft/acreage is being used.
- Show dimensions of on-site pedestrian and vehicular access ways, parking areas, loading and unloading facilities, designs of ingress and egress of vehicles to and from the site onto the public streets and curb and sidewalk lines.
- Show names of property owners of adjacent properties, zoning, **land use**, owner and deed book for properties adjacent to subject property including across the street.
- Show bicycle parking compliance. [Sec 18-528.(f)]
- Provide pedestrian access from the project site to the future multi-use path
- If a progress energy easement or power line exists on site, please contact Bill Wilder @ 383- 4042.
- A tree preservation/removal permit is required
- Signage
  - Any proposed signage is permitted under a separate permit process and sign permit application. Please remove proposed signage from all relevant plan sheets.
  - Call (910) 254-0900 for sign regulation and permitting questions.
- All federal, state and local permits are required prior to full construction release. This includes, but is not limited to: state storm water, state utility extension permits, wetland disturbance permits, city storm water, tree protection permits, etc.

### Landscape Plan to Include:

- Show location of tree protection fencing once a determination is made on tree saves
- Add the two tree protection details attached
- Add the following notes in the plan set:
  - Prior to any clearing, grading or construction activity, tree protection fencing shall be installed around protected trees or groves of trees. No construction workers, tools, materials, or vehicles are permitted within the tree protection fencing.
  - Any trees and/or areas designated to be protected must be properly barricaded with fencing and protected throughout construction to insure that no clearing, grading or staging of materials will occur in those areas.
  - No equipment is allowed on site until all tree protection fencing and silt fencing is installed and approved. Protective fencing is to be maintained throughout the duration of the project, and contractors shall receive adequate instruction on tree protection methods.
- Show locations, dimensions and square footages of required bufferyards and parking lot landscaping. Show sqft for parking islands.
- Update street yard calculations to reflect correct driveway widths at property line
- Parking spaces within 50' of a ROW must provide parking screening [Sec. 18-483]
- All landscape islands must have a minimum of one tree [Sec. 18-481(a)]
- All landscape islands must meet minimum dimensional and area requirements.
- All consecutive parking spaces shall have an island at the ends of each row. [Sec. 18-481(g)]
- Show compliance with foundation plantings. Identify areas provided to meet different requirements. These areas cannot serve more than one requirement.
- Buffer yard shrubs shall be a minimum of three (3) feet high @ planting [Sec 18-503.b.1]
- Parking spaces cannot be further than 120' from a parking island.
- Cannot remove regulated or significant trees within required street yards. These areas may be supplemented as necessary to meet the street yard planting requirements. [Sec. 18-456(c)]
- Must retain existing trees or shrubs within required buffers. Areas can be supplemented as necessary [Sec. 18-456(d)]
- Protected trees may only be removed if essential site improvements cannot be accommodated elsewhere on the site. Protect and retain existing trees and shrubs where possible. Move parking islands in some areas to comply, etc. [Sec. 18-457(a)]
  - *Essential site improvements:* Any construction or reconstruction of the site development features required by any local, state or federal regulations, ordinances or laws, such as underground drainage, off-street parking (not to exceed the midpoint between the minimum and maximum parking standards), driveways, retention areas or similar improvements required for the intended use of the site, which cannot be accommodated on the site without the removal of the protected trees.
- Check the attached sheets for reference. Code trumps missing a tree. Please ensure compliance
  - Trees in required street yard and buffer areas cannot be removed. I have highlighted some in green to help identify.
  - Trees in blue should be saved unless adequate justification is provided.
  - Significant (orange) trees should be saved. Tree 75 can be incorporated in the required landscape island. The front row of parking near 6/7 is has spots further than 120' from an island. Can save 6/7 with a parking island.



NOTES:

1. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
4. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
5. TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
6. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

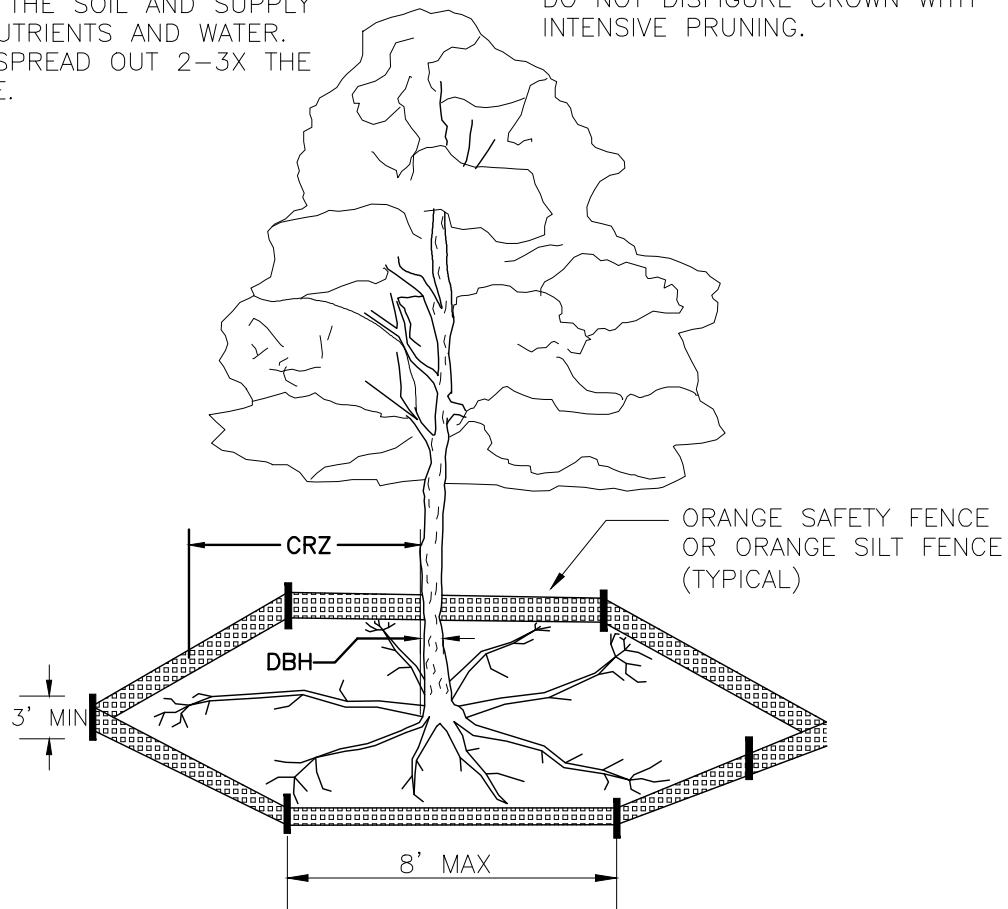
<b>STANDARD DETAIL</b>		 <b>CITY OF WILMINGTON</b> NORTH CAROLINA CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
DATE:	JAN, 2015	
DRAWN BY	JSR	
CHECKED BY	RDG, P.E.	
SCALE	NOT TO SCALE	
<b>TREE PROTECTION DURING CONSTRUCTION</b>		<b>SHEET 2 of 2</b>
		<b>SD 15-09</b>

**NOTE:**

THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.

**NOTE:**

CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISFIGURE CROWN WITH INTENSIVE PRUNING.



**NOTES:**

1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
3. IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATTS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
6. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

**STANDARD DETAIL**

**TREE PROTECTION  
DURING  
CONSTRUCTION**

SHEET 1 of 2



CITY OF WILMINGTON ENGINEERING  
PO BOX 1810  
WILMINGTON, NC 28402  
(910) 341-7807

**SD 15-09**

DATE: JAN, 2015

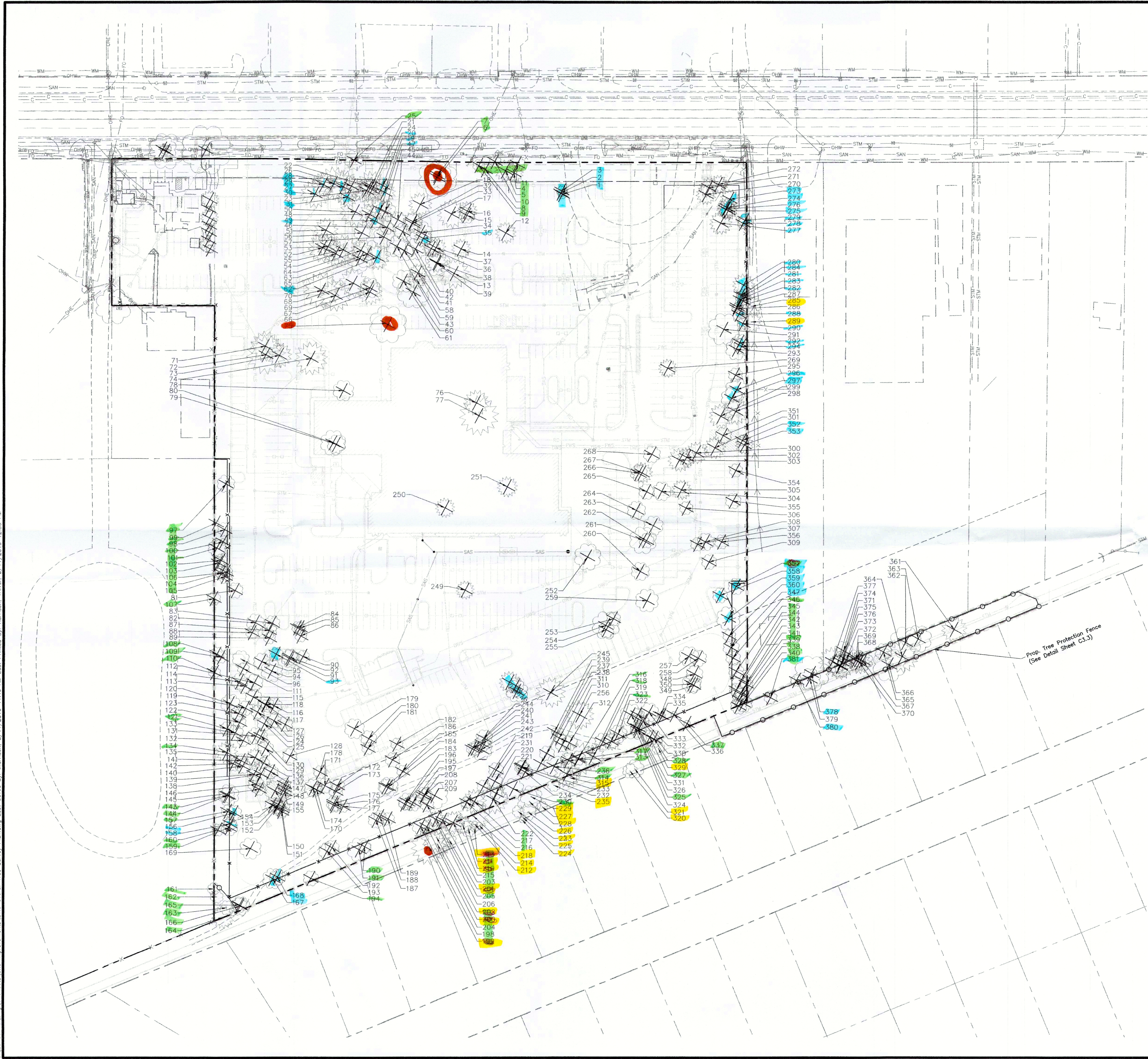
DRAWN BY JSR

CHECKED BY RDG, P.E.

SCALE NOT TO SCALE



A:\20180410\Draw\04\Sheets\Site\_Improvements\11.0\_Overall\_Tree\_Survey\_Plans\Drawn\_Land\_Saved\_By\_Harrison\_2/11/2019 11:49 AM Last Printed By: Harrison, Trevor\_2/11/2019 12:56 PM



**LEGEND**

**EXISTING**

- Right of way
- Property Line
- Parcel Line
- Existing Building Setback
- Easement
- Building
- Pavement
- Curb
- Fence
- Sign
- STM
- Storm Service
- Catch Basin
- Storm Manhole
- SAN
- Sanitary Service
- Sanitary Cleanout
- Sanitary Manhole
- WM
- Water Main
- Hydrant
- Water Meter
- Back Flow Preventer
- Communication Line
- Communication Box
- OHE
- Over Head Electric Line
- OHW
- Over Head Wire, Multiple Utilities
- OHC
- Over Head Comm Line
- Utility Pole
- Power Pole
- Power Box
- Guy Wire
- Light Pole
- Fiber Optic

**PROPOSED**

- Tree Line
- Ditch
- Coniferous Tree
- Deciduous Tree
- Tree To Be Removed
- Tree Protection Fence (See Detail Sheet C3.3)

**GENERAL NOTES**

- The site tree identification survey was performed by Carolina Wetland Services, Inc. on July 10 & 11, 2018.
- Existing tree locations are based on a combination of a topographic survey performed by EMH&T on July 19, 2018 and a GPS locate performed by CWS while doing the tree survey.
- See sheet L1.5 for tree identification table.
- Tree survey only includes Significant and Regulated trees and does not necessarily encompass all existing trees on site.
- Note trees may not accurately be drawn to scale on the plans. Reference tree identification table for tree sizes.

**TREE MITIGATION CALCULATIONS**

Sec. 18-460 - Mitigation

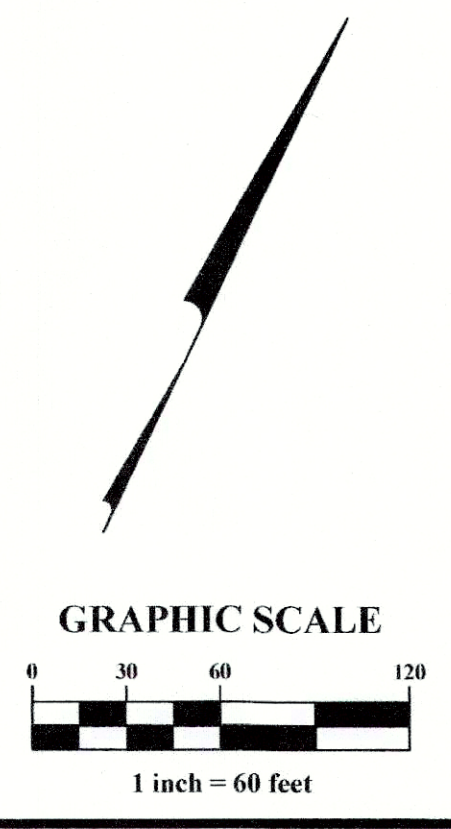
(a) 5 Significant Trees for a total of ±104 DBH removed.  
 $\pm 104 \text{ DBH} \times 2 = 208, 208 / 3 = 70$  replacement trees required.

(c) 376 Regulated Trees for a total of ±3528 calculated DBH removed.  
 $\pm 3528 / 3 = 1176$  replacement trees calculated. See below for exemption from mitigation.

Sec. 18-461 - Exemptions to Mitigation

(b) 376 Regulated Trees exempted from mitigation. Replacement trees not provided.

**NOTE**  
 Reference Sheet L1.5 for Tree Removal Schedule.



**GRAPHIC SCALE**

0 30 60 90 120

1 inch = 60 feet

**Professional Engineer Seal:**  
 NORTH CAROLINA  
 EVANS  
 MCGHEE  
 HAMILTON &  
 TILTON, INC.  
 No. F-1016  
 ENGINEER  
 BRIAN R. ROSSI

**REVISIONS**  
 MARK DATE DESCRIPTION

**Handrick**  
 AUTOMOTIVE GROUP

CITY OF WILMINGTON, NEW HANOVER COUNTY, NORTH CAROLINA  
 FOR  
**SITE IMPROVEMENT PLAN**  
**HENDRICK HONDA OF WILMINGTON**  
**6720 MARKET STREET**  
**OVERALL TREE SURVEY**

**EMH&T**  
 EVANS, MCGHEE, HAMILTON & TILTON, INC.  
 Engineers • Surveyors • Planners • Scientists  
 1000 North 10th Street, Suite 200  
 Wilmington, NC 28401  
 Phone: 704.246.0333 Fax: 704.246.0335  
 emht.com

DATE  
 February 11, 2019

SCALE  
 1" = 60'

JOB NO.  
 20180410

SHEET  
 L1.0



J:\20180410\Dev\045heets\Site Improvements\1.1.3 Tree Survey Table.dwg Last Printed By: Harrison, Trevor, 2/11/2019 12:56 PM

Table with 4 columns: Tree ID, Common Name, DBH (in), Category. Contains tree data from ID 1\* to 64\*.

Table with 4 columns: Tree ID, Common Name, DBH (in), Category. Contains tree data from ID 65\* to 128\*.

Table with 4 columns: Tree ID, Common Name, DBH (in), Category. Contains tree data from ID 129\* to 192\*.

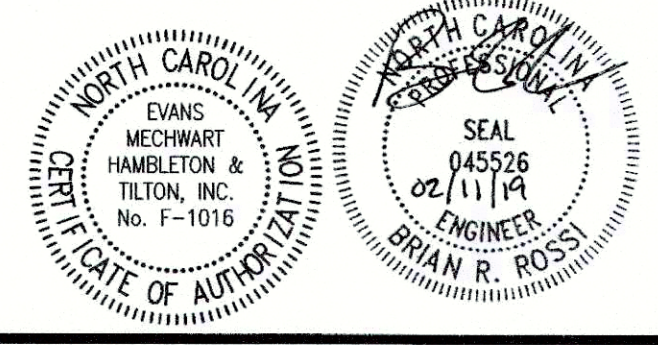
Table with 4 columns: Tree ID, Common Name, DBH (in), Category. Contains tree data from ID 193\* to 256\*.

Table with 4 columns: Tree ID, Common Name, DBH (in), Category. Contains tree data from ID 257\* to 320\*.

Table with 4 columns: Tree ID, Common Name, DBH (in), Category. Contains tree data from ID 321 to 381\*.

Handwritten notes: CANNOT REMOVE (green), PROVIDE JUSTIFICATION OTHERWISE SAVE (blue), SIGNIFICANT: SAVE (red).

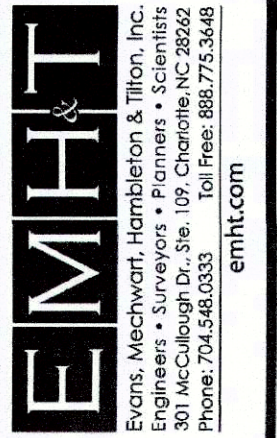
Legend: Trees To Be Removed



REVISIONS



CITY OF WILMINGTON, NEW HANOVER COUNTY, NORTH CAROLINA
SITE IMPROVEMENT PLAN
HENDRICK HONDA OF WILMINGTON
6720 MARKET STREET
TREE SURVEY TABLE



DATE: February 11, 2019
SCALE: None
JOB NO.: 20180410
SHEET: L1.5